Page 1: DRC Site Plan - Applicant Information Sheet

<u>INSTRUCTIONS</u>: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

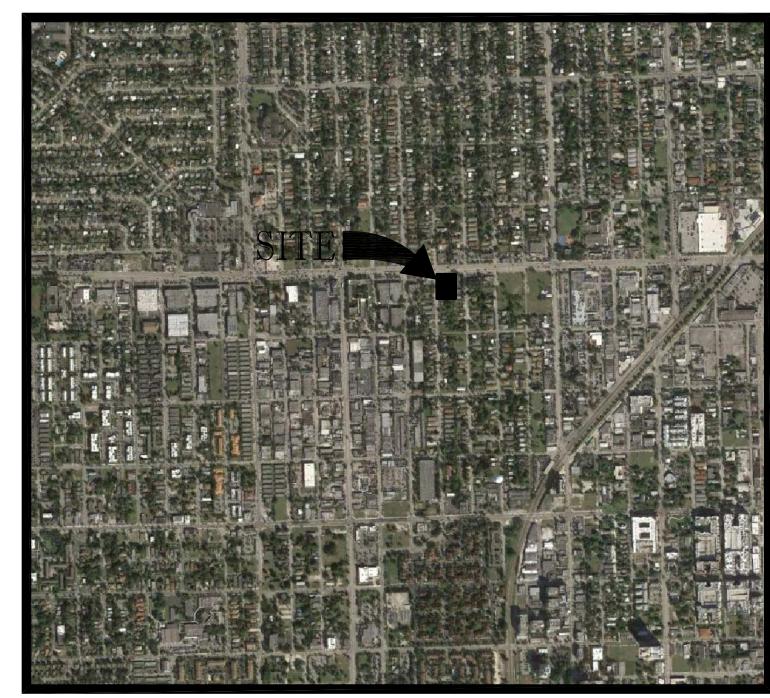
Case Number			
Date of complete submittal			
NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT			
Property Owner's Name			
Property Owner's Signature	If a signed agent letter is provided, no signature is r	required on the application by the owner.	
Address, City, State, Zip			
E-mail Address			
Phone Number			
Proof of Ownership	[] Warranty Deed or [] Tax Record		
NOTE: If AGENT is to represent OWNER,	notarized letter of consent is required		
Applicant / Agent's Name			
Applicant / Agent's Signature			
Address, City, State, Zip			
E-mail Address			
Phone Number			
Letter of Consent Submitted			
Development / Project Name			
Development / Project Address	Existing:	New:	
Legal Description			
Tax ID Folio Numbers		_	
(For all parcels in development)			
Request / Description of Project			
Total Estimated Cost of Project	\$ (Including land costs	.)	
	· · ·		
	collected at time of permit per each new hotel room a		
Estimated Park Impact Fee	\$ Fee Calculator: http://ci.	ftlaud.fl.us/building_services/park_impact_fee_calc.htm	
Current Land Use Designation			
Proposed Land Use Designation			
Current Zoning Designation			
Proposed Zoning Designation		_	
Current Use of Property Number of Residential Units			
Non-Residential SF (and Type)			
T . I DI I OT			
Total Bldg. SF (include structured parking)			
Total Bldg. SF (include structured parking) Site Adjacent to Waterway	[] Yes [] No		
	[] Yes [] No	Proposed	
Site Adjacent to Waterway		Proposed	
Site Adjacent to Waterway Dimensional Requirements		Proposed	
Site Adjacent to Waterway Dimensional Requirements Lot Size (SF / Acreage)		Proposed	
Site Adjacent to Waterway Dimensional Requirements Lot Size (SF / Acreage) Lot Density Lot Width		Proposed	
Site Adjacent to Waterway Dimensional Requirements Lot Size (SF / Acreage) Lot Density Lot Width Building Height (Feet / Levels)		Proposed	
Site Adjacent to Waterway Dimensional Requirements Lot Size (SF / Acreage) Lot Density Lot Width Building Height (Feet / Levels) Structure Length		Proposed	
Site Adjacent to Waterway Dimensional Requirements Lot Size (SF / Acreage) Lot Density Lot Width Building Height (Feet / Levels) Structure Length Floor Area Ratio		Proposed	
Site Adjacent to Waterway Dimensional Requirements Lot Size (SF / Acreage) Lot Density Lot Width Building Height (Feet / Levels) Structure Length Floor Area Ratio Lot Coverage		Proposed	
Site Adjacent to Waterway Dimensional Requirements Lot Size (SF / Acreage) Lot Density Lot Width Building Height (Feet / Levels) Structure Length Floor Area Ratio Lot Coverage Open Space		Proposed	
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Dimensional Requirements Lot Size (SF / Acreage) Lot Density Lot Width Building Height (Feet / Levels) Structure Length Floor Area Ratio Lot Coverage Open Space Landscape Area Parking Spaces	Required		
Site Adjacent to Waterway Dimensional Requirements Lot Size (SF / Acreage) Lot Density Lot Width Building Height (Feet / Levels) Structure Length Floor Area Ratio Lot Coverage Open Space Landscape Area Parking Spaces Setbacks (indicate direction N,S,E,W)	Required		
Dimensional Requirements Lot Size (SF / Acreage) Lot Density Lot Width Building Height (Feet / Levels) Structure Length Floor Area Ratio Lot Coverage Open Space Landscape Area Parking Spaces Setbacks (indicate direction N,S,E,W) Front []	Required		

Updated: 3/7/2013 DRC_SitePlanApp

SITE DEVELOPMENT DRAWINGS FOR: DUNKIN DONUTS

350 W. SUNRISE BLVD. CITY OF FORT LAUDERDALE SECTION 34, TOWNSHIP 49 S, RANGE 42 E FOR CAFUA MANAGEMENT

VICINITY \ AERIAL MAP



PROPERTY OWNER FLORIDA SUN INTERNATIONAL REALTY, INC. P.O. BOX 2273 FORT LAUDERDALE, FL 33303

LANDSCAPE ARCHITECT CONTACT: MICHAEL GROSSWIRTH LANDSCAPE ARCHITECT THOMAS ENGINEERING GROUP FT. LAUDERDALE, FL OFFICE: 954-202-7000 FAX: 954-202-7070\ MGROSSWIRTH@THOMASEG.COM

ARCHITECT CONTACT: MICHAEL VENTURA VENTURA ARCHITECTURE 304 INDIAN TRACE, STE 391 WESTON, FL 33326 OFFICE: (954) 423-1362 FAX: (954) 323-6191 MIKE@VENTURA-ARCHITECTURE.COM

CIVIL ENGINEER CONTACT: RYAN THOMAS ELECTRICAL/PHOTOMETRICS KAMM CONSULTING THOMAS ENGINEERING GROUP 1407 WEST NEWPORT CENTER DR. 1000 CORPORATE DRIVE, SUITE 250 DEERFIELD BEACH, FL 33442 FORT LAUDERDALE, FL 33334 OFFICE: (954) 949-2200 OFFICE: 954-202-7000 FAX: (954) 949-2201 RTHOMAS@THOMASEG.COM

SURVEYOR
PULICE LAND SURVEYORS, INC.

PLS@PULICELANDSURVEYORS.COM

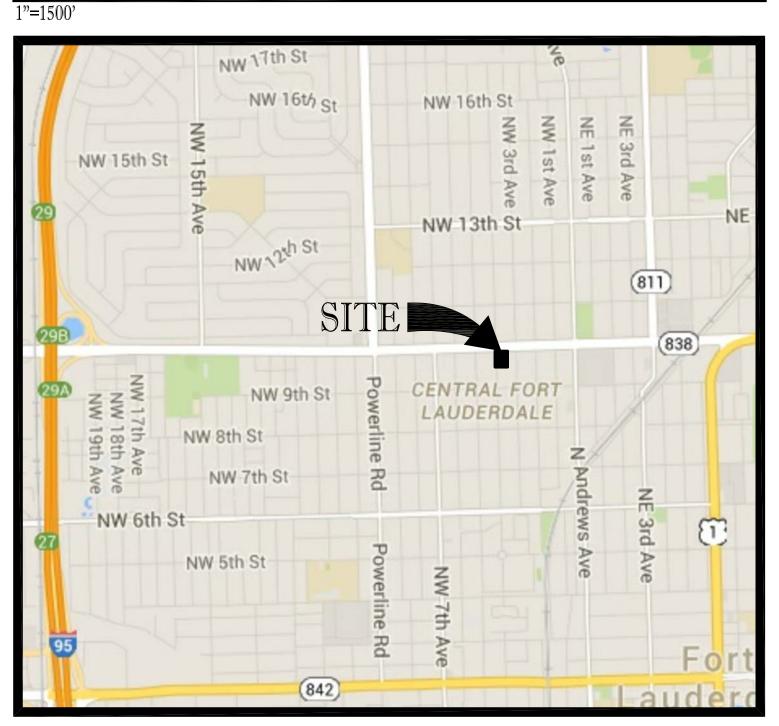
5381 NOB HILL ROAD

OFFICE: (954) 572-1777

SUNRISE, FL 33351

FAX: (954) 572-1778

LOCATION MAP



PREPARED BY



SHEET INDEX

PLANS BY THOMAS ENGINEERING GROUP:		
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SOIL EROSION CONTROL PLAN	C = 04	
SITE PLAN	C-05	
SITE DETAILS	C = 06	
PAVING, GRADING & DRAINAGE PLAN	C = 07	
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UTILITY PLAN	C = 09	
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ELEVATIONS	A-5	
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PLANS BY KAMM CONSULTING:		
SITE PHOTOMETRIC PLAN	E1.1	

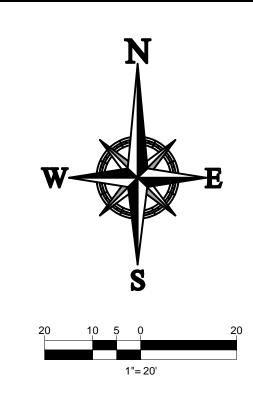
LEGAL DESCRIPTION: LOTS 43, 44, 45, 46, 47, AND 48 IN BLOCK 207, "PROGRESSO" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, LESS THE NORTH 15.00 FEET. SAID TRACT OF LANDS LYING AND BEING SITUATE IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, 350 W. SUNRISE BLVD.

RADICE III 1000 CORPORATE DRIVE, SUITE 250 FORT LAUDERDALE, FL 33334 PH: (954) 202-7000 FX: (954) 202-7070 www.ThomasEngineeringGroup.com

PROFESSIONAL ENGINEER FĽORIDA LICENSE No. 53891 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

COVER SHEET

C-01



THE PROPERTY MEDITANT SUCHE WEST SUNRISE BOULEVARD (STATE ROAD NO. 838) PROP. 10' ROW DEDICATION —2' CONCRETE CURB & GUTTER 2' CONCRETE CURB & GUTTER MONUMENT SIGN PROP. THICKENED-EDGE CURB PROP. DRIVE-THRU-PROPOSED BUILDING (1,858 S.F.) PROP. ADA— PROP. TYPE 'D' CURB FF.EL = 7.00'NAVD PROP, BIKE PROP. ADA RAMP-W/ DETECTABLE PROP. TYPE 'D' CURB-PROP. 24"-MENU BOARD THERMOPLASTIC STOP_IBAR CURB & GUTTER PROP. ADA RAMP W/ DETECTABLES CONCRETE PROP. LIMIT / // CURB & GUTTER SIGNS SOUTH LINE LOT 43 - CONCRETE WALL WOOD) FENCE **ASPHALT** BLOCK 207 "PROGRESSO" PLAT BOOK 2, PAGE 18, D.C.R.

SITE DATA TABLE

1. `THIS PLAN REFERENCES A BOUNDARY SURVEY BY:

PULICE LAND SURVEYORS, INC. 5381 NOB HILL ROAD SUNRISE, FL 33351

APPLICANT: CAFUA MANAGEMENT

2. DATA TABLE:

CURRENT USE: VACANT

PROPOSED USE: RESTAURANT/RETAIL

LAND USE DESIGNATION: COMMERCIAL

ZONING DESIGNATION: B-1 (BOULEVARD BUSINESS)
WATER/WASTE WATER SERVICE PROVIDER: CITY OF FORT LAUDERDALE

TOTAL AREA: 18,225 SF (0.418 AC) R/W DEDICATION: 1,350 SF

 NET AREA
 16,675 SF (100%)

 IMPERVIOUS
 10,424 (62.51%)

 BUILDING
 1,858 SF (11.14%)

 ASPHALT
 7,259 SF (43.53%)

 SIDEWALK
 1,307 SF (7.84%)

SIDEWALK 1,307 SF (7.84%)
PERVIOUS 6,251 SF (37.49%)

4. PARKING

A. RESTAURANT: 1/100 GFA (INCLUDING OUTDOOR PATIO) 1,858 SF BUILDING 300 SF PATIO

PARKING REQUIRED (2,158 SF/100): = 22 SPACES (8.7'X18')

PARKING PROVIDED: = 14 SPACES (8.7'X18')

B. ACCESSIBLE PARKING:

1 SPACE REQUIRED (12'X20')
1 SPACE PROVIDED (12'X20')

C. BICYCLE PARKING: 0 SPACE REQUIRED 8 SPACE PROVIDED

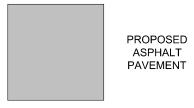
5. SITE REQUIREMENTS REQUIRED PROPOSED MAX. BLDG. HEIGHT: 150' MAX. 21'-3" MAX. LOT COVERAGE: NONE 11.14% PERVIOUS AREA: 20% 37.49% SETBACKS: REQUIRED PROPOSED FRONT (NORTH) 9.97' 0' 76.67' (BUILDING) SIDE STREET (WEST) NTERIOR SIDE YARD (EAST) 19.18' (BUILDING) 14.80' (AWNING) REAR (SOUTH) 10' 55.77' PERIMETER BUFFERS REQUIRED PROPOSED FRONT (NORTH) VARIES 4' - 7.5' SIDE STREET (WEST) 10.67'

2.5'

3.9'

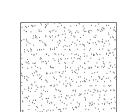
VARIES 10' - 21.94'

HATCH LEGEND





PROPOSED CONCRETE



EXISTING CONCRETE PROJECT No.: F140216
DRAWN BY: RJK
CHECKED BY: ROT
CAD I.D.: F140216 - SITE PLAN

PROJECT:

DUNKIN DONUTS

350 W. SUNRISE BLVD.

www.callsunshine.com

COMMENT:

FOR CAFUA

MANAGEMENT

CITY OF FORT LAUDERDALE BROWARD COUNTY FLORIDA



RADICE III
1000 CORPORATE DRIVE, SUITE 250
FORT LAUDERDALE, FL 33334
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com



PROFESSIONAL ENGINEER
June 18, 2015
FLORIDA LICENSE No. 53891
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

SITE PLAN

EET NUMBER:

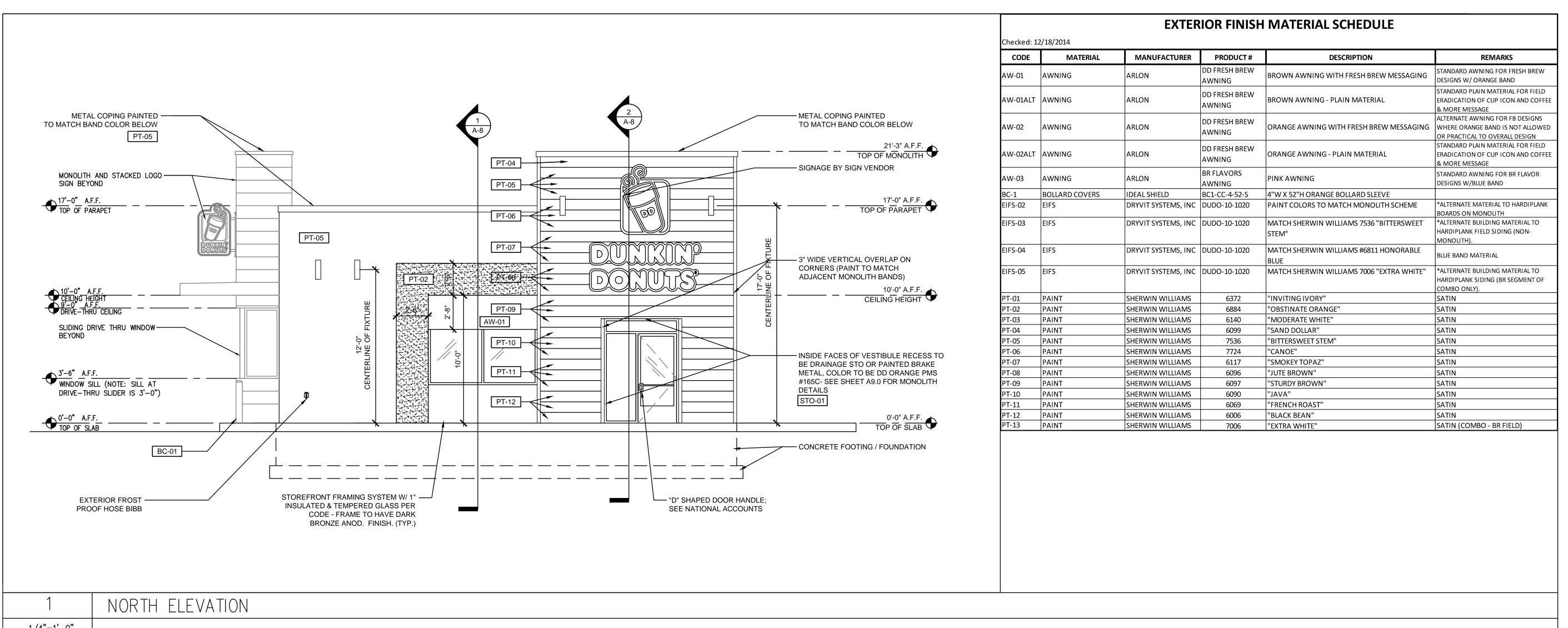
LEGAL DESCRIPTION:

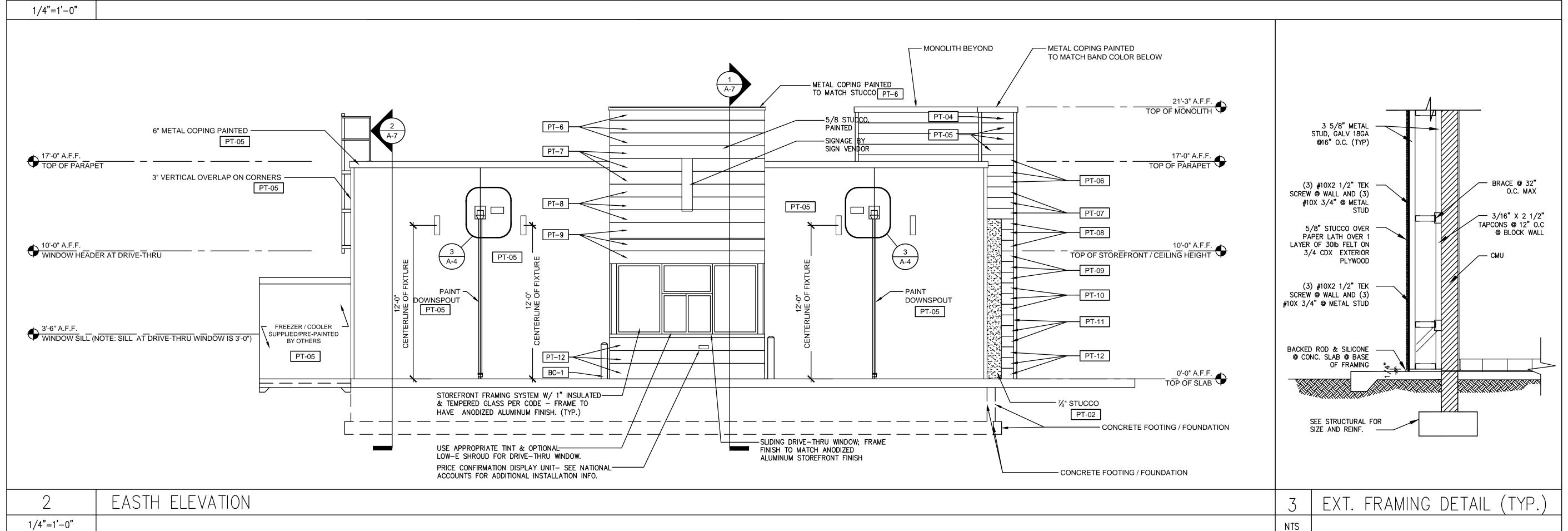
INTERIOR SIDE YARD (EAST)

REAR (SOUTH)

LOTS 43, 44, 45, 46, 47, AND 48 IN BLOCK 207, "PROGRESSO" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, LESS THE NORTH 15.00 FEET.

SAID TRACT OF LANDS LYING AND BEING SITUATE IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA,





DUNKIN' DONUTS 350 W. Sunrise Blvd. Fort Lauderdale, FL 33311 PC# 353913

development inc

VENTURA

michael a. ventura

304 indian trace ste. 391

weston florida 33326

phone: (954) 423-1362

ventura-architecture.com

A A O O O 3 1 2 3

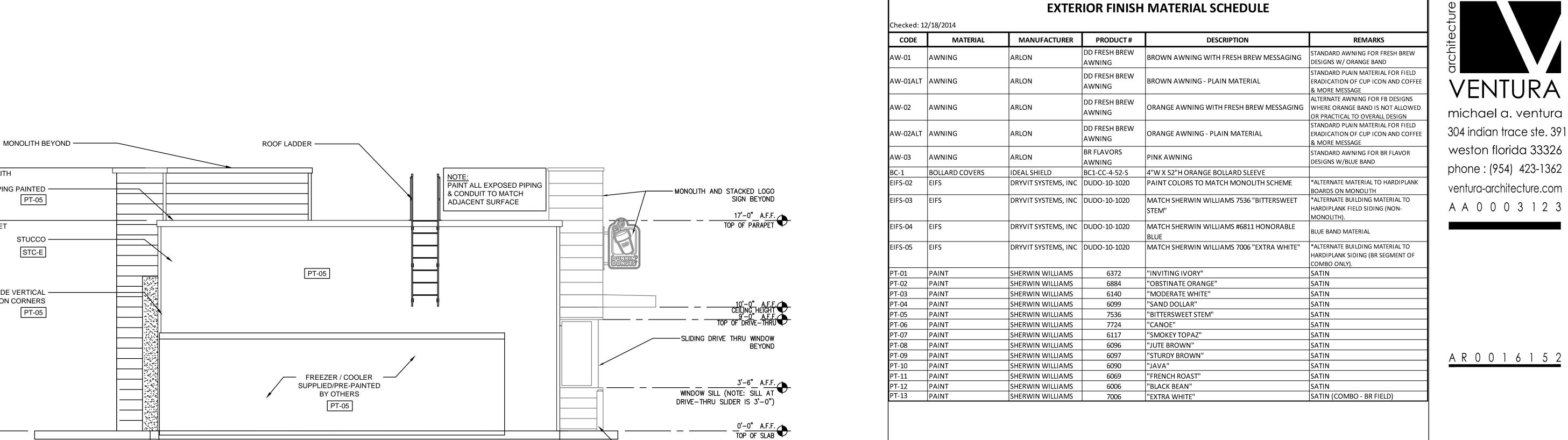
AR0016152

revisions:

Drawn by: Lourdes R. Lozano

date: 04-02-2015

A-5



21'-3" A.F.F.

17'-0" A.F.F.

TOP OF MONOLITH

TOP OF PARAPET

0'-0" A.F.F.

TOP OF SLAB

6" METAL COPING PAINTED -

PT-05

STUCCO -

STC-E

PT-05

3" WIDE VERTICAL

OVERLAP ON CORNERS

CONCRETE FOOTING /

FOUNDATION

SOUTH ELEVATION 1/4"=1'-0" —— GRAPHIC APPLIED TO SIDING, FURNISHED AND INSTALLED BY G.C. - SEE HTTP://EXTRANET.DUNKINBRANDS.COM FOR ADDITIONAL SIZES AVAILABLE - STOREFRONT FRAMING SYSTEM W/ 1" INSULATED & TEMPERED GLASS 21'-3" A.F.F. TOP OF MONOLITH PER CODE - FRAME TO HAVE BRONZE ANOD. FINISH. (TYP.) 3" VERTICAL OVERLAP ON -- 6" METAL COPING PAINTED CORNERS (PAINT TO MATCH PT-05 ADJACENT MONOLITH BANDS) 17'-0" A.F.F. 17'-0" A.F.F. TOP OF PARAPET TOP OF PARAPET 24" DRAINAGE STO SYSTEM W/ -- 3" WIDE VERTICAL OVERLAP HORIZONTAL REVEALS AT 10" O.C. PT-05 ON CORNERS (PAINTED PER STANDARD PLAN PT-05 MONOLITH COLORS) (HANDRAILS OMITTED FOR CLARITY) - "G" LIGHT FIXTURE (TYP.) 1/4" x 4" SQ.—/ ALUMINUM BASE PLATES STO-01 NOTE: ALL BOLTS/FASTENERS NECESSARY TO ANCHOR LADDER ARE BY OTHERS. — AWNING - PAINT DOOR AND FRAME 10'-0" A.F.F. PT-06 12" TYP CEILING HEIGHT — NOTE: G.C. TO PROVIDE AND INSTALL FLASHING BETWEEN WALK-IN AND EXTERIOR WALL AW-01 (TYP.) SEE DETL. #2, SHT. A-9 12'-0" INE OF - "PEEP" HOLE (SEE SPECS) INSIDE FACES OF VESTIBULE RECESS TO -FREEZER / BE DRAINAGE STO OR PAINTED BRAKE METAL, COLOR TO BE DD ORANGE PMS #165C- SEE SHEET A9.0 FOR MONOLITH COOLER SUPPLIED/PRE-PAINTED BY OTHERS BRACKET DETAIL DETAILS STO-01 PT-05 0'-0" A.F.F. 2-1/4" SERRATED
ALUMINUM TREAD TOP OF SLAB FACTORY FINISH AS REQ'D - EXTERIOR FROST CONCRETE FOOTING -CONCRETE SLAB FOR / FOUNDATION ALUMINUM-MILL FINISH PROOF HOSE BIBB WALK-IN; DEPRESS SLAB 4" BELOW SLAB SIGN HEIGHT MAY -POSITION LIGHT · "D" SHAPED DOOR HANDLE; VARY BASED ON UNDER CUP SWIRL SEE NATIONAL ACCOUNTS TO ILLUMINATE LOCAL CODE WALL GRAPHIC REGULATIONS WEST ELEVATION ROOF LADDER DETAIL 1/4"=1'-0" NTS

BC-01

development inc

33311 DUNKIN' DONUT 350 W. Sunrise Blvd Fort Lauderdale, FL PC# 353913

revisions:

Drawn by: Lourdes R. Lozano

date: 04 -02- 2015



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: July 14, 2015

Florida Sun International Realty Inc. / Dunkin

Project Name: Donuts at Sunrise Boulevard

Case Number: R15032

Site Plan Level II Review: 1858sf Restaurant Use

Request: and parking Reduction

Location: 350 W. Sunrise Boulevard

Boulevard Business (B-1)

Commercial

Land Use:

Zoning:

Project Planner: Thomas Lodge



Division: BUILDING SERVICES **Member:** John Madden

<u>imadden@fortlauderdale.gov</u>

954-828-5202

Case Number: R15032

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

- 1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
- The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;
 - a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeld=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

- 1. On June 30 2015, the 5th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - b. http://www.fortlauderdale.gov/departments/sustainable-development/building-services
 - c. https://floridabuilding.org/dca/dca_fbc_default.aspx
 - d. http://www.broward.org/codeappeals/pages/default.aspx



954-828-5123

Case Number: R15032

RIGHT OF WAY / EASEMENT DEDICATIONS REQUIRED PER ULDR SECTION 47-25.2.M.5:

- a. 10' Right-of-Way dedication along south side of W. Sunrise Boulevard (SR 838), to complete half of 120' Right-of-Way section (per the most current Broward County Road Jurisdiction & Functional Classification Map); show linework in the plans and provide exhibit, as appropriate
- b. 2' Right-of-Way dedication along east side of N.W. 4th Avenue, to complete half of 50' Right-of-Way section

CASE COMMENTS:

A. Please respond to Comments 1 through 20 prior to Final DRC sign off

- 1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works Engineering Department. Please contact Jorge Holguin at 954-828-5675 or JHolguin@fortlauderdale.gov.
 - b. Prepare & submit an application for a Developer Agreement (Water & Wastewater permit packages) with the Department of Sustainable Development. Coordinate the submittal through Alex Scheffer, P.E. Urban Design Engineer at (954) 828-5123 or AScheffer@fortlauderdale.gov.
 - c. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS coordinate with Alia Awwad, P.E. [(954) 828-6078 or AAwwad@fortlauderdale.gov] and/or Eric Houston [(954) 828-5216 or EHouston@fortlauderdale.gov] with the Transportation & Mobility Department to fulfill transport aspect of the Adequacy requirements.
 - d. Coordinate the minimum Finished Floor Elevation and site grading approval with Richard Benton City Floodplain Manager at (954) 828-6133 or RBenton@fortlauderdale.gov; please note that additional notes may be required on the Site Data table.
- Please be advised that all proposed improvements within or adjacent to the Florida Department of Transportation (FDOT), Broward County (BCHECD) and City Right of Way are subject to issuance of a Right of Way permit from the authority having jurisdiction. This shall include the execution of an agreement that authorizes those entities the authority to remove improvements for any public purpose in the future.

Please coordinate and provide approval from the following agency for the improvements along:

- a. W. Sunrise Boulevard (SR 838) Florida Department of Transportation (FDOT)
- Obtain approval from the Florida Department of Transportation (FDOT) for the Strategic Intermodal System (SIS) Program. The site plan shall be reviewed and approved by FDOT. Please contact Ms. Tammy Campbell at 954-777-4668 (tammy.campbell@dot.state.fl.us) to inquire whether the SIS approval is required for the proposed development.



- Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
- A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. at (954) 828-6078 or <u>AAwwad@fortlauderdale.gov</u>.
- Show existing and proposed property line / Right-of-Way boundaries and easements on Site Plan, including corner chord dedications. Discuss if 20' corner chord Right-of-Way dedication is needed at the corner of W. Sunrise Boulevard & N.W. 4th Avenue intersection.
- Discuss narrowing of N.W. 4th Avenue as part of this development, to provide two (2) 10' lanes in each direction to the curb cut.
- 8. Please be advised that in the City's Right-of-Way, within 50' of any road cuts for utilities and/or curb cuts, the existing pavement shall be restored to full lane width, per City Code of Ordinances Section 25-108.
- 9. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
- 10. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of utilizing sustainable or low impact (cisterns, pervious pavers, etc.) uses for landscaping along the streetscape.
- 11. Please prepare and submit the following exhibits which clearly define the following (as applicable):
 - a. Construction Phasing Exhibit
 - b. Right-of-Way / Easement Dedication / Vacation Exhibit
 - c. Maintenance Agreement Area Exhibit
 - d. Revocable License Area Exhibit
- 12. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
- 13. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
- 14. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
 - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.
 - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water main shall be constructed with DIP piping in the City Right-Of-Way.
 - c. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the Paving, Grading, and Drainage plan.
 - d. Signing and marking plan, including the radii all landscaping and pavement areas.

Comment [AS1]: Is one needed at Sunrise and 4th?

Comment [AS2]: Yes with 2' overhang.



- 15. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations, are met and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's Right-of-Way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
- 16. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
- 17. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons "and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
- 18. Show utilities on the lighting and landscaping plans for potential conflict.
- 19. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
- 20. Please discuss the locations/relocation of the underground utilities with the City Public Works Department Utilities, Rick Johnson at RJohnson@fortlauderdale.gov or (954) 828-7809.

B. Respond to Comments 21 through 34 prior to Engineering Permit Approval

- 21. Resolve the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.
- 22. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a maintenance agreement shall be executed with the City acknowledging that the Applicant will maintain all the facilities, landscaping, and hardscaping improvements within the City's Right-of-Way.
 - Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.
- 23. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or EKalus@broward.org at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dougniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.



- 24. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
- 25. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
- 26. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
 - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
 - 1. Include a narrative for each phase along with roadways utilized for materials delivery
 - 2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
 - 3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
 - 4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
 - 5. Show location and type of construction crane(s), including span radius
 - 6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes
 - 7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
 - 8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
 - 9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
 - 10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
 - 11. Show location of parking for inspectors and construction personnel. Include all off site parking-location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site give shuttle schedule and show route of shuttle
 - 12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
 - 13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
 - 14. Indicate where and how concrete trucks will stage during multiple yardage pours
 - 15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
 - 16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
 - 17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
 - 18. Indicate schedule for street sweeping of periphery of construction site
 - 19. Indicate if dewatering is proposed.



- 27. Obtain a dewatering permit as required from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvanlandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at http://www.broward.org/pprd/cs_dewatering.htm.
- 28. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person Is Steve Memberg (smemberg@sfwmd.gov).
- 29. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dougniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
- 30. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
- 31. Please note that any lighting onsite or in the City's Right-of-Way or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in or near the right of way. Please contact the Facilities Maintenance office, David Smith at (954) 828-6560, for information concerning the lighting within the City's Right-Of-Way.
- 32. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
- 33. Please discuss with City Public Works Department Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.
- 34. Provide a sewer connection and cleanout for the proposed dumpster enclosure.



Division: LANDSCAPE **Member:** Kimberly Pearson Kpearson@fortlauderdale.gov

954-828-5200

Case Number: R15032

CASE COMMENTS:

Please provide a response to the following:

- 1. Illustrate DOT sight triangle areas on plan to correspond street tree planting.
- 2. Shift sidewalk in towards property to allow for street tree plantings between the sidewalk and the street.
- 3. Provide canopy trees at front seating area in place of Royal Palms for increased pedestrian shade and safety.
- 4. Illustrate dimensions on landscape perimeters.
- 5. Provide structural soil in areas where canopy trees are adjacent to sidewalks. Illustrate this on site, civil and landscape plans.
- 6. Review the City of Fort Lauderdale's Florida Friendly Landscaping requirements which have been adopted into the Landscape and Tree Preservation Requirements of our ULDR 47-21. There are certain calculation, hydrozone planting, irrigation, street tree, etc requirements that must be provided. Refer to Landscaping & Trees subheading at Building Permit Link at www.fortlauderdale.gov to view the official City Commission approved ordinance.

GENERAL COMMENTS:

Please consider the following prior to submittal for Building Permit:

- 7. 1. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
- 8. A separate sub-permit application for General Landscaping is required at time of master permit submittal.
- 9. Provide irrigation plan illustrating an automatic system which provides head to head coverage and rain sensor shut off device. This is to include the rights-of-way areas.
- 10. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.



Division: URBAN DESIGN & PLANNING **Member:** Thomas Lodge

tlodge@fortlauderdale.gov 954-828-8981

Case Number: R15032

CASE COMMENTS:

Please provide a response to the following:

- The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: (http://www.fortlauderdale.gov/neighborhoods/index.htm). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) Consider moving the building closer to the corner of Sunrise Boulevard and NW 4 Avenue to help activate the street edge and promote a spatial framework to support pedestrian and multi-modal options and encourage direct access from the sidewalk.
- 4) Indicate the project's compliance with Unified Land Development Regulations ("ULDR"), Sec. 47-25.3, Neighborhood Compatibility by providing a point-by-point narrative response, on letterhead, with date and author indicated.
- 5) Please take effort to ensure the proposal is consistent with the Northwest-Progresso-Flagler Heights ("NPF") Community Redevelopment Plan and provide documentation. Please contact Bob Wojcik (954-828-4521).
- 6) Pursuant to ULDR Sec. 47-22.4.C.8, provide a Master Sign Plan detailing the information below. Please note, any proposed signs will require a separate permit application:
 - a. Location and orientation of all proposed signage;
 - b. Dimensions of any proposed signage (height, width, depth, etc.); and,
 - c. Proposed sign copy, if available, colors and material.
- 7) Please provide adequate landscape strip with shade trees between the curb and sidewalk to provide a safer, more usable and comfortable pedestrian environment that will also support proper shade tree growth and long-term sustainability. Discuss shade tree types with the Landscape Representative.
- 8) Pursuant to ULDR Sec. 47-25.3.A.3.b, Control of Appearance, facades facing residential properties shall be architecturally enhanced. Please consider a more active building façade, such as adding fenestration by incorporating windows, etcetera and/or a facade treatment that improves the aesthetic appearance and overall building composition/articulation as it relates to the residential context.
- 9) An application for a parking reduction on property located within the Northwest-Progresso-Flagler Heights Community Redevelopment Area ("NPF-CRA") requires Site Plan Level II approval pursuant to Section 47-24.2. Discuss the parking reduction methodology and process with the Transportation and Mobility Representative.
- 10) To better accommodate pedestrian circulation, minimize pedestrian crossing(s) distance across VUAs by reducing curb cut widths at entrance/exit drive(s) to meet only the minimum standard width as required by Engineering. Discuss minimum standards with the Engineering Representative.
- 11) It is strongly recommended that bicycle parking be located in visible, well-lit areas as close as possible to pedestrian entryways/doors is provided. In addition where possible, locate bicycle parking facilities in an area that is sheltered/covered.



Division: URBAN DESIGN & PLANNING

Member: Thomas Lodge tlodge@fortlauderdale.gov 954-828-8981

- 12) Consider providing on-street parking spaces on 4th Avenue.
- Consider contacting Broward County Transit to discuss the potential for a bus stop location in front of the site on Sunrise Boulevard.
- 14) The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project including, such as, but not limited to charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.

General Comments

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

- 15) Provide a written response to all DRC comments within 180 days.
- 16) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner (954-828-8981) to review project revisions and/or to obtain a signature routing stamp.
- 17) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on an additional site plan, to avoid additional review in the future. Ensure details and locations receive approval form the Building Service Department's DRC Representative.
- 18) Additional comments may be forthcoming at the DRC meeting.



Division: POLICE **Member:** Detective C. Colon ccolon@fortlauderdale.gov

954-828-4964

Case Number: R15032

CASE COMMENTS:

Please provide a response to the following:

- 1. All entry and exit doors should be solid, impact resistant or metal and be equipped with a secondary deadbolt locking system.
- 2. All entry and exit doors should provide a view of the exterior or be equipped with a view port or 180 degree peephole for security.
- 3. All glazing should be impact resistant.
- 4. The business should be equipped with an intrusion alarm system and a silent, manually activated robbery and emergency alarm system for police response. The system should have a cellular and / or battery backup feature.
- 5. The business should be equipped with a Closed Circuit TV (CCTV) system that covers the entry and exit points, cashier's counters, office, storage areas, drive-thru and the parking lots.
- 6. The interior door between the sales and service area should be equipped with access control features and signage to prevent unauthorized intrusion.
- 7. The business should have a security safe for cash and sensitive item secured storage and it should be located in the office.
- 8. The office should be access controlled and only accessible to designated employees.
- 9. Drive thru window should be equipped with security features to prevent breaching or unauthorized access to the business as well as having a window alarm in the event the window is compromised.

GENERAL COMMENTS:

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.



Division: SOLID WASTE and RECYCLING **Member:** Gabriel Maldonado

gmaldonado@fortlauderdale.gov

954-828-5054

Case Number: R15032

CASE COMMENTS:

Please provide a response to the following:

- 1. Garbage, Recycling and Bulk Trash shall be provided.
- Recycling reduces the amount of trash your complex creates and it is the best way to reduce monthly waste
 disposal costs and improve your company's bottom line. Adequate space should be provided within
 dumpster enclosure to accommodate wheeled recycling carts.
- 3. Solid Waste Services shall be provided by a Private Contractor licensed by the City
- 4. Service Days shall be: No restriction for Commercial collection.
- Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name.
- 6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
- 7. Ensure **site plan** clearly indicates (labeled) locations of all solid waste and recycling containers and/or compactor(s) for all uses as proposed in application. Identify containers.
- 8. Provide on the site plan a garbage truck turning radii for City review. Drive aisle width and design configuration must allow for safe and efficient maneuverability on-site and off-site. Indicate how truck will circulate to/from/within property.
- 9. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
- Clearly label on site plan the location of enclosure(s), dumpster(s), recycling area(s), containers, etc. as applicable relating to Solid Waste / Recycling. Indicate on plans where users' accessibility is accommodated for all container areas.
- 11. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether is Pre or Final DRC.
 - Letter should be created on formal letterhead describing what services are to be provided for solid waste and recycling including:
 - Type and size of containers, frequency of service, service provider if known; and
 - Any additional details such as: container type(s), on-site handling and logistics for waste and disposal, specific dimensions as needed (e.g. compactor side and height clearance for haulers' accessibility).
 - This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to gmaldonado@fortlauderdale.gov. Letter should include an



Division: SOLID WASTE and RECYCLING **Member:** Gabriel Maldonado

gmaldonado@fortlauderdale.gov

954-828-5054

analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.

o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC: None

Division: TRANSPORTATION & MOBILITY

Member: Eric Houston ehouston@fortlauderdale.gov

954-828-5216

Case Number: R15032

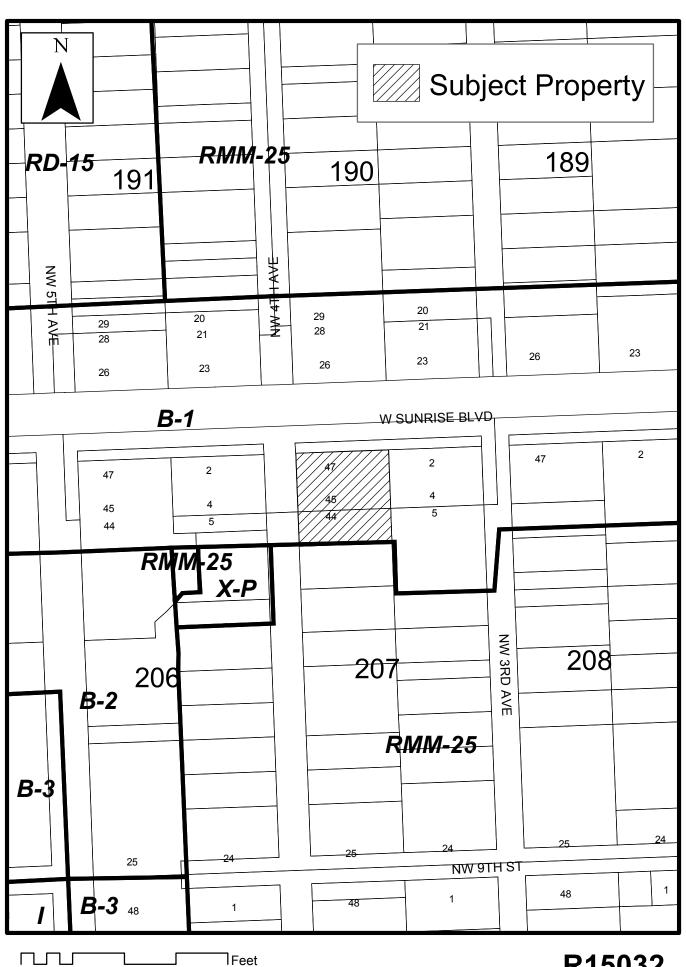
CASE COMMENTS:

- 1. Provide a traffic impact statement. Coordinate with the Transportation and Mobility Department to discuss a traffic impact study and a parking reduction study.
- 2. Ensure traffic analysis demonstrates adequate onsite queuing during peak hours.
- Provide covered bicycle racks and bike pumps. Consult the APBP Bicycle Parking Guidelines and Broward
 County End-of-Trip Bicycle Facilities Guide. Provided minimum bicycle parking based on requirements in the
 quide.
- 4. Add on-street parking on NW 4th Ave adjacent to the site.
- 5. Implement necessary bus stop improvements to ensure the BCT bus stop is ADA compliant. Consider installing a bus shelter at the stop and show all improvements on the site plans.
- 6. Ensure all sidewalks are a minimum of 5ft wide, provide a seamless connection to adjacent sidewalks, and are completely ADA compliant throughout the site.
- 7. Show proposed improvements on Sunrise Blvd including a minimum 10 foot sidewalk; consult the city of Fort Lauderdale's "Connecting the Blocks" plan for more detailed information.
- 8. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices.
- 9. Consider permeable pavement in the parking lot and drive isle.
- 10. Additional comments may be provided upon further review.
- 11. Signature required.

GENERAL COMMENTS:

Please address comments below where applicable.

- 1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval.
- 2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



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