

Page 1: DRC Site Plan - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

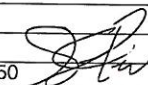
NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	5512 NW 10 Terrace, LLC and 5551 NW 9 Avenue 1-5, LLC
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	2101 NW 110 Avenue Miami, FL 33172
E-mail Address	see agent
Phone Number	see agent
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Graham Penn
Applicant / Agent's Signature	
Address, City, State, Zip	200 S Biscayne Blvd., Suite 850
E-mail Address	gpenn@brzoninglaw.com
Phone Number	305 374 5300
Letter of Consent Submitted	Yes

Development / Project Name	Adonel Concrete
Development / Project Address	Existing: 5551 9 Ave. 5512, 5570 10 Terr. New:
Legal Description	Lot 2, 10, and 11 Pine Ridge Acres, Plat Book 28, Page 3 B of the Public Records of Broward County, Florida
Tax ID Folio Numbers (For all parcels in development)	4942 16 01 0170, 4942 16 01 0180, 4942 1601 0190, 4942 16 01 0040, 4942 16 01 0041, and 4942 16 01 0042.
Request / Description of Project	Conditional Use for Expansion of Concrete Plant
Total Estimated Cost of Project	\$ _____ (Including land costs)

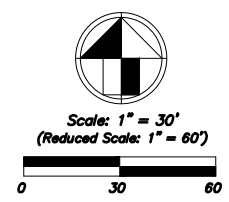
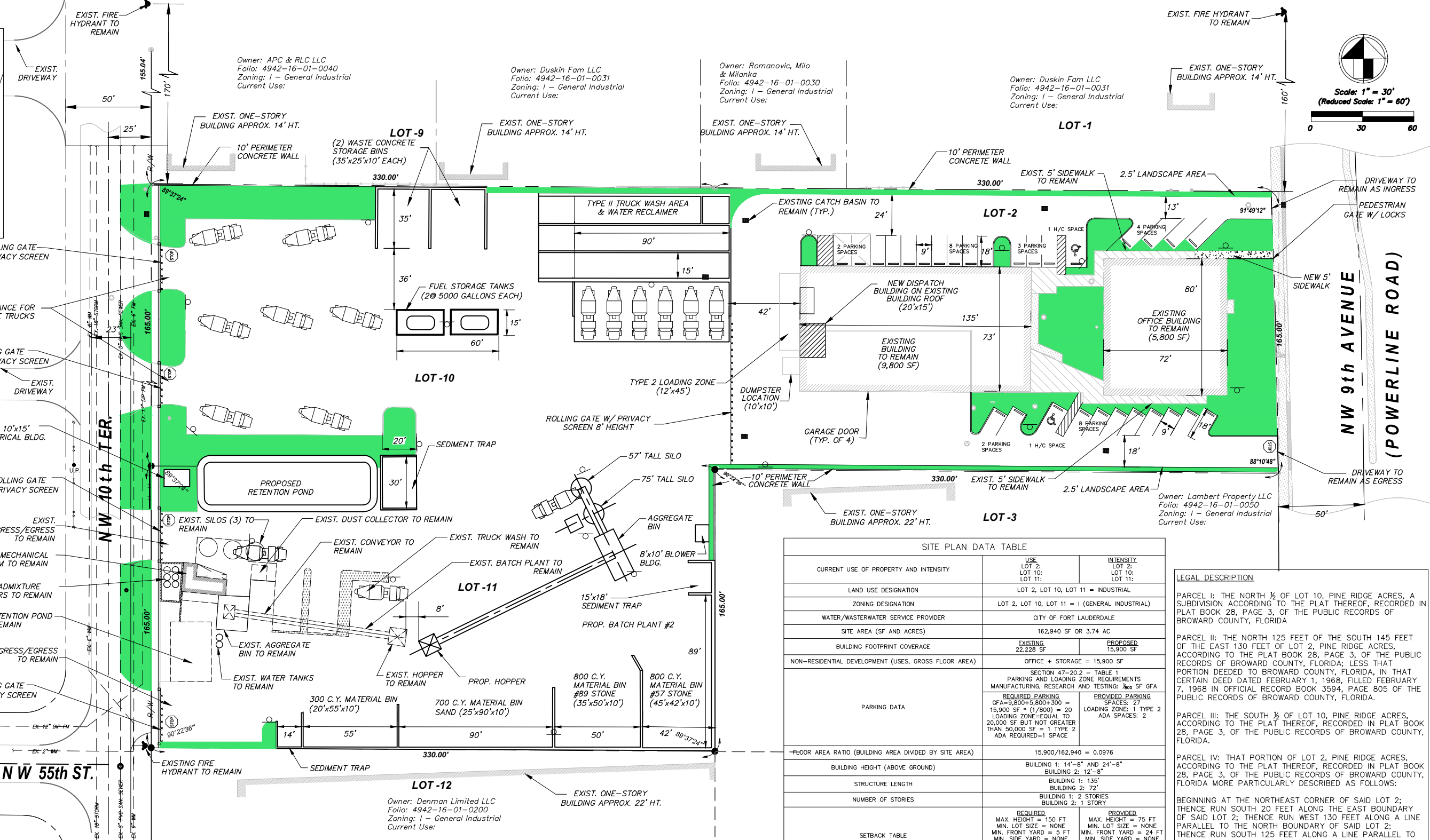
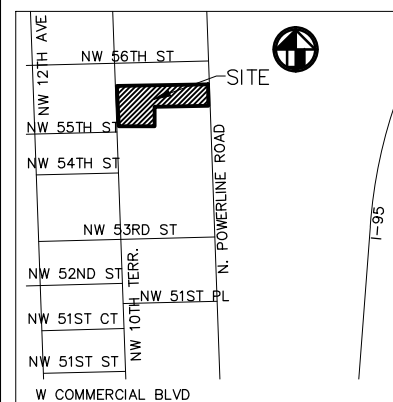
NOTE: Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type.

Estimated Park Impact Fee	\$ 0.00	Fee Calculator: http://ci.flaud.fl.us/building_services/park_impact_fee_calc.htm
----------------------------------	---------	---

Current Land Use Designation	Industrial
Proposed Land Use Designation	No Change
Current Zoning Designation	Industrial (I)
Proposed Zoning Designation	No Change
Current Use of Property	Concrete Plant and former ambulance dispatch/maintenance
Number of Residential Units	0
Non-Residential SF (and Type)	15,900 square feet office, maintenance, dispatch, storage
Total Bldg. SF (include structured parking)	Same
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)	N/A	N/A
Lot Density	N/A	N/A
Lot Width	N/A	N/A
Building Height (Feet / Levels)	150	24'8"
Structure Length	N/A	135'
Floor Area Ratio	N/A	0.09
Lot Coverage	N/A	N/A
Open Space		
Landscape Area		
Parking Spaces	20	27

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front [E]	5	27.12'
Side [N]	0	39.54
Side [S]	0	45.03'
Rear [W]	5	200'+



SITE PLAN DATA TABLE		
	USE LOT 2: LOT 10: LOT 11:	INTENSITY LOT 2: LOT 10: LOT 11:
CURRENT USE OF PROPERTY AND INTENSITY		
LAND USE DESIGNATION	LOT 2, LOT 10, LOT 11 = INDUSTRIAL	
ZONING DESIGNATION	LOT 2, LOT 10, LOT 11 = (GENERAL INDUSTRIAL)	
WATER/WASTEWATER SERVICE PROVIDER	CITY OF FORT LAUDERDALE	
SITE AREA (SF AND ACRES)	162,940 SF OR 3.74 AC	
BUILDING FOOTPRINT COVERAGE	EXISTING 22,228 SF	PROPOSED 15,900 SF
NON-RESIDENTIAL DEVELOPMENT (USES, GROSS FLOOR AREA)	OFFICE + STORAGE = 15,900 SF	
PARKING DATA	SECTION 47-20.2 - TABLE 1 PARKING AND LOADING ZONE REQUIREMENTS MANUFACTURING, RESEARCH AND TESTING: 100 SF GFA REQUIRED PARKING SPACES: 27 GFA=9,800+5,800+300 = 15,900 SF * (1/800) = 20 LOADING ZONE=EQUAL TO 20,000 SF BUT NOT GREATER THAN 50,000 SF = 1 TYPE 2 ADA REQUIRED=1 SPACE	PROVIDED PARKING SPACES: 27 LOADING ZONE: 1 TYPE 2 ADA SPACES: 2
FLOOR AREA RATIO (BUILDING AREA DIVIDED BY SITE AREA)	15,900/162,940 = 0.0976	
BUILDING HEIGHT (ABOVE GROUND)	BUILDING 1: 14'-8" AND 24'-8" BUILDING 2: 12'-8"	
STRUCTURE LENGTH	BUILDING 1: 135' BUILDING 2: 72'	
NUMBER OF STORIES	BUILDING 1: 2 STORIES BUILDING 2: 1 STORY	
SETBACK TABLE	REQUIRED MAX. HEIGHT = 150 FT MIN. LOT SIZE = NONE MIN. FRONT YARD = 5 FT MIN. SIDE YARD = NONE MIN. REAR YARD = NONE ABUTTING A STREET = 5 FT ALL OTHERS = NONE	PROVIDED MAX. HEIGHT = 75 FT MIN. LOT SIZE = NONE MIN. FRONT YARD = 24 FT MIN. SIDE YARD = NONE MIN. REAR YARD = NONE ABUTTING A STREET = 5 FT ALL OTHERS = NONE
OPEN SPACE	NOT APPLICABLE	
VEHICULAR USE AREA (FT)	82,360 SF	
LANDSCAPE AREA (SF)	19,733 SF	
LINEAR FEET OF SIDEWALK PROPOSED:	46 FT	

LEGAL DESCRIPTION

PARCEL I: THE NORTH 1/2 OF LOT 10, PINE RIDGE ACRES, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 28, PAGE 3, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

PARCEL II: THE NORTH 125 FEET OF THE SOUTH 145 FEET OF THE EAST 130 FEET OF LOT 2, PINE RIDGE ACRES, ACCORDING TO THE PLAT THEREOF, RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; LESS THAT PORTION DEEDED TO BROWARD COUNTY, FLORIDA, IN THAT CERTAIN DEED DATED FEBRUARY 1, 1968, FILLED FEBRUARY 7, 1968 IN OFFICIAL RECORD BOOK 3594, PAGE 805 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL III: THE SOUTH 1/2 OF LOT 10, PINE RIDGE ACRES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 28, PAGE 3, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL IV: THAT PORTION OF LOT 2, PINE RIDGE ACRES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 28, PAGE 3, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE RUN SOUTH 20 FEET ALONG THE EAST BOUNDARY OF SAID LOT 2; THENCE RUN WEST 130 FEET ALONG A LINE PARALLEL TO THE NORTH BOUNDARY OF SAID LOT 2; THENCE RUN SOUTH 125 FEET ALONG A LINE PARALLEL TO SAID EAST BOUNDARY OF LOT 2; THENCE RUN EAST 130 FEET OF SAID LOT 2, TO AN INTERSECTION WITH SAID EAST BOUNDARY OF LOT 2; THENCE RUN WEST 330 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE RUN NORTH 165 FEET, TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE RUN EAST 330 FEET ALONG NORTH BOUNDARY OF SAID LOT 2, TO THE POINT OF BEGINNING, AND IMPROVEMENTS THEREON.

LEGAL DESCRIPTION

LOT 11 PINERIDGE ACRES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGE 3, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA
FOLIO: 4942-16-01-0190

Revision	By	Appd.	YY.MM.DD	By	Appd.	YYYY.MM.DD

Seal

SEAN COMPEL, P.E.
REGISTERED ENGINEER NO. 66618
STATE OF FLORIDA



Stantec
901 Ponce de Leon Blvd, Suite 900
Coral Gables, Florida 33134
www.stantec.com

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

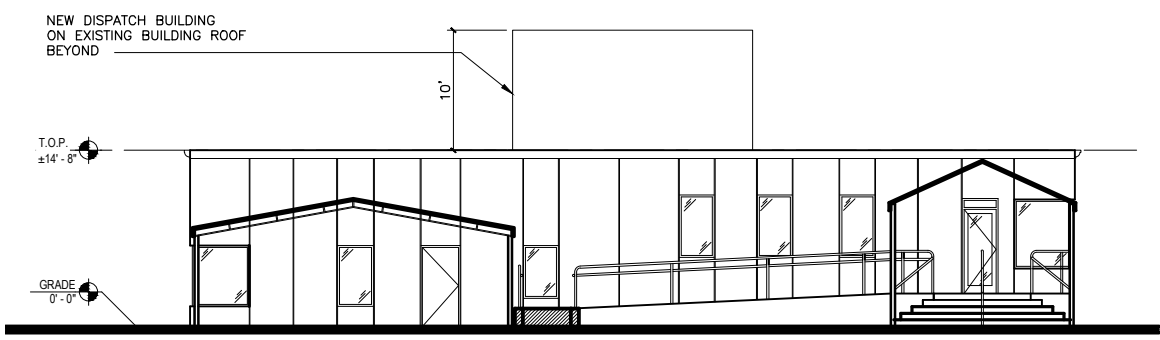
ADONEL CONCRETE BATCH PLANT
5512 NW 10TH TERRACE
FT. LAUDERDALE, FLORIDA

File Name: 215612276 Adonel Site Plan C-02.dwg LF SC SC 15.03.06
Dwn. Chkd. Dsgn. YY.MM.DD

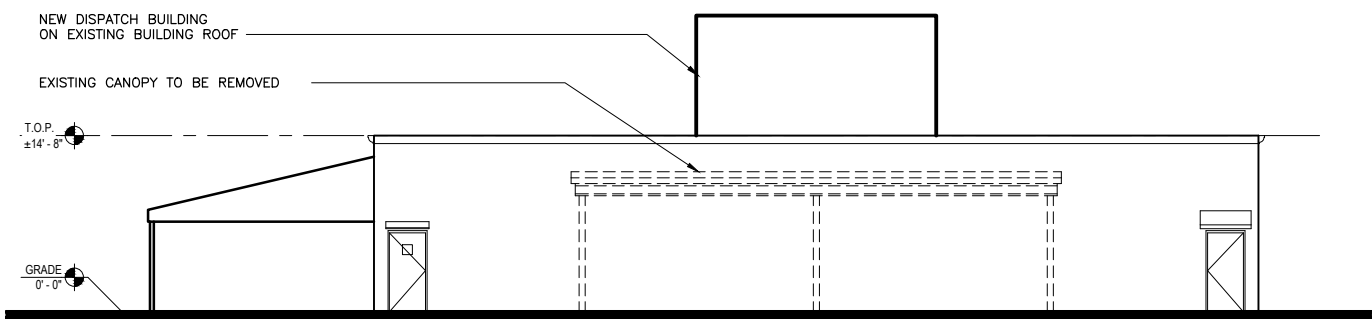
PROPOSED SITE PLAN

Project No. 215612276 Scale
Drawing No. C-03 Sheet of 13 Issue/Revision

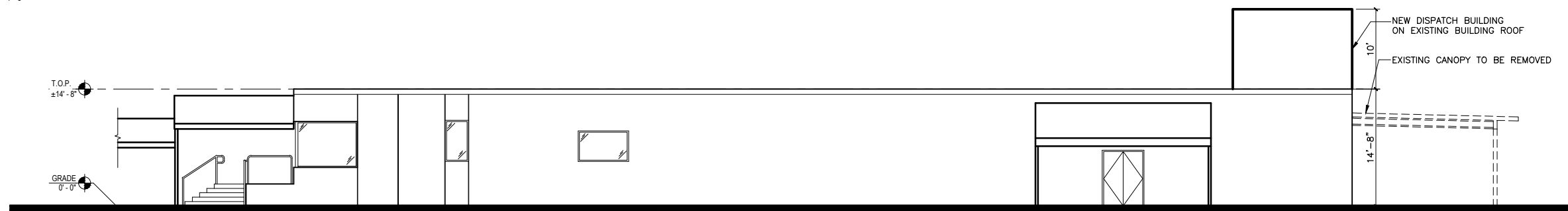
C:\Users\sean.compel\OneDrive\Documents\215612276 Adonel Site Plan C-02.dwg 15:03:06 15.03.06



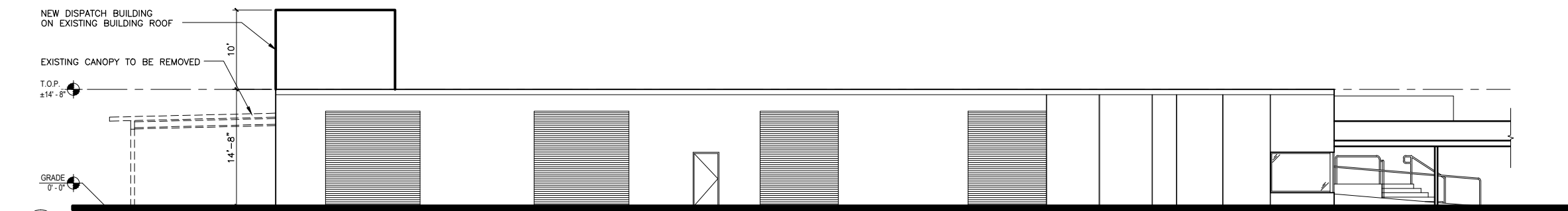
1 BLDG. 1 EAST ELEVATION
1/8"=1'-0"



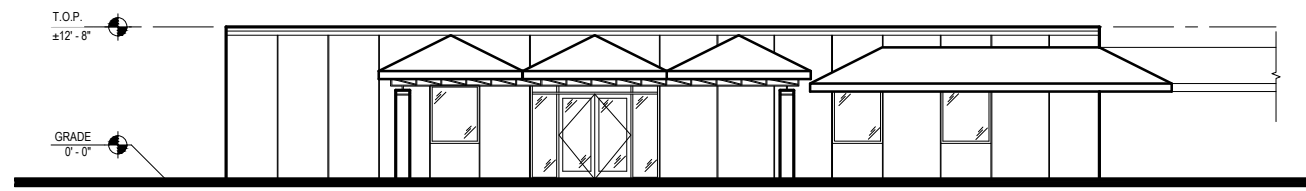
2 BLDG. 1 WEST ELEVATION
1/8"=1'-0"



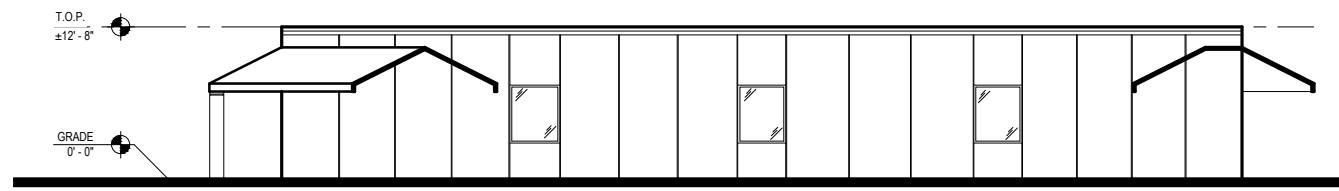
3 BLDG. 1 NORTH ELEVATION
1/8"=1'-0"



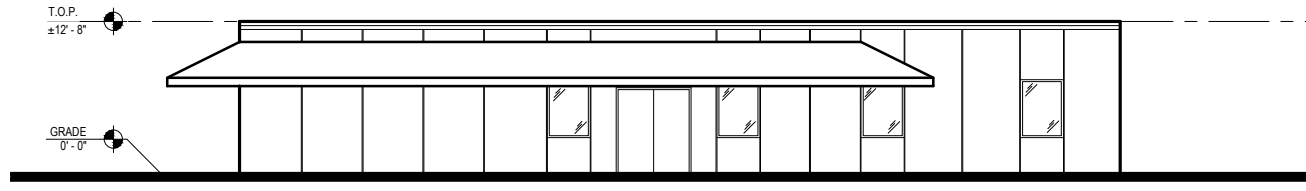
4 BLDG. 1 SOUTH ELEVATION
1/8"=1'-0"



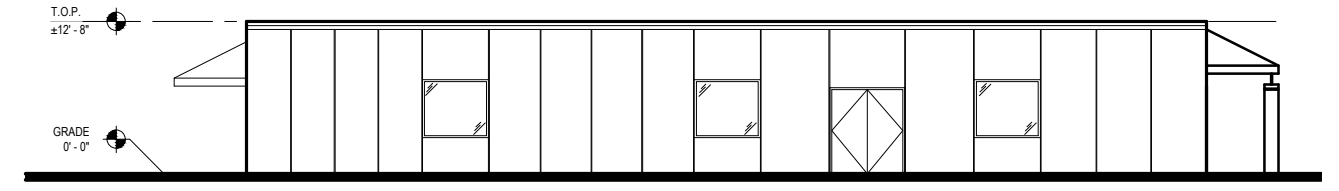
5 BLDG. 2 NORTH ELEVATION
1/8"=1'-0"



6 BLDG. 2 WEST ELEVATION
1/8"=1'-0"



7 BLDG. 2 SOUTH ELEVATION
1/8"=1'-0"



8 BLDG. 2 EAST ELEVATION
1/8"=1'-0"

C:\Users\sean\OneDrive\Documents\215612276\215612276 ELEVATIONS C-04-05-06.dwg
 20/07/2015 10:25 AM By: Sean, Lumbas

Revision	By	Appd.	YY.MM.DD

	By	Appd.	YYYY.MM.DD

Seal

SEAN COMPEL, P.E.
REGISTERED ENGINEER NO. 66618
STATE OF FLORIDA



Stantec
901 Ponce de Leon Blvd, Suite 900
Coral Gables, Florida 33134
www.stantec.com

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

ADONEL CONCRETE BATCH PLANT
5512 NW 10TH TERRACE
FT. LAUDERDALE, FLORIDA

File Name: 215612276 ELEVATIONS C-04-05-06.dwg LF
Dwn. SC SC 15.03.06
Chkd. Dsgn. YY.MM.DD

EXISTING ELEVATIONS	
Project No.	Scale
215612276	
Drawing No.	Sheet Issue/Revision
	C-05 of 13



CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: August 11, 2015

**Project Name: 5512 NW 10th Terrace, LLC et al / Adonel
Concrete**

Case Number: R15036

**Request: Site Plan Level III Review: Conditional Use for
Expansion of Concrete Plant in Industrial Zoning**

Location: 551 NW 9th Avenue

Zoning: Industrial (I)

Land Use: Industrial (I)

Project Planner: Thomas Lodge

Case Number:
R15036_Airport

CASE COMMENTS:

Please provide a response to the following:

- 1) A Notice of Proposed Construction or Alteration form (7460-1) must be filed with the FAA and a determination of no hazard to air navigation issued since the proposed building exceeds 22 feet in height. An airspace study number must be assigned to the project before requesting any preliminary sign offs. The FAA must issue a determination of no hazard to air navigation letter prior to requesting final sign off.
- 2) A second Notice of Proposed Construction or Alteration must be filed for the construction crane or equipment that will exceed the height of the building.
- 3) Please refer to the web site listed below for information regarding how to file electronically or hard copy <https://oeaaa.faa.gov/oeaaa/external/portal.jsp> The two notices should be filed with the FAA as soon as possible since it typically takes at least 60 days for the FAA to issue a determination.

Case Number: R15036

CASE COMMENTS:

NONE – Signature NOT required.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
 - a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
 - c. https://floridabuilding.org/dca/dca_fbc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

Case Number: R15036

RIGHT OF WAY / EASEMENT DEDICATIONS REQUIRED PER ULDR SECTION 47-25.2.M.5:

- a. 10' Right-of-Way dedication along west side of N.W. 9th Avenue / Powerline Road to Florida Department of Transportation (FDOT), to complete half of 120' Right-of-Way section (per the most current Broward County Road Jurisdiction & Functional Classification Map); show linework in the plans and provide exhibit, as appropriate

CASE COMMENTS:

A. Please respond to Comments 1 through 17 prior to Pre P&Z sign off

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or jholguin@fortlauderdale.gov.
 - b. Prepare & submit an application for a Developer Agreement (Water & Wastewater permit packages) with the Department of Sustainable Development. Coordinate the submittal through Alex Scheffer, P.E. – Urban Design Engineer at (954) 828-5123 or ascheffer@fortlauderdale.gov.
 - c. Coordinate all transportation related requirements with Alia Awwad, P.E. at (954) 828-6078 or aawwad@fortlauderdale.gov with the Transportation & Mobility Department to meet the Transportation aspect of the Adequacy requirements.
 - d. Coordinate the minimum Finished Floor Elevation approval with Richard Benton – City Floodplain Manager at (954) 828-6133 or rbenton@fortlauderdale.gov; please note that additional notes may be required on the Site Data table.
2. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
3. Please be advised that any road cuts for utilities or curb cuts within 50' in the City Right-Of-Way shall be restored to full lane width, per City Code of Ordinances Section 25-108.
4. Since along the western property boundary, existing N.W. 10th Terrace contains 50' of Right-of-Way, either show the proposed sidewalk (fronting the property) just inside the Right-of-Way, with the back sidewalk edge aligned with the Right-of-Way boundary, or provide additional 5' permanent easement dedication for pedestrian access.
5. Discuss possible consolidation of the four existing N.W. 10th Terrace access driveways into the site.
6. Proposed driveway approaches to N.W. 9th Avenue / Powerline Road – Show and label FDOT sight triangles (per the most current FDOT Design Standards) on the Site Plan, Landscape Plans, and Civil Plans.

7. Show and label sight triangles as appropriate (per ULDR Section 47-2.2.Q), for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans.
8. Discuss whether the proposed Rolling Gates located near the N.W. 10th Terrace access driveways into the site, should be shown further into the property to allow for the required vehicular stacking area, especially where the predominant direction of traffic will be ingress into the site. Please be advised that the required vehicular stacking length should be increased as appropriate, consistent with the size of the anticipated design vehicle.
9. Proposed Site Plan (Sheet C-03) – Show the existing swinging gates located near the N.W. 9th Avenue access driveways to/from the existing parking lot. Please be advised that per ULDR Section 47-20.5.C.6, provide and dimension the minimum stacking distance required for all driveway ingress to and egress from the site - a minimum of 12' wide by 22' long area for each vehicle to be accommodated within the stacking area.
10. Label width of all Rolling Gates for this development, including the one near the middle of the property, separating the Truck Circulation Area from the Parking Area.
11. Discuss if the Sediment Trap, located just east of the Proposed Retention Pond, will require water for washdowns; if so, provide layout for proposed water service connection.
12. The proposed parking stall configuration shall conform to the ULDR Section 47-20.11 design criteria; in addition to the typical drive aisle and parking stall dimensions, please label the proposed parking stall angles.
13. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of utilizing sustainable practices (cisterns, pervious pavers, etc.) uses for landscaping along the streetscape, as well as utilizing pervious pavers in the City Right-Of-Way.
14. Please be advised that a Maintenance Declaration will be required for all improvements in the City Right-Of-Way, including but not limited to lighting, landscaping, special paving and stormwater improvements.
15. Discuss if pedestrian lighting is proposed, or if not, discuss the possibility of the addition of pedestrian lighting along City Right-of-Way. Please contact the Case Planner for details to match the area.
16. All concrete sidewalks preferred with 5-foot (min.) width, 4-inch (min.) thickness, 6-inch (min.) thickness in driveway areas, and constructed to City specifications per ULDR Section 47-24.5.E.e.
17. Please prepare and submit the following exhibits which clearly define the following (as applicable):
 - a. Construction Phasing Exhibit
 - b. Right-Of-Way / Easement Dedication / Vacation Exhibit
 - c. Maintenance Agreement Area Exhibit
 - d. Revocable License Area Exhibit

B. Respond to Comments 18 through 24 prior to Final DRC sign off

18. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally,

an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.

19. Survey shall show existing topography for stormwater and flood approval.
20. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding rights of way, stormwater facilities, and neighboring water bodies.
21. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
 - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.
 - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water mains shall be constructed with DIP piping in the City Right-Of-Way.
 - c. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the Paving, Grading, and Drainage plan.
 - d. Signing and marking plan, including the radii for all landscaping and pavement areas.
22. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to right-of-way and adjacent properties. In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's right-of-way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
23. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
24. Show utilities on the landscaping plans for potential conflict.

C. Respond to Comments 25 through 38 prior to Engineering Permit Approval

25. The applicant shall verify that there are no easements or other instruments of record which impact the Engineering Department's ability to permit this site plan. In the event such instruments exist and are recorded in the office of records, Broward County, FL, the owner risks delay or denial of the building permit.
26. Please be advised that all proposed improvements within or adjacent to the City's right-of-ways are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a maintenance agreement shall be executed with the City acknowledging that the Applicant will maintain all the facilities, landscaping, and hardscaping improvements within the City's right-of-way.
27. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or EKalus@broward.org at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dougniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.

28. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
29. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
30. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, right-of-way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
 - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
 1. Include a narrative for each phase along with roadways utilized for materials delivery
 2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
 3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
 4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
 5. Show location and type of construction crane(s), including span radius
 6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes
 7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
 8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
 9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
 10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
 11. Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
 12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
 13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
 14. Indicate where and how concrete trucks will stage during multiple yardage pours
 15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
 16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
 17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
 18. Indicate schedule for rout line street sweeping of periphery of construction site
 19. Indicate if dewatering is proposed.

31. Obtain a dewatering permit as required from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvanlandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at http://www.broward.org/pprd/cs_dewatering.htm.
32. Apply and obtain a SFWMD dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg (smemberg@sfwmd.gov).
33. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dougniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
34. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
35. Resolve the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.
36. Please note that any lighting onsite or in the City's right-of-way (ROW) or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the ROW shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in or near the right of way. Please contact the Facilities Maintenance office, David Smith at (954) 828-6560, for information concerning the lighting within the City's Right-Of-Way.
37. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
38. Please discuss with City Public Works Department - Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.

Case Number: R15036

CASE COMMENTS:

Please provide a response to the following:

1. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This includes limited sod areas, native plant requirements, hydrozone planting requirements, street tree requirements, irrigation limitations, etc. Please see MuniCode for updated ordinance https://www.municode.com/library/fl/fort_lauderdale/codes/unified_land_development_code?nodeld=UNLADERE_CH47UNLADERE_ARTIIIDERE_S47-21LATRPRRE Provide plans which illustrate landscape requirements in accordance with the updated Landscape and Tree Ordinance. Include table listing required vs. provided requirements.
2. Provide street trees in the right of way swale area. Street trees are to be a minimum of 12 feet tall and provided at a ratio of one street tree per forty feet of street frontage or greater fraction thereof not subtracting ingress and egress dimensions. When overhead utilities exist, required street trees may be small trees provided at a minimum of a ratio of one street tree per twenty feet frontage or greater fraction thereof not subtracting ingress and egress dimensions.
3. Illustrate the location of overhead utilities and follow FPL Right Tree Right Place guidelines for tree selection and placement.
4. The zoning of this property requires at least one tree for each 1,000 square feet of net lot area or portion thereof. This tree planting requirement is in addition to the VUA landscaping requirements. Twenty percent of the trees shall be shade trees. Please illustrate the calculations and planting on plan.
5. Fences facing the street are required to be setback a minimum of 3 feet from the property line and must be planted with continuous hedges, shrubs, groundcover, AND trees in that area between property line and fence. These plantings shall be planted between the street and the property line as per ULDR 47-19.5C.
 - a) Hedges and shrubs may be 2 feet tall planted 2 feet apart.
 - b) Groundcover may be 6 inches tall planted 6 inches apart.
 - c) Trees may be standard or flowering at 10 feet tall, or palms at 8 feet clear trunk, planted an average of 1 tree per 20 feet or portion thereof.
 - d) Please specifically note and illustrate this on plans.
6. Provide a site plan or site survey illustrating existing trees/palms, and number each one. Provide a corresponding list of these trees/palms including:
 - a) tree number for each
 - b) botanical name and common name for each
 - c) trunk diameter, in inches, at chest height for trees
 - d) clear trunk in feet for palms
 - e) condition percentage as a number for each
 - f) and status (remove, relocate, remain) for each
 - g) mitigation calculations
7. Illustrate the location of overhead utilities and follow FPL Right Tree Right Place guidelines for tree selection and placement.
8. Light pole locations are not to be within 15' of tree locations. The landscaped peninsular islands are for tree locations only. Where light poles are proposed in such areas, shift them out. Illustrate this on photometric, electrical, site and landscape plans to help avoid conflicts during construction.

9. The landscape plan must be prepared by a Florida registered landscape architect, dated, signed and stamped with seal. As per ULDR Section 47-21.6.

GENERAL COMMENTS:

The following comments are for informational purposes for consideration prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
2. A separate sub-permit application for General Landscaping is required at time of master permit submittal.

Case Number: R15036

CASE COMMENTS:

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Industrial on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) Verify that copy of plat is the most current recorded plat, including notes and amendments, for the proposed site. Provide documentation from the Broward County Planning Council verifying that the site does not require platting or replatting. If replatting or platting is not required, contact the Development Review Services Section of the Planning and Environmental Regulation Division of Broward County at (954) 357-6637 to ensure that proposed project is consistent with the latest recorded plat restriction.
- 4) The proposed project requires review and approval by the Planning and Zoning Board ("PZB"). A separate application and fee is required for PZB submittal, and the applicant is responsible for all public notice requirements (Sec. 47-27). In addition, the development permit shall not take effect nor shall a building permit be issued until thirty (30) days after approval, and then only if no motion is adopted by the City Commission seeking to review the application.
- 5) Indicate the project's compliance with the following ULDR sections by providing a point-by-point narrative response, on letterhead, with date and author indicated:
 - a. Sec. 47-25.2, Adequacy Requirements;
 - b. Sec. 47-25.3, Neighborhood Compatibility;
 - c. Sec. 47-7.20, Additional requirement for conditional uses in the Industrial (I) District; and,
 - d. Sec. 47-24.3, Conditional use permit.
- 6) Pursuant to ULDR Sec. 47-22.4.C.8, provide a Master Sign Plan detailing the information below. Please note, any proposed signs will require a separate permit application:
 - a. Location and orientation of all proposed signage;
 - b. Dimensions of any proposed signage (height, width, depth, etc.); and,
 - c. Proposed sign copy, if available, colors and material.
- 7) Please provide adequate landscape strip with shade trees between the curb and sidewalk to provide a safer, more usable and comfortable pedestrian environment that will also support proper shade tree growth and long-term sustainability. Discuss shade tree types with the Landscape Representative.
- 8) On NW 9th Avenue, please consider a more active building façade, such as adding fenestration by incorporating windows, etcetera and/or a façade treatment that improves the aesthetic appearance and overall building composition and articulation.
- 9) Landscape islands are intended for the use of providing adequate space for shade trees in the vehicular use areas. Therefore, relocate light poles to an alternate location to avoid conflict with shade trees.
- 10) On the site plan, please provide one-way only signs and arrows on the pavement that show one-way circulation around the principal structure.

- 11) It is strongly recommended that bicycle parking be provided and located in visible, well-lit areas, as close as possible to pedestrian entryways/doors. In addition where possible, locate bicycle parking facilities in an area that is sheltered/covered.
- 12) Is the 10-foot wall extending along the entire north and south property boundaries?
- 13) Provide a minimum 8-foot sidewalk along NW 9th Avenue.
- 14) The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project including, such as, but not limited to charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.

General Comments

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

- 15) Provide a written response to all DRC comments within 180 days.
- 16) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner (954-828-8981) to review project revisions and/or to obtain a signature routing stamp.
- 17) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on an additional site plan, to avoid additional review in the future. Ensure details and locations receive approval from the Building Service Department's DRC Representative.
- 18) Additional comments may be forthcoming at the DRC meeting.

Case Number: R15036

CASE COMMENTS:

Please provide a response to the following:

1. All glazing should be impact resistant.
2. All exterior entry and exit doors should be solid, impact resistant or metal and be equipped with a secondary deadbolt system for security.
3. The site should be equipped with a security intrusion alarm with a battery and or cellular back-up features.
4. The site should be equipped with a quality CCTV system that covers vehicular and pedestrian entry and exit points, fuel storage area, any interior sensitive area and the parking lots.
5. The fuel storage and dispensing point should have an access control system to prevent unauthorized fuel dispensing or fuel thefts.

GENERAL COMMENTS:

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

Case Number: R15036

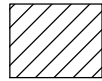
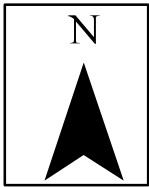
CASE COMMENTS:

1. Submit a traffic impact statement and coordinate with the Transportation and Mobility Department regarding a traffic impact study. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks.
2. Provide an explanation of how all gates will operate onsite.
3. Remove the small landscape patches between the angled parking spaces and the sidewalks on both sides of the building.
4. Provide bicycle parking, covered if possible. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide minimum bicycle parking based on requirements in the guide and include on the site plan data sheet.
5. Include more shade trees along all sidewalk paths.
6. Include and show on site plans a 7ft sidewalk along NW 10th Ter.
7. Ensure all sidewalks are a minimum of 10ft wide on Powerline Road, and provide a landscaped buffer (5ft minimum) with shade trees between edge of curb and the sidewalk.
8. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices.
9. Additional comments may be provided upon further review.
10. Signature required.

GENERAL COMMENTS:

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



Subject Property

B-3

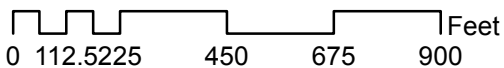
GAA

I

B-3

B-3

KHART
DIUM



R15036

