

Page 1: DRC Site Plan - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	
E-mail Address	
Phone Number	
Proof of Ownership	<input type="checkbox"/> <u>Warranty Deed</u> or <input type="checkbox"/> <u>Tax Record</u>

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Letter of Consent Submitted	

Development / Project Name	
Development / Project Address	<u>Existing:</u> _____ <u>New:</u> _____
Legal Description	
Tax ID Folio Numbers (For all parcels in development)	
Request / Description of Project	
Total Estimated Cost of Project	\$ _____ (Including land costs)

NOTE: Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type.

Estimated Park Impact Fee	\$ _____ Fee Calculator: http://ci.ftlaud.fl.us/building_services/park_impact_fee_calc.htm
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Current Land Use Designation	
Proposed Land Use Designation	
Current Zoning Designation	
Proposed Zoning Designation	
Current Use of Property	
Number of Residential Units	
Non-Residential SF (and Type)	
Total Bldg. SF (include structured parking)	
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input type="checkbox"/> No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)		
Lot Density		
Lot Width		
Building Height (Feet / Levels)		
Structure Length		
Floor Area Ratio		
Lot Coverage		
Open Space		
Landscape Area		
Parking Spaces		

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front [____]		
Side [____]		
Side [____]		
Rear [____]		



VENTURA

michael a. ventura

304 indian trace ste. 391

weston florida 33326

phone : (954) 423-1362

ventura-architecture.com

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DUNKIN' DONUTS
Corporate Dr.
Fort Lauderdale, FL 33334
PC# 354470

revisions:

Drawn by:
Lourdes R. Lozano

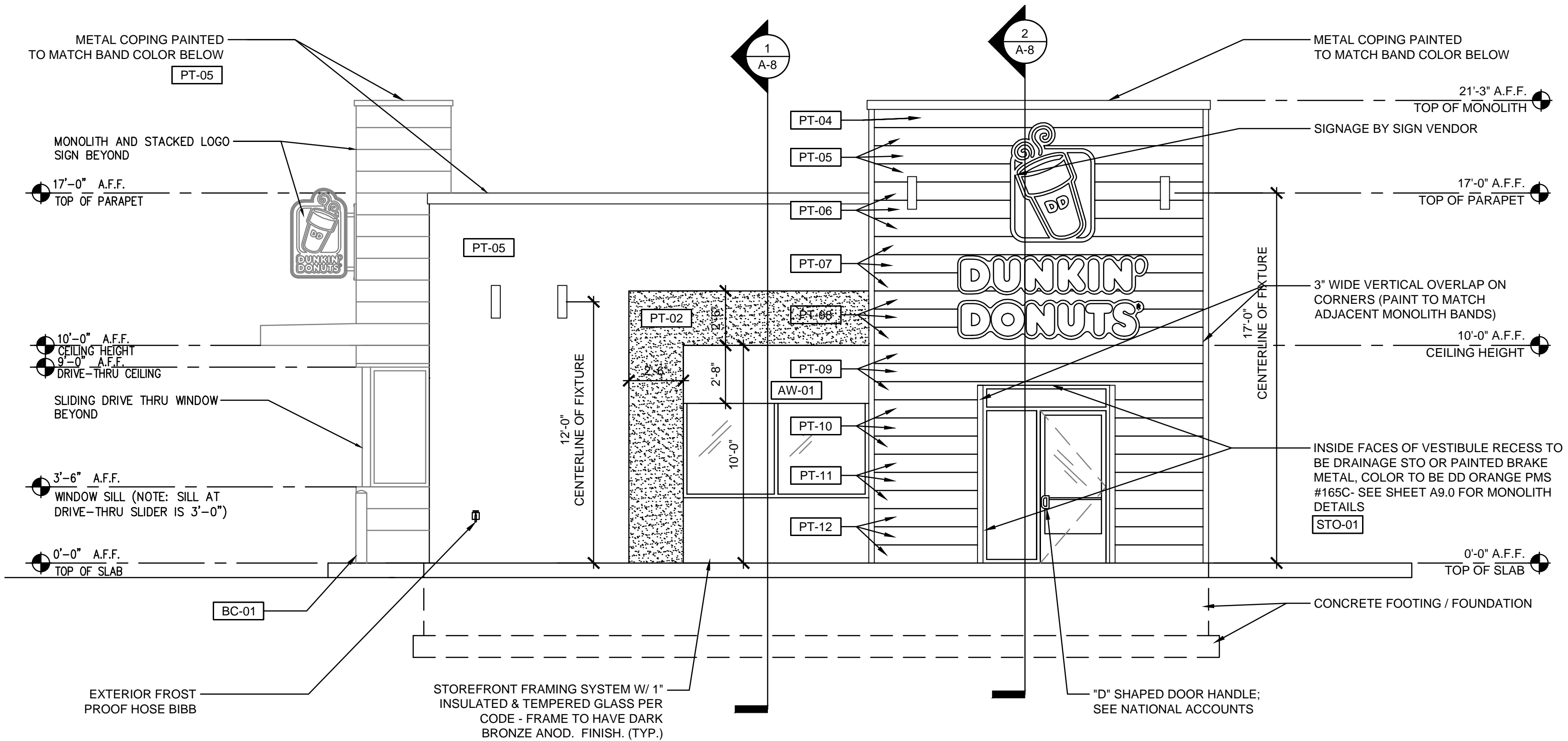
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04-02-2015

A-5

EXTERIOR FINISH MATERIAL SCHEDULE

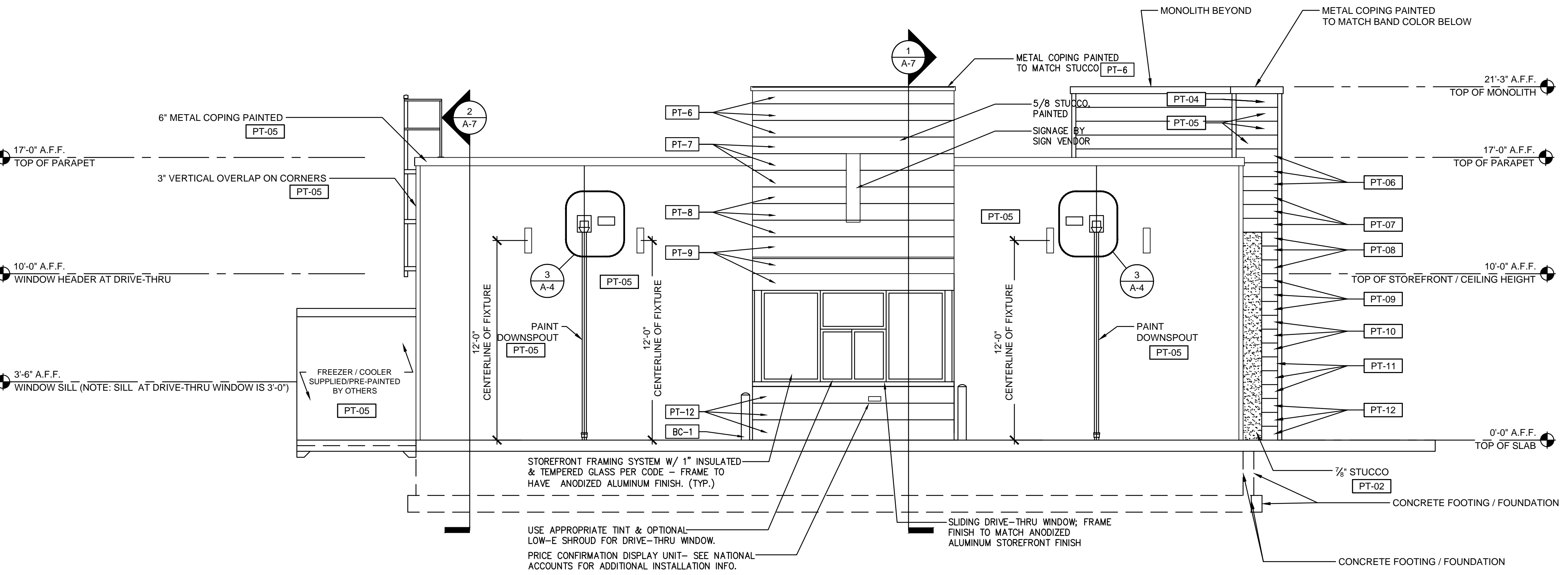
Checked: 12/18/2014

CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION	REMARKS
AW-01	AWNING	ARLON	DD FRESH BREW AWNING	BROWN AWNING WITH FRESH BREW MESSAGING	STANDARD AWNING FOR FRESH BREW DESIGNS W/ ORANGE BAND
AW-01ALT	AWNING	ARLON	DD FRESH BREW AWNING	BROWN AWNING - PLAIN MATERIAL	STANDARD PLAIN MATERIAL FOR FIELD ERADICATION OF CLIP ICON AND COFFEE & MORE MESSAGE
AW-02	AWNING	ARLON	DD FRESH BREW AWNING	ORANGE AWNING WITH FRESH BREW MESSAGING	ALTERNATE AWNING FOR FB DESIGNS WHERE ORANGE BAND IS NOT ALLOWED OR PRACTICAL TO OVERALL DESIGN
AW-02ALT	AWNING	ARLON	DD FRESH BREW AWNING	ORANGE AWNING - PLAIN MATERIAL	STANDARD PLAIN MATERIAL FOR FIELD ERADICATION OF CLIP ICON AND COFFEE & MORE MESSAGE
AW-03	AWNING	ARLON	BR FLAVORS AWNING	PINK AWNING	STANDARD AWNING FOR BR FLAVOR DESIGNS W/BUE BAND
BC-1	BOLLARD COVERS	IDEAL SHIELD	BC1-CC-4-52-5	4"W X 52"H ORANGE BOLLARD SLEEVE	
EIFS-02	EIFS	DRYVIT SYSTEMS, INC	DUDO-10-1020	PAINT COLORS TO MATCH MONOLITH SCHEME	*ALTERNATE MATERIAL TO HARDIPLANK BOARDS ON MONOLITH
EIFS-03	EIFS	DRYVIT SYSTEMS, INC	DUDO-10-1020	MATCH SHERWIN WILLIAMS 7536 "BITTERSWEET STEM"	*ALTERNATE BUILDING MATERIAL TO HARDIPLANK FIELD SIDING (NON-MONOLITH).
EIFS-04	EIFS	DRYVIT SYSTEMS, INC	DUDO-10-1020	MATCH SHERWIN WILLIAMS #6811 HONORABLE BLUE	BLUE BAND MATERIAL
EIFS-05	EIFS	DRYVIT SYSTEMS, INC	DUDO-10-1020	MATCH SHERWIN WILLIAMS 7006 "EXTRA WHITE"	*ALTERNATE BUILDING MATERIAL TO HARDIPLANK SIDING (BR SEGMENT OF COMBO ONLY).
PT-01	PAINT	SHERWIN WILLIAMS	6372	"INVITING IVORY"	SATIN
PT-02	PAINT	SHERWIN WILLIAMS	6884	"OBSTINATE ORANGE"	SATIN
PT-03	PAINT	SHERWIN WILLIAMS	6140	"MODERATE WHITE"	SATIN
PT-04	PAINT	SHERWIN WILLIAMS	6099	"SAND DOLLAR"	SATIN
PT-05	PAINT	SHERWIN WILLIAMS	7536	"BITTERSWEET STEM"	SATIN
PT-06	PAINT	SHERWIN WILLIAMS	7724	"CANOE"	SATIN
PT-07	PAINT	SHERWIN WILLIAMS	6117	"SMOKEY TOPAZ"	SATIN
PT-08	PAINT	SHERWIN WILLIAMS	6096	"JUTE BROWN"	SATIN
PT-09	PAINT	SHERWIN WILLIAMS	6097	"STURDY BROWN"	SATIN
PT-10	PAINT	SHERWIN WILLIAMS	6090	"JAVA"	SATIN
PT-11	PAINT	SHERWIN WILLIAMS	6069	"FRENCH ROAST"	SATIN
PT-12	PAINT	SHERWIN WILLIAMS	6006	"BLACK BEAN"	SATIN
PT-13	PAINT	SHERWIN WILLIAMS	7006	"EXTRA WHITE"	SATIN (COMBO - BR FIELD)



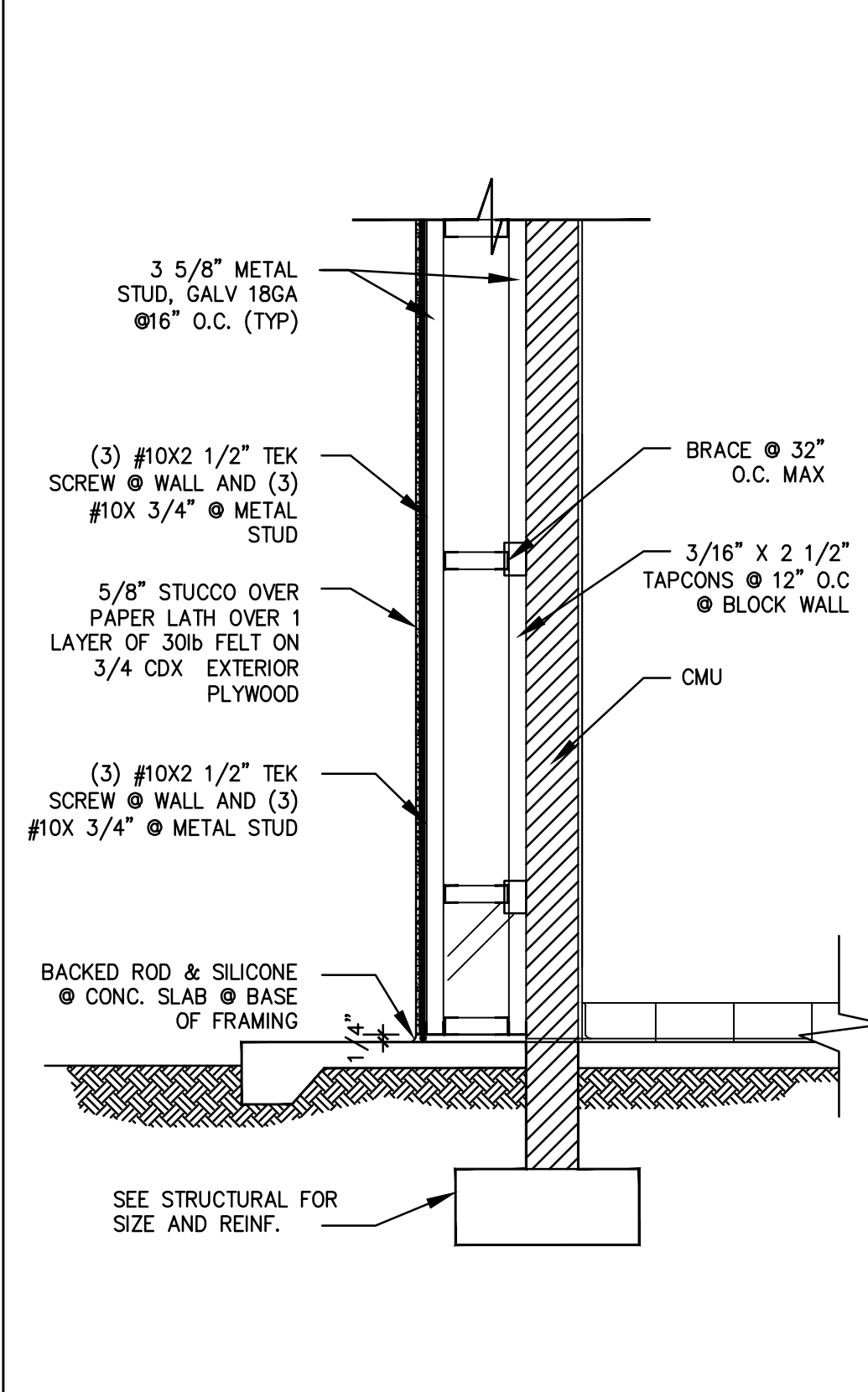
1 NORTH ELEVATION

1/4"=1'-0"



2 EAST ELEVATION

1/4"=1'-0"



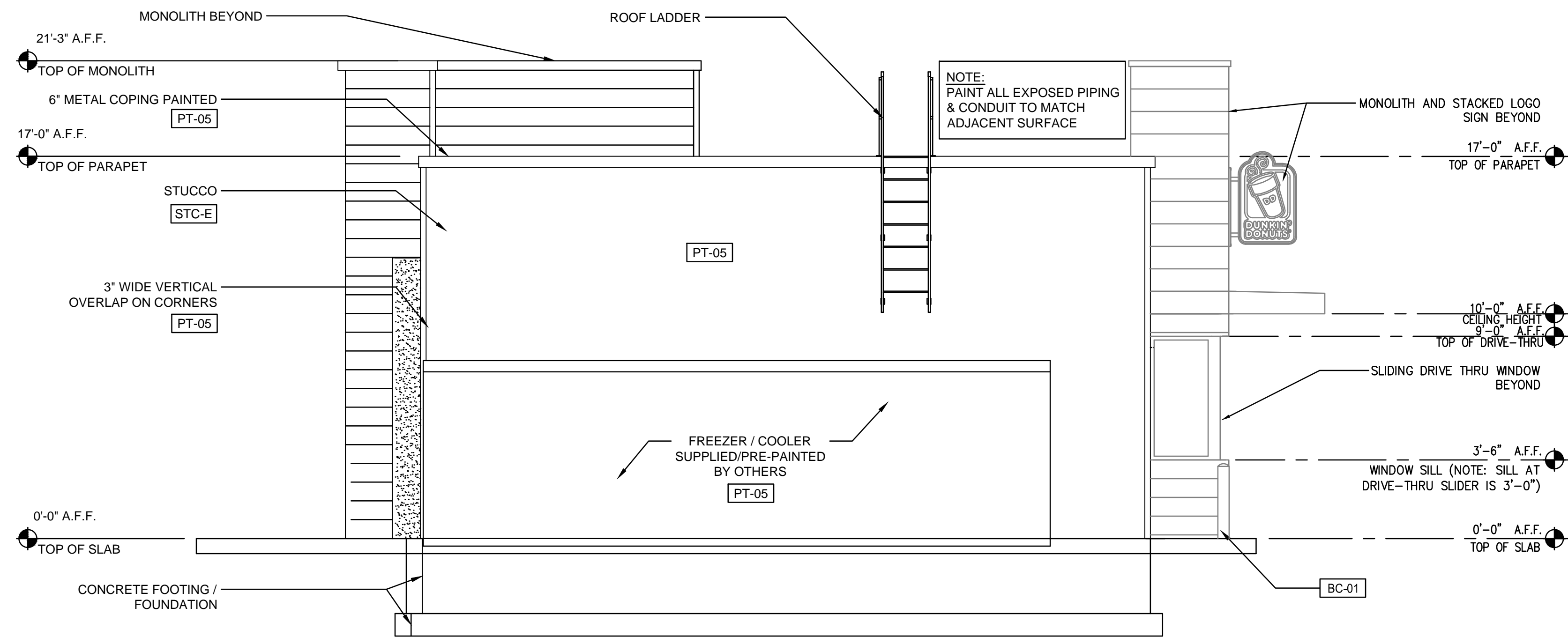
3 EXT. FRAMING DETAIL (TYP.)

NTS

EXTERIOR FINISH MATERIAL SCHEDULE

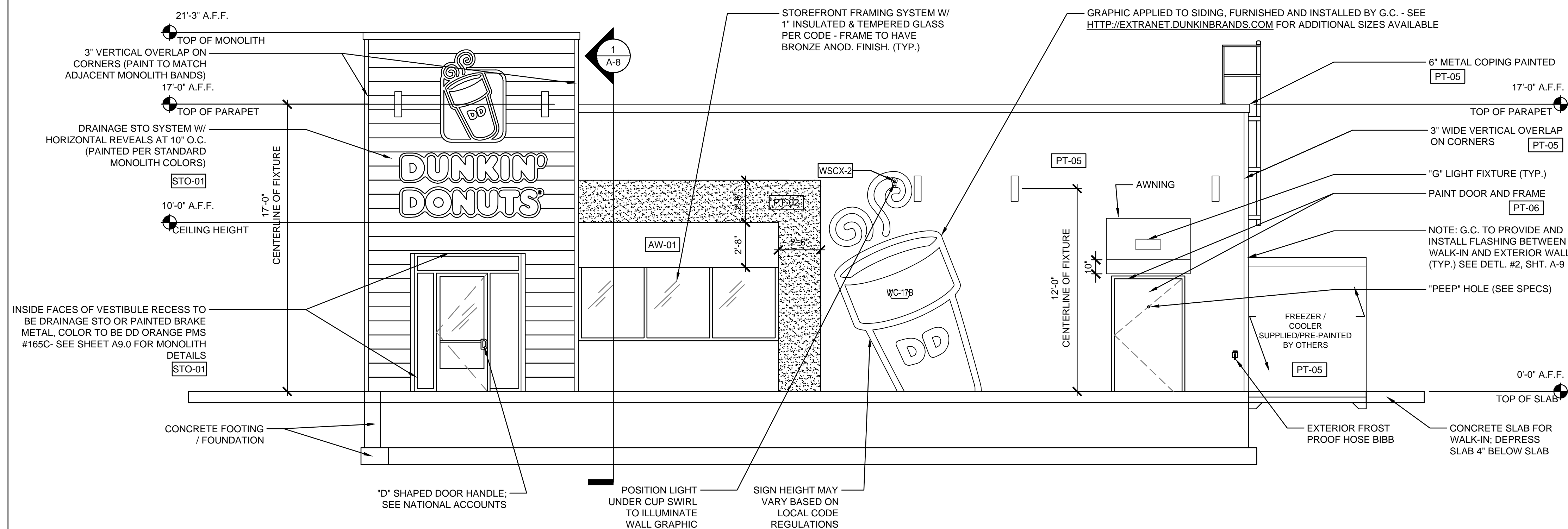
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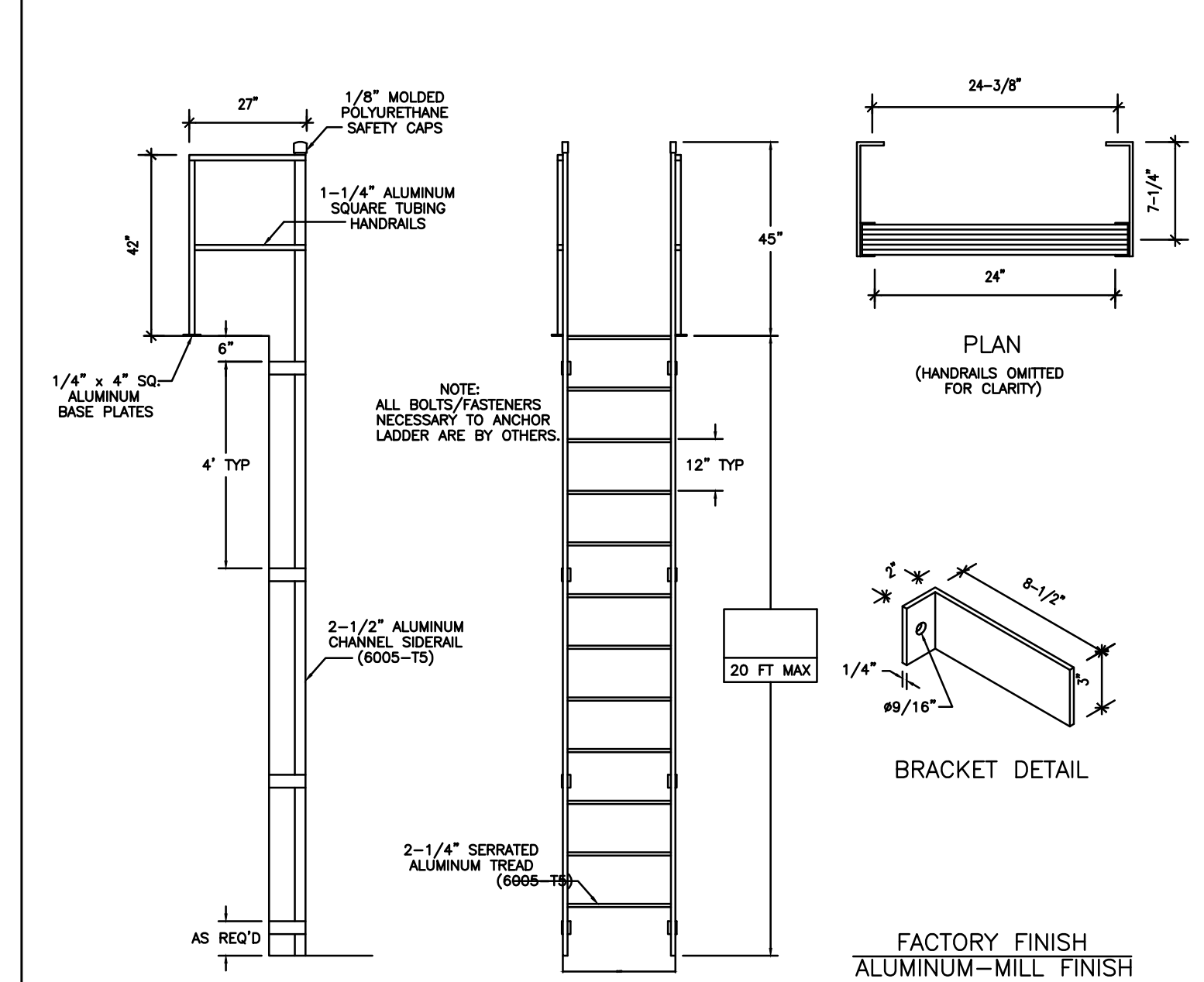
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2 WEST ELEVATION

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3 ROOF LADDER DETAIL

NTS

development inc



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revisions:

Drawn by:
Lourdes R. Lozano

date:
04-02-2015

A-6



CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: July 14, 2015

**Project Name: Redus Florida Commercial LLC / Dunkin Donuts
at Corporate Drive**

Case Number: R15031

**Request: Site Plan Level II Review: 1858sf Restaurant Use
within 300 feet of Residential Property**

Location: 200 Corporate Drive

Zoning: Community Business

Land Use: Commercial

Project Planner: Florentina Hutt

Case Number: R15031

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
 - a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
 - c. https://floridabuilding.org/dca/dca_fbc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

Case Number: R15031

CASE COMMENTS:

A. Please respond to Comments 1 through 24 prior to Final DRC sign off

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or JHolguin@fortlauderdale.gov.
 - b. Prepare & submit an application for a Developer Agreement (Water & Wastewater permit packages) with the Department of Sustainable Development. Coordinate the submittal through Alex Scheffer, P.E. – Urban Design Engineer at (954) 828-5123 or AScheffer@fortlauderdale.gov.
 - c. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS coordinate with Alia Awwad, P.E. [(954) 828-6078 or AAwwad@fortlauderdale.gov] and/or Eric Houston [(954) 828-5216 or EHouston@fortlauderdale.gov] with the Transportation & Mobility Department to fulfill transport aspect of the Adequacy requirements.
 - d. Coordinate the minimum Finished Floor Elevation and site grading approval with Richard Benton – City Floodplain Manager at (954) 828-6133 or RBenton@fortlauderdale.gov; please note that additional notes may be required on the Site Data table.
2. Please be advised that all proposed improvements within or adjacent to the Florida Department of Transportation (FDOT), Broward County (BCHECD) and City Right of Way are subject to issuance of a Right of Way permit from the authority having jurisdiction. This shall include the execution of an agreement that authorizes those entities the authority to remove improvements for any public purpose in the future.

Please coordinate and provide approval from the following agency for the improvements along:

- a. E. Cypress Creek Road (N.E. 62nd Street) – Broward County Highway Engineering & Construction Division (BCHECD).
3. Obtain approval from the Florida Department of Transportation (FDOT) for the Strategic Intermodal System (SIS) Program. The site plan shall be reviewed and approved by FDOT. Please contact Ms. Tammy Campbell at 954-777-4668 (tammy.campbell@dot.state.fl.us) to inquire whether the SIS approval is required for the proposed development.
4. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
5. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. at (954) 828-6078 or AAwwad@fortlauderdale.gov.

 **CITY OF FORT LAUDERDALE**
DRC COMMENT REPORT

Division: ENGINEERING
Member: Alex Scheffer
ascheffer@fortlauderdale.gov
954-828-5123

6. Show existing and proposed property line / Right-of-Way boundaries and easements on Site Plan, including corner chord dedications.
7. Shift proposed drive-thru lane in clockwise direction to allow sufficient vehicle stacking to enter drive thru. Per ULDR Section 47-20.5.C.6, provide and dimension the minimum stacking distance required for driveway ingress to and egress from the proposed parking lot - a minimum of 12' wide by 22' long area for each vehicle to be accommodated within the stacking area.
8. Need to provide ADA access from the street – ADA ramp alternative to proposed stairs serving building, due to FF Elevation about 2' higher than existing ground (based on flood criteria).
9. Dumpster will need to have a sewer cleanout, or provide exemption from Plumbing code.
10. Provide existing storm drainage permit approval for connection to storm drainage along Corporate Drive.
11. Discuss the situation regarding the existing 20'-wide drainage easement located on south side of property and proposed structure located in easement.
12. Please be advised that in the City's Right-of-Way, within 50' of any road cuts for utilities and/or curb cuts, the existing pavement shall be restored to full lane width, per City Code of Ordinances Section 25-108.
13. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
14. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of utilizing sustainable or low impact (cisterns, pervious pavers, etc.) uses for landscaping along the streetscape.
15. Please prepare and submit the following exhibits which clearly define the following (as applicable):
 - a. Construction Phasing Exhibit
 - b. Right-of-Way / Easement Dedication / Vacation Exhibit
 - c. Maintenance Agreement Area Exhibit
 - d. Revocable License Area Exhibit
16. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
17. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
18. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
 - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.
 - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water main shall be constructed with DIP piping in the City Right-Of-Way.

Comment [AS1]: Planning comment.

Comment [AS2]: Combine with comment above.

- c. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the Paving, Grading, and Drainage plan.
 - d. Signing and marking plan, including the radii all landscaping and pavement areas.
19. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's Right-of-Way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
 20. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
 21. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons "and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
 22. Show utilities on the lighting and landscaping plans for potential conflict.
 23. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
 24. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at RJohnson@fortlauderdale.gov or (954) 828-7809.

B. Respond to Comments 25 through 37 prior to Engineering Permit Approval

25. Resolve the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.
26. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a maintenance agreement shall be executed with the City acknowledging that the Applicant will maintain all the facilities, landscaping, and hardscaping improvements within the City's Right-of-Way.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.
27. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or EKalus@broward.org at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dogniaux with the Broward County Transit Division at

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(954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.

28. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
29. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
30. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
 - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
 1. Include a narrative for each phase along with roadways utilized for materials delivery
 2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
 3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
 4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
 5. Show location and type of construction crane(s), including span radius
 6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes
 7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
 8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
 9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
 10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
 11. Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
 12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
 13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
 14. Indicate where and how concrete trucks will stage during multiple yardage pours
 15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
 16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan

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17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
18. Indicate schedule for street sweeping of periphery of construction site
19. Indicate if dewatering is proposed.

31. Obtain a dewatering permit as required from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvanlandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at http://www.broward.org/pprd/cs_dewatering.htm.
32. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg (smemberg@sfwmd.gov).
33. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dogniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
34. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
35. Please note that any lighting onsite or in the City's Right-of-Way or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in or near the right of way. Please contact the Facilities Maintenance office, David Smith at (954) 828-6560, for information concerning the lighting within the City's Right-Of-Way.
36. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
37. Please discuss with City Public Works Department - Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.

Case Number: R15031

CASE COMMENTS:

Please provide a response to the following:

1. The mitigation is not accurate. Review mitigation calculation requirements and confirm that mitigation is being met on site. Reference Landscaping & Trees subheading at <http://www.fortlauderdale.gov/departments/sustainable-development/building-services/building-permits> for permit, calculation, and document downloads.
2. The condition percentages seem low for the existing trees to be removed. Provide ISA Certified Arborist report detailing the condition of the trees.
3. Fences facing the street are required to be setback a minimum of 3 feet from the property line and must be planted with continuous hedges, shrubs, groundcover, AND trees in that area between property line and fence. These plantings shall be planted between the street and the property line as per ULDR 47-19.5C.
 - a. Hedges and shrubs may be 2 feet tall planted 2 feet apart.
 - b. Groundcover may be 6 inches tall planted 6 inches apart.
 - c. Trees may be standard or flowering at 10 feet tall, or palms at 8 feet clear trunk, planted an average of 1 tree per 20 feet or portion thereof.
 - d. Please specifically note and illustrate this on plans.
4. Provide landscape strip adjacent to the residential area for bufferyard requirements in neighborhood compatibility.
5. All detached freestanding signs shall be landscaped underneath the sign with a continuous planting and irrigation system, as per ULDR 47-22.E.3.
 - a. This area is to be minimum 3 feet deep and extend at least the same length as the longest side of the sign.
 - b. Continuous planting is to be mulched and can be hedges and shrubs 2 feet tall planted 2 feet apart. Groundcover may be 6 inches tall planted 6 inches apart.
 - c. Irrigation shall be from a permanent water source.
 - d. Please clearly note and illustrate all of the above on plan.
6. Review the City of Fort Lauderdale's Florida Friendly Landscaping requirements which have been adopted into the Landscape and Tree Preservation Requirements of our ULDR 47-21. There are certain calculation, hydrozone planting, irrigation, street tree, etc requirements that must be provided. Refer to Landscaping & Trees subheading at Building Permit Link at www.fortlauderdale.gov to view the official City Commission approved ordinance.
7. Shift sidewalk in towards property to allow street tree plantings between the edge of street and the sidewalk.

Please consider the following prior to submittal for Building Permit:

8. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
9. A separate sub-permit application for General Landscaping is required at time of master permit submittal.
10. Provide irrigation plan illustrating an automatic system which provides 100% coverage, 50% overlap and rain sensor shut off device. This is to include the rights-of-way areas and the outside of buffer yard wall.

Case Number: R15031

CASE COMMENTS:

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) Indicate the project's compliance with the following Unified Land Development Regulations (ULDR) section by providing a point-by-point narrative response, on letterhead, with date and author indicated.
 - a. Sec. 47-25.3, Neighborhood Compatibility Requirements
- 4) Provide the following information on site plan:
 - a. Setback dimensions from the property line for the light poles. Pursuant to ULDR Sec. 47-19.2.R Light Fixtures, Freestanding, light fixtures accessory to a nonresidential use shall be subject to the yard requirements of the zoning district in which it is located.
 - b. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from FP&L indicating such.
 - c. A general view of the site in the context of the entire development with provided pedestrian connections and appropriate crosswalks to the existing hotel.
 - d. Accurately depict the existing pavement style for the decorative circle within Corporate Drive (a.k.a. NE 7th Avenue). Describe and depict on the site plan how the decorative pavement will be reused. It appears the symmetry of the decorative treatment will be compromised by removing a portion of the circle.
- 5) Consider the following revisions to the proposed site layout in order to create a stronger and better defined presence along NE 62nd Street and to provide for a more pedestrian-friendly environment:
 - a. Bring the building closer to NE 62nd Street.
 - b. Relocate the drive-thru along the north side of the building to conceal the vehicular presence from the front and corner yards of the property and to eliminate pedestrian/vehicular conflicts.
 - c. Provide direct pedestrian access from Corporate Drive to the front entrance of the restaurant, including appropriate crosswalks to the existing hotel.
 - d. Relocate the outdoor seating area to the front yard, along NE 62nd Street, to activate the use along the street.
- 6) The South elevation, facing NE 62nd Street, lacks architectural details. Improve the design of the facade to allow for wider openings facing the street and more appealing architectural details, color and articulation.
- 7) Ensure appropriate screening of the dumpster and consider relocating it away from the residential area.
- 8) Pursuant to ULDR Section 47-22.4.C.8, provide a master sign plan detailing the following:
 - a. Location and orientation of all proposed signage;
 - b. Dimensions of each proposed sign (height, width, depth, etc.);
 - c. Proposed sign copy; and,
 - d. Proposed color and materials.

Please note any proposed signs will require a separate permit application. Pursuant to ULDR Section 47-22, *Sign requirements*, proposed signage must comply with code regulations.

- 9) Provide a landscape buffer with shade trees between the proposed sidewalk along Corporate Drive and vehicular lanes.
- 10) Provide a roof plan for the proposed building indicating the location of all mechanical equipment. This plan shall include spot elevations of the parapet wall and roof as well as mechanical to illustrate how equipment will be screened or shielded from view. In addition, indicate all mechanical equipment within the subject site on the site plan and elevations where applicable.
- 11) Indicate the property line and extend values on photometric plans to all property lines. Show values as pursuant to section 47-25.3.A.3.a and 47-20.14. Indicate lighting poles on site plan and landscape plan, and provide detail with dimensions. Also, per Section 47-20.14, lighting fixtures greater than ten (10) feet in height shall be located a minimum of fifteen (15) feet away from shade trees.

GENERAL COMMENTS:

- 1) Consider employing green building practices throughout the project including, but not limited to charging stations, tankless water heaters, rain collection systems, pervious pavers, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.
- 2) It is strongly recommended that bicycle parking is provided in visible, well-lit areas as close as possible to pedestrian entryways/doors. In addition where possible, locate bicycle parking facilities in an area that is sheltered/covered. For more information, please send email to kmendrala@fortlauderdale.gov for information on bicycle parking standards and to obtain a copy of the Assoc. of Pedestrian and Bicycle Professionals [APBP] Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facility Guide.
- 3) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 4) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule a Professional Day Appointment with the project planner (call 954-828-5072) to review project revisions and/or to obtain a signature routing stamp.
- 5) For additional information regarding incorporation of wireless capabilities into the project in initial planning stages, please contact the applicable utility provider.
- 6) Additional comments may be forthcoming at the DRC meeting. Please provide a written response to all DRC comments within 180 days.

Case Number: R15031

CASE COMMENTS:

Please provide a response to the following:

1. All entry and exit doors should be solid, impact resistant or metal and be equipped with a secondary deadbolt locking system.
2. All entry and exit doors should provide a view of the exterior or be equipped with a view port or 180 degree peephole for security.
3. All glazing should be impact resistant.
4. The business should be equipped with an intrusion alarm system and a silent, manually activated robbery and emergency alarm system for police response. The system should have a cellular and / or battery backup feature.
5. The business should be equipped with a Closed Circuit TV (CCTV) system that covers the entry and exit points, cashier's counters, office, storage areas, drive-thru and the parking lots.
6. The interior door between the sales and service area should be equipped with access control features and signage to prevent unauthorized intrusion.
7. The business should have a security safe for cash and sensitive item secured storage and it should be located in the office.
8. The office should be access controlled and only accessible to designated employees.
9. Drive thru window should be equipped with security features to prevent breaching or unauthorized access to the business as well as having a window alarm in the event the window is compromised.

GENERAL COMMENTS:

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

Case Number: R15031

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your complex creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. Adequate space should be provided within dumpster enclosure to accommodate wheeled recycling carts.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City
4. Service Days shall be: No restriction for Commercial collection.
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name.
6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Ensure **site plan** clearly indicates (labeled) locations of all solid waste and recycling containers and/or compactor(s) for all uses as proposed in application. Identify containers.
8. Provide on the site plan a garbage truck turning radii for City review. Drive aisle width and design configuration must allow for safe and efficient maneuverability on-site and off-site. Indicate how truck will circulate to/from/within property.
9. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
10. Containers: must comply with 47-19.4.
11. Draw equipment on plan to show location of the containers inside the trash room. *Clarify whether uses on site will utilize compactor, carts and/or dumpster.*
12. Clearly label on site plan the location of enclosure(s), dumpster(s), recycling area(s), containers, etc. as applicable relating to Solid Waste / Recycling. Indicate on plans where users' accessibility is accommodated for all container areas.
13. Add bollards to the dumpster enclosure to protect inside walls.
14. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether is Pre or Final DRC.
 - o Letter should be created on formal letterhead describing what services are to be provided for solid waste and recycling including:
 - Type and size of containers, frequency of service, service provider if known; and

- Any additional details such as: container type(s), on-site handling and logistics for waste and disposal, specific dimensions as needed (e.g. compactor side and height clearance for haulers' accessibility).
- o This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to gmaldonado@fortlauderdale.gov. Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
- o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC: None

Case Number: R15031

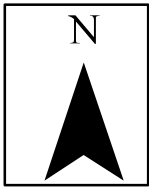
CASE COMMENTS:

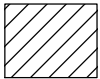
1. Provide a traffic impact statement. Coordinate with the Transportation and Mobility Department to discuss a traffic impact study.
2. Provide an explanation for the proposed building orientation and maintaining existing foliage and characteristics on the southern end of the property abutting Cypress Creek Rd. bringing the proposed building and improvements closer Cypress Creek Rd. and Corporate Dr. to activate the public streets is recommended.
3. Provide covered bicycle racks and bike pumps. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provided minimum bicycle parking based on requirements in the guide.
4. Ensure a safe and ADA accessible path is provided from Corporate Dr. to the front door of the proposed building.
5. Ensure all sidewalks are a minimum of 5ft wide, provide a seamless connection to adjacent sidewalks, and are ADA compliant throughout the site.
6. Ensure sidewalk on Corporate Dr. is a minimum of 7ft wide.
7. Show proposed improvements on Cypress Creek Blvd including a minimum 8-10 foot sidewalk; consult the city of Fort Lauderdale's "Connecting the Blocks" plan for more detailed information.
8. Ensure all sidewalks and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices.
9. Additional comments may be provided upon further review.
10. Signature required.

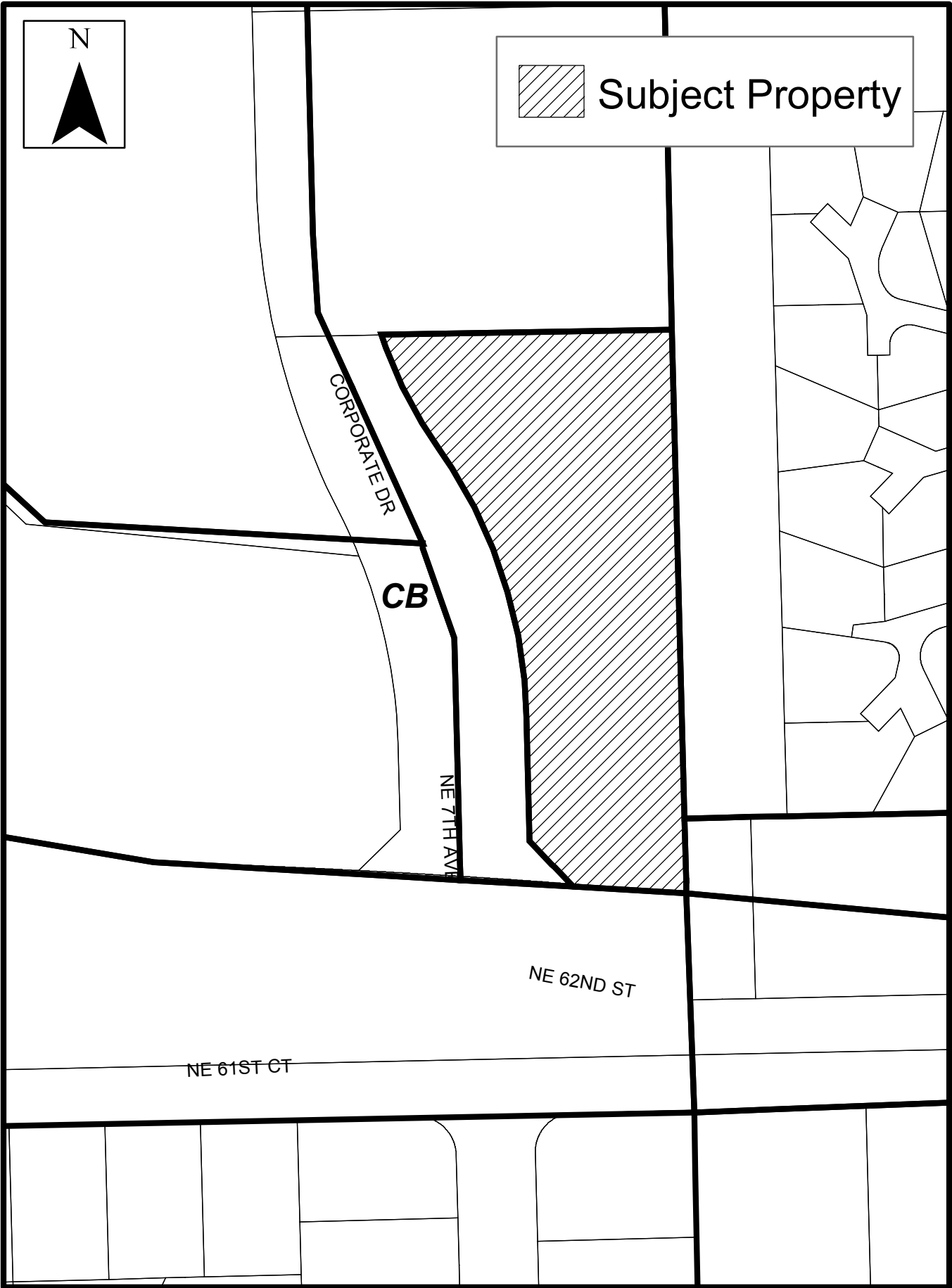
GENERAL COMMENTS:

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



 Subject Property



0 20 40 80 120 160 Feet

R15031