

Page 1: DRC Site Plan - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	R15041
Date of complete submittal	July 14, 2015

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Floyal Oil Corp
Property Owner's Signature	<i>[Signature]</i> <small>If a signed form is provided, no signature is required on the application by the owner.</small>
Address, City, State, Zip	2990 Nw 24 st Miami, FL 33142
E-mail Address	odalys.floval@gmail.com
Phone Number	305.634.6865
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	Alexander Aznarez
Applicant / Agent's Signature	
Address, City, State, Zip	6321 SW 109 ave Miami, FL 33173
E-mail Address	alex.aznarez@bellsouth.net
Letter of Consent Submitted	

Development / Project Name	Sunrise Exxon/ Jeff's Express Car Wash
Development / Project Address	<u>Existing:</u> 1075 W Sunrise Blvd <u>New:</u>
Legal Description	Lauderdale Manor ADD-AMEN PL OF POR & Blk 158 CHATEAU PK SEC B 31-26 B LOT 6 W 5 Blk H, LOT 5 W 25 & LOT 6 E 45 Blk H, LOT 7-11 & LOT 12 E 3.48 Blk H
Tax ID Folio Numbers <small>(For all parcels in development)</small>	494233230040, 494233230041, 494233230060
Request / Description of Project	Gas Station with Convenient Store and Car wash
Total Estimated Cost of Project	\$ 1,800,000 <small>(including land costs)</small>

Current Land Use Designation	Vacant land
Proposed Land Use Designation	Gas Station with Convenient Store and Car Wash
Current Zoning Designation	B1
Proposed Zoning Designation	Same
Current Use of Property	Vacant land
Number of Residential Units	0
Non-Residential SF (and Type)	Convenient store 2,485/ Car Wash 3,448
Total Blg. SF <small>(include structured parking)</small>	5933
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)	85,041/ 1.95 acres	
Lot Density	328.48	
Lot Width	172.82	
Building Height (Feet / Levels)	16	
Structure Length	71/ 95	
Floor Area Ratio	14.33%	
Lot Coverage	14.33%	
Open Space	79,108	
Landscape Area	8813.1	9177.07
Parking Spaces	12	33

Setbacks <small>(Indicate direction N, S, E, W)</small>	Required	Proposed
Front []	15	40
Side []	0	0
Side []	0	60
Rear []	5	61



NEW Car Wash FOR: Jeff's Express Car Wash

**DRAWINGS ARE FOR REVIEW PURPOSES ONLY
- ACTUAL DESIGN MAY VARY DUE TO NEW SITE
CONSTRAINTS AND CITY REQUIREMENTS -**



modernwash
5220 Scottsville Road
Bowling Green, KY 42104

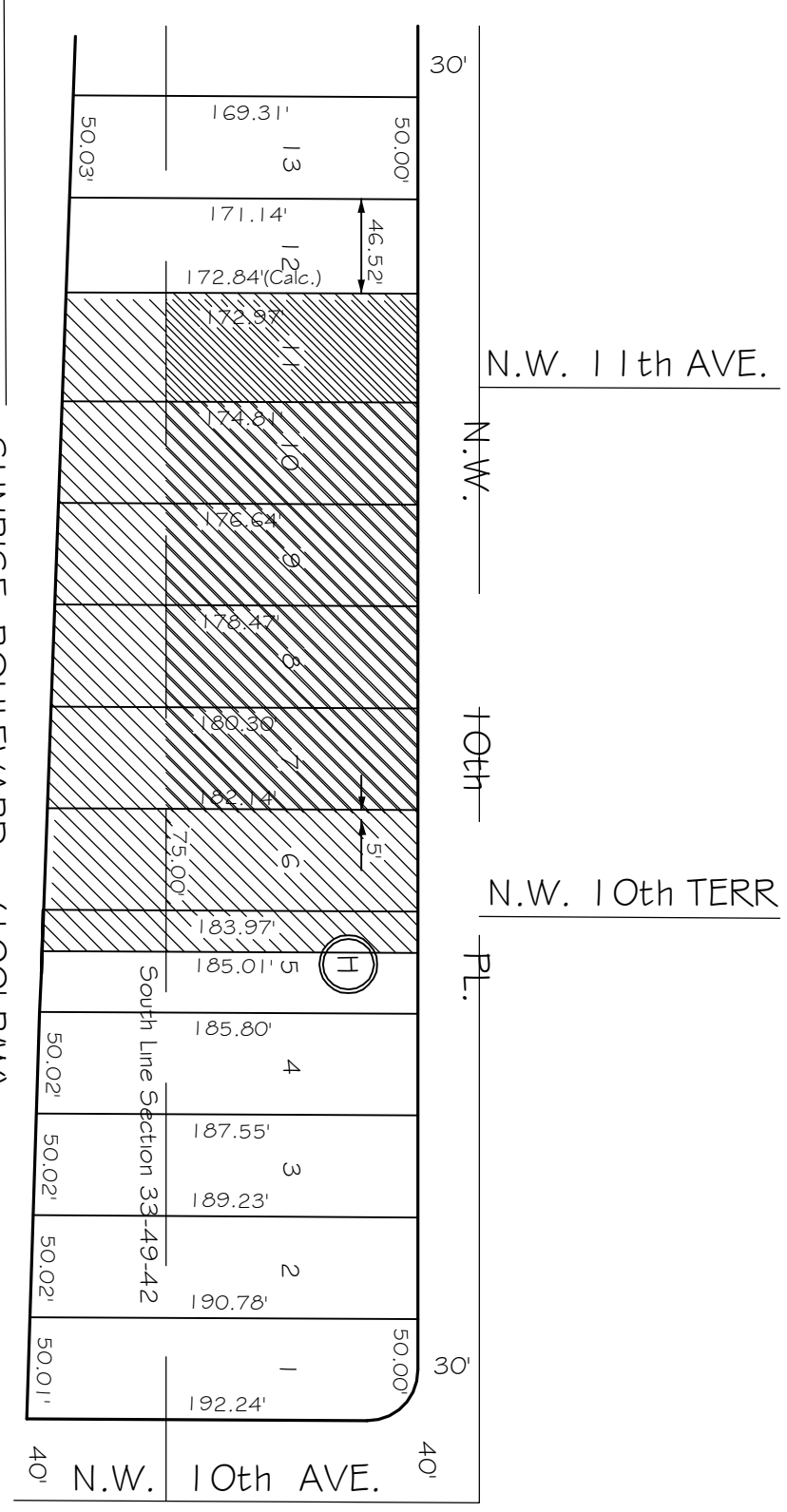
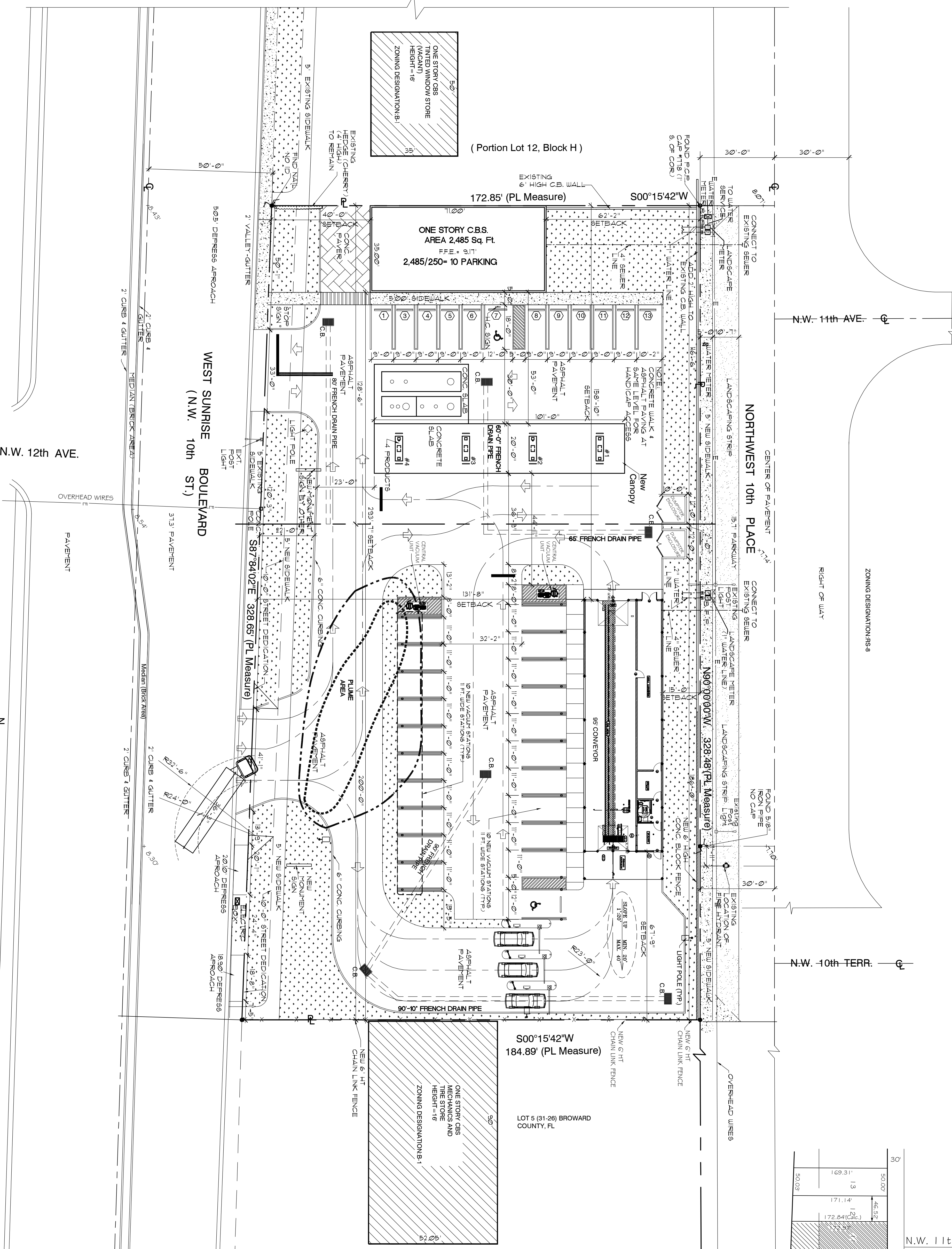
Model:
Metrocurve 518e



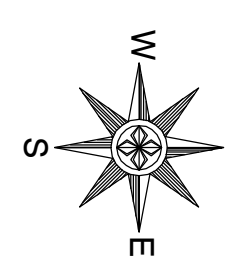
ABBREVIATIONS

A.B.	ANCHOR BOLT
A.F.F.	ABOVE FINISHED FLOOR
ACI	AMERICAN CONCRETE INSTITUTE
ACM	ALUMINUM COMPOSITE PANEL
ACoust.	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ALUMIN	ALUMINUM
ASF	ALUMINUM STORE FRONT
AWS	AMERICAN WELDING SOCIETY
C.C.	CENTER TO CENTER
C.J.	CONSTRUCTION JOINT
C.T.	CERAMIC TILE
CL	CENTER LINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CONT.	CONTINUOUS
D.G.A.	DENSE-GRADED AGGREGATE
D.S.	DOWN SPOUT
DM	DIMENSION(S)
DTL	DETAIL
E.F.	EXHAUST FAN
E.I.F.S.	EXTERIOR INSULATED FINISHED SYSTEM
E.J.	EXPANSION JOINT
EQ	EQUAL
EW	EACH WAY
E.W.C.	ELECTRIC WATER COOLER
EXIST.	EXISTING
EXST.	EXISTING
FBG	FIBERGLASS
F.D.	FLOOR DRAIN
FDN	FOUNDATION
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FINISHED FLOOR
F.G.	FINISHED GRADE
FLASH	FLASHING
F.O.B.	FACE OF BRICK
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
GA	GAUGE
GL	GLASS (GLAZING)
GUB	GUTTER WALL/GUARD
H.B.	HOSE BIB
H.M.	HOLLOW METAL
INSUL.	INSULATION
KSF	KIPS PER SQUARE FOOT
KSI	KIPS PER SQUARE INCH
LAV	LAVATORY
LGM	LIGHT GAUGE METAL
LVL	LAMINATED VENEER LUMBER
MAX	MAXIMUM
MFR	MANUFACTURER
MN	MINIMUM
MTL	METAL
N.C.	NOT IN CONTRACT
NO. (#)	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.C.H.	ON CENTER HORIZONTAL
O.C.V.	ON CENTER VERTICAL
O.F.E.	OWNER FURNISHED EQUIPMENT
OSB	ORIENTED STRAND BOARD
P	PAINT
P.A.F.	POWER ACTUATED FASTENER
PC	POLYCARBONATE
PERF	PERFORATED
P-LAM	PLASTIC LAMINATE
PLY	PLYWOOD
PNL	PANEL
PRE-ENG	PRE-ENGINEERED
PREFAB	PREFABRICATED
PRE-FIN	PREFINISHED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
PTN	PARTITION
PVC	POLYVINYL CHLORIDE
REC.	RECOMMENDED
REQ.	REQUIRED, REQUIREMENTS
S.B.	SHLASH BLOCK
S.D.	SUPPLIED BY MODERNWASH
S.D.	SOAP DISPENSER
S.I.P.S.	STRUCTURAL INSULATED PANEL
S.O.G.	SLAB ON GRADE
SF	SQUARE FOOT
STL	STEEL
STRUC.	STRUCTURAL
SYN	SYNTHETIC
TEMP.	TEMPERED
T.P.	TOILET PAPER
T&P	TAPED, SEALED, & PAINTED
TYP.	TYPICAL
UN.O.	UNLESS NOTES OTHERWISE
V.B.	VAPOR BARRIER
V.C.	VINYL COATED
V.C.T.	VINYL COMPOSITION TILE
VEN	VENEER
VENT.	VENTILATED
WD	WOOD
W.W.F.	WELDED WIRE FABRIC





SUNRISE BOULEVARD (100' RW)
 (N.W. 10th ST.)
LOCATION MAP
 N.T.S.



LEGAL DESCRIPTION
 THE WEST 1/2 OF LOT 5 AND ALL OF LOT 6, 7, 8, 9, 10, 11 AND THE EAST 348 FEET OF LOT 12 LESS THE WESTERLY BLOCK H AMENDED PLAT OF PORTIONS OF LAUDERDALE MANORS ADDITION AND BLOCK 158 CHATEAU PARK SECTION-B ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SITE PLAN DATA:

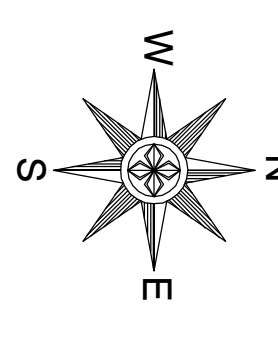
ONE STORY CBS CONVENIENCE STORE; 2,485.00 sq. ft.
 ONE STORY CARWASH
 CURRENT USE OF PROPERTY: GAS STATION-PETRO
 ZONING DESIGNATION: B-1 DEVELOPMENT: COMMERCIAL USE
 LATERAL WATER SERVICE PROVIDER: CITY OF FORT LAUDERDALE
 GROSS LOT AREA: 85,041 sq. ft. / 1.95 ACRES
 NET LOT AREA: 56,154 sq. ft. / 1.28 ACRES
 PARKING SPACES: 10
 CBS CONVENIENCE STORE: 1
 CAR WASH: 2
 LANDSCAPE AREA: PROVIDE 5,111.07 sq. ft. REQUIRED 6,513.00 sq. ft. 15%

SET BACKS

CONVENIENCE STORE	REQUIRED	PROVIDED
FRONT (SOUTH)	5'-0"	40'-0"
FRONT (EAST)	0'-0"	293'-1"
REAR (NORTH)	15'-0"	62'-2"
LEFT (WEST)	0'-0"	0'-0"

HAND CARWASH	REQUIRED	PROVIDED
FRONT (SOUTH)	5'-0"	131'-8"
FRONT (EAST)	0'-0"	61'-5"
REAR (NORTH)	5'-0"	159'-10"
LEFT (WEST)	0'-0"	159'-10"

PROPOSED SITE PLAN



Scale: 1" = 20'

Drawn	
Checked	
Date	November, 2014
Scale	Shown
Sheet	1

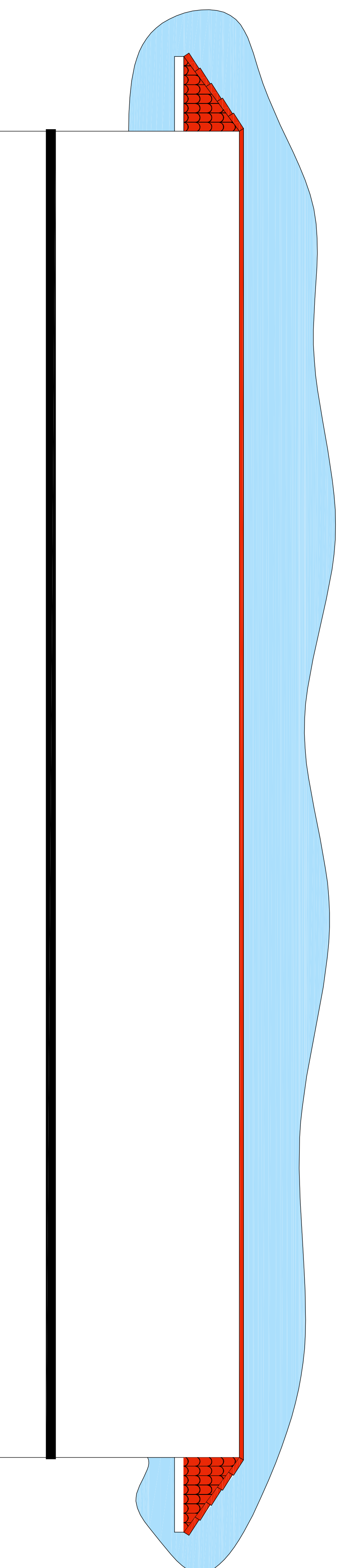
ALEXANDER A. AZNAREZ
 GENERAL CONTRACTOR
 CGCO 19346
 DESIGN - PLANS - INSPECTIONS - CONSTRUCTION
 6321 S.W. 109 AVE.
 MIAMI, FL 33173
 Tel(786) 558-4417
 Fax(786) 558-4417

EXXON GAS STATION
 1075 WEST SUNRISE BOULEVARD
 FORT LAUDERDALE, FL
 FOLIO: 9233230060
 OWNER: FLOYAL OIL CORP.
 2990 NW 24 ST. MIAMI FL, 33147
 PH. 305-634-6865

EDUARDO VAZQUEZ, P.E.
 LIC. # 53893
 18930 SW 128 AVE.
 MIAMI, FL 33177
 PH. (305) 333 8137
 FAX (305) 964 7126
 e-mail: vazquezcruz@att.net

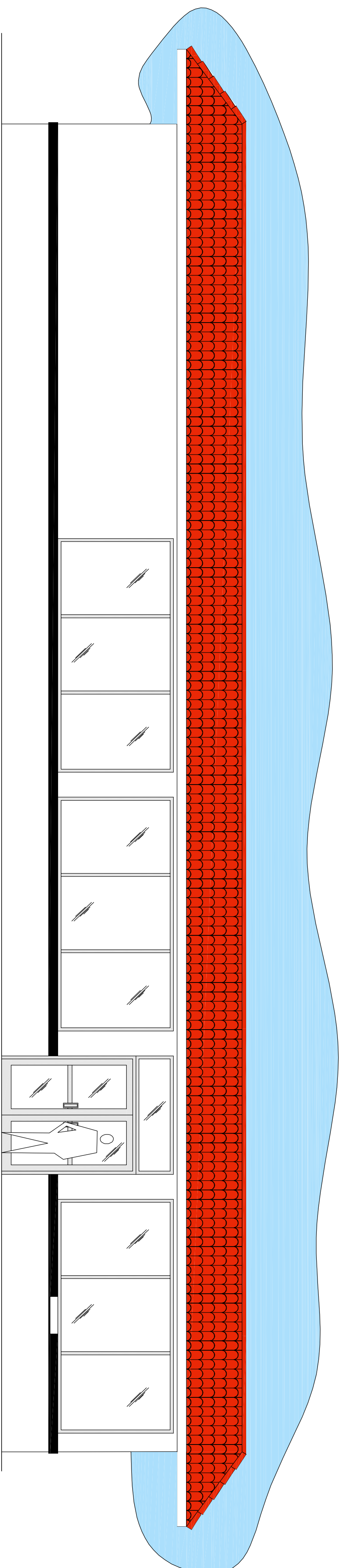
EDUARDO VAZQUEZ
 LICENSE
 No. 53893
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

Revision	By



CONV. STORE REAR(NORTH) ELEVATION

SCALE : 1/4" = 1'-0"



CONV. STORE FRONT(SOUTH) ELEVATION

SCALE : 1/4" = 1'-0"

Revision

By



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EXXON GAS STATION

1075 WEST SUNRISE BOULEVARD
FORT LAUDERDALE, FL
FOLIO: 9233230060
OWNER: FLOYAL OIL CORP.
2990 NW 24 ST. MIAMI FL, 33147
PH: 305-634-6865

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Date:

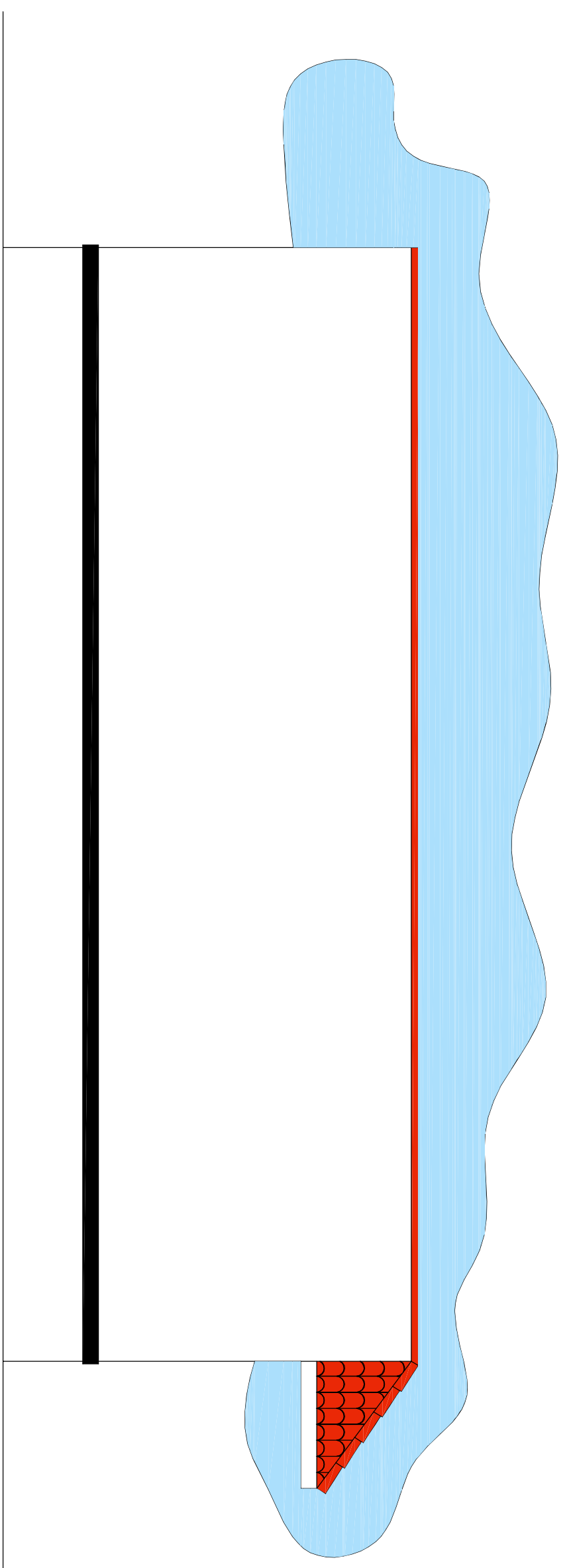
November, 2014

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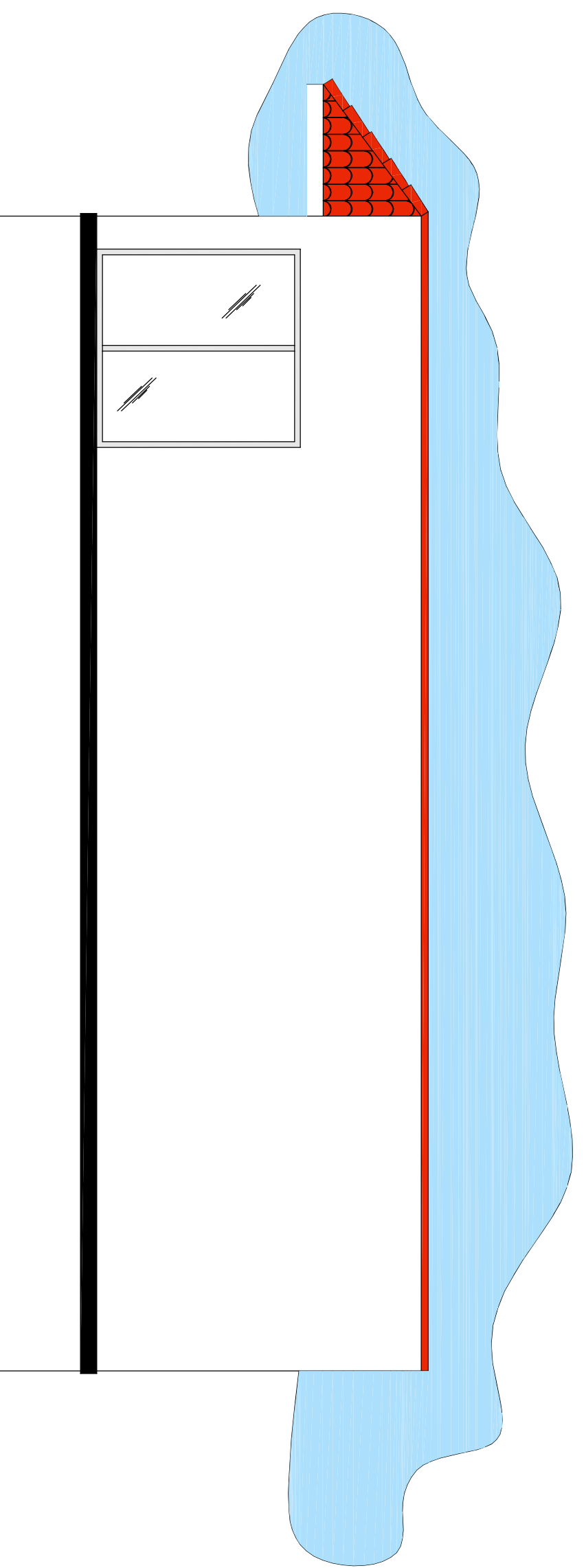
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6



CONV. STORE LEFT (WEST) ELEVATION

SCALE : 1/4" = 1'-0"

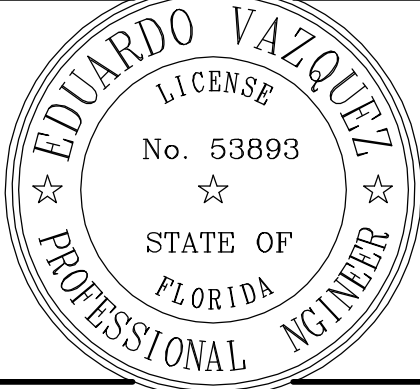


CONV. STORE RIGHT (EAST) ELEVATION

SCALE : 1/4" = 1'-0"

Revision

By



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MIAMI, FL 33177
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FAX (305) 964 7126
e-mail: vazquezcruz@att.net

EXXON GAS STATION

1015 WEST SUNRISE BOULEVARD
FORT LAUDERDALE, FL
FOLIO: 9233230060
OWNER: FLOVAL OIL CORP.
2990 NW 24 ST. MIAMI FL, 33141
PH: 305-634-6065

ALEXANDER A. AZNAREZ

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CGCO 19346
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Fax: (786) 558-4417



Drawn

Checked

Date

Scale

Sheet

7



CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: August 11, 2015

Project Name: Floval Oil Corp / 1075 W. Sunrise Blvd Gas Station

Case Number: R15041

Request: Site Plan Level II Review: Gas Station / Convenience Store and Car Wash

Location: 1075 W. Sunrise Blvd.

Zoning: Boulevard Business (B-1)

Land Use: Commercial

Project Planner: Eric Engmann

Case Number: R15041

CASE COMMENTS:

NONE – Signature NOT required.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
 - a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
 - c. https://floridabuilding.org/dca/dca_fbc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

Case Number: R15041

RIGHT OF WAY / EASEMENT DEDICATIONS REQUIRED PER ULDR SECTION 47-25.2.M.5:

- a. 10' Right-of-Way dedication to Florida DOT along north side of SR 838 / W. Sunrise Blvd. to complete half of 120' Right-of-Way section (per the most current Broward County Road Jurisdiction & Functional Classification Map); show linework in the plans and provide exhibit, as appropriate

CASE COMMENTS:

A. Please respond to Comments 1 through 27 prior to Final DRC sign off

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or jholguin@fortlauderdale.gov.
 - b. Prepare & submit an application for a Developer Agreement (Water & Wastewater permit packages) with the Department of Sustainable Development. Coordinate the submittal through Alex Scheffer, P.E. – Urban Design Engineer at (954) 828-5123 or ascheffer@fortlauderdale.gov.
 - c. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS coordinate with Alia Awwad, P.E. [(954) 828-6078 or aawwad@fortlauderdale.gov] and/or Eric Houston [(954) 828-5216 or ehouston@fortlauderdale.gov] with the Transportation & Mobility Department to fulfill transport aspect of the Adequacy requirements.
 - d. Coordinate the minimum Finished Floor Elevation approval with Richard Benton – City Floodplain Manager at (954) 828-6133 or rbenton@fortlauderdale.gov; please note that additional notes may be required on the Site Data table.
2. Please be advised that all proposed improvements within or adjacent to the Florida Department of Transportation (FDOT), Broward County (BCHECD) and City Right-of-Way are subject to issuance of a Right-of-Way permit from the authority having jurisdiction. This shall include the execution of an agreement that authorizes those entities the authority to remove improvements for any public purpose in the future.
3. Obtain approval from the Florida Department of Transportation (FDOT) for the Strategic Intermodal System (SIS) Program. The site plan shall be reviewed and approved by FDOT. Please contact Ms. Tammy Campbell at 954-777-4668 (tammy.campbell@dot.state.fl.us) to inquire whether the SIS approval is required for the proposed development.
4. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.

5. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. (954) 828-6078 or aawwad@fortlauderdale.gov.
6. Ensure that back edge of proposed public access sidewalk (along SR 838 / W. Sunrise Blvd.) is located along the new 10' Right-of-Way boundary dedication. Discuss why there are 2 separate sidewalks shown along the north side of W. Sunrise Blvd. fronting the proposed development: the existing attached sidewalk and the proposed detached sidewalk (which is located 5' beyond the required Right-of-Way dedication).
7. Proposed Site Plan – Discuss location of existing sidewalk (along SR 838 / W. Sunrise Blvd.) and driveway shown on adjacent property to the west, which doesn't appear to match existing conditions.
8. Since detached public access sidewalk is proposed on north side of SR 838 / W. Sunrise Blvd., show demolition of existing attached sidewalk eastward up to Electric Box (located near southeast corner of property). Ensure proper sidewalk connection to bus stop.
9. Coordinate proposed SR 838 / W. Sunrise Blvd. driveway locations, widths, and sight triangles with Florida DOT. Consider minimizing width of driveways and discuss one way in and out site circulation (including signage), but allowing enough driveway width for semi-trailer truck turning radii and access. Discuss why the semi-trailer truck template is shown turning from the W. Sunrise Blvd. middle westbound travel lane (Sheet 1).
10. Discuss mitigation (if required) of 'Plume Area'.
11. Discuss traffic circulation between the two property uses; in order to help alleviate potential confusion, consider common north-south drive aisle between the businesses, in the vicinity of the common property boundary.
12. Show and label sight triangles as appropriate (per ULDR Section 47-2.2.Q), for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets (measured from pavement edges), alleys with alleys (measured from property lines extended), alleys with streets (measured from property lines extended), and streets with streets (measured from property lines extended).
13. Dimension all parking areas, including drive isle widths, turning radii, and parking stalls.
14. Discuss the purpose of the Concrete Paver area, located just south (W. Sunrise Blvd. side) of Gas Station building.
15. Many existing features shown on Existing Site Plan (Sheet 1a) aren't consistent with Proposed Site Plan (Sheet 1): width of existing sidewalk along north side of W. Sunrise Blvd, fronting proposed development; location and length of Depressed Approach driveways on north side of W. Sunrise Blvd, fronting proposed development; location of Existing 4' High Cherry Hedge located near southwest corner of property; double property line linestyle shown along south side of N.W. 10th Place, fronting proposed development.
16. Please prepare and submit the following exhibits which clearly define the following (as applicable):
 - a. Construction Phasing Exhibit
 - b. Right-of-Way / Easement Dedication / Vacation Exhibit
 - c. Maintenance Agreement Area Exhibit
 - d. Revocable License Area Exhibit
17. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a

title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.

18. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
19. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
 - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.
 - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water main shall be constructed with DIP piping in the City Right-Of-Way.
 - c. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the paving and grading plan.
 - d. Signing and marking plan, including the radii all landscaping and pavement areas.
20. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to right-of-way and adjacent properties. In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's right-of-way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
21. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
22. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons" and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
23. Provide typical cross sections and section profiles along all property lines. Also show how the existing and proposed grades will tie to one another.
24. Show spot elevations along the perimeter (property lines) on the paving and grading plan.
25. Show utilities on the lighting and landscaping plans for potential conflict.
26. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
27. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at rjohnson@fortlauderdale.gov or (954) 828-7809.

B. Respond to Comments 28 through 41 prior to Engineering Permit Approval

28. Resolve the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.

29. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a maintenance agreement shall be executed with the City acknowledging that the Applicant will maintain all the facilities, landscaping, and hardscaping improvements within the City's Right-of-Way.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.

30. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or EKalus@broward.org at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dougniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.

31. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.

32. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.

33. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:

- a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
 1. Include a narrative for each phase along with roadways utilized for materials delivery
 2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
 3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
 4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
 5. Show location and type of construction crane(s), including span radius
 6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes

7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
 8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
 9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
 10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
 11. Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
 12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
 13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
 14. Indicate where and how concrete trucks will stage during multiple yardage pours
 15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
 16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
 17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
 18. Indicate schedule for street sweeping of periphery of construction site
 19. Indicate if dewatering is proposed.
34. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvanlandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at http://www.broward.org/pprd/cs_dewatering.htm.
35. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg (smemberg@sfwmd.gov).
36. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dougniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
37. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
38. Please note that any lighting onsite or in the City's Right-of-Way or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-

Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a “disconnect” that shall be accessible by Facilities Maintenance staff in or near the right of way. Please contact the Facilities Maintenance office, David Smith at (954) 828-6560, for information concerning the lighting within the City’s Right-Of-Way.

39. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City’s right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
40. Please discuss with City Public Works Department - Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.
41. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.

Case Number: R15041

CASE COMMENTS:

Please provide a response to the following:

1. It appears that there is additional pavement at east driveway entrance. Please illustrate truck turning template on plans, and remove excess pavement at entrance.
2. Remove the sidewalk to the south along Sunrise.
3. Parking rows are to begin and end with landscaped islands containing canopy trees. Illustrate this on plans.
4. Fences facing the street are required to be setback a minimum of 3 feet from the property line and must be planted with continuous hedges, shrubs, groundcover, AND trees in that area between property line and fence. These plantings shall be planted between the street and the property line as per ULDR 47-19.5C.
 - a. Hedges and shrubs may be 2 feet tall planted 2 feet apart.
 - b. Groundcover may be 6 inches tall planted 6 inches apart.
 - c. Trees may be standard or flowering at 10 feet tall, or palms at 8 feet clear trunk, planted an average of 1 tree per 20 feet or portion thereof.
 - d. Please specifically note and illustrate this on plans.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

5. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
6. A separate sub-permit application for General Landscaping is required at time of master permit submittal.

Case Number: R15041

CASE COMMENTS:

Please provide a response to the following:

1. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Please provide acknowledgement and/or documentation of any public outreach.
2. The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
3. For the DRC application, indicate the project's compliance with the following Unified Land Development Regulations (ULDR) sections by providing a point-by-point narrative response, on letterhead, with date and author indicated.
 - a) Sec. 47-25.2, Adequacy Requirements.
 - b) Sec. 47-25.3, Neighborhood Compatibility Review.
4. Sunrise Boulevard is a gateway into the City of Fort Lauderdale and contains a wide variety of building types and development patterns. The City's adopted Strategic Plan, *Press Play Fort Lauderdale 2018*, connects strategic long-term goals with current operations within the City. Two of the objectives relevant to the development of the site include, "Be a pedestrian friendly, multi-modal City" and also "Be a community of strong, beautiful and healthy neighborhoods." Under this guidance, City Staff promotes incorporating active and pedestrian friendly uses into site design throughout the City, including major corridors such as Sunrise Boulevard. To this end, Staff recommends an alternative site plan that will align the proposed site plan with the vision of the City, including:
 - a. Consider alternative designs for the convenience store and gas station canopy in order to provide a more engaging experience at the street, while enhancing the gateway into the City.
 - b. The convenience store should be activated along the south side of the building with architectural features such as windows and awnings.
 - c. Provide outdoor tables/seating or additional landscaping to activate the concrete paver plaza on the south side of the building.
 - d. Remove the existing four foot high hedge currently located in front of the proposed plaza on the south side of the building and replant with lower-lying vegetation that does not inhibit the view of the plaza from the street.
 - e. Consider locating the entrance to the convenience store at the southeast corner of the building in order to allow direct access for patrons from Sunrise Boulevard and the gasoline fueling stations.
 - f. Consider utilizing green building practices in the design of the building and canopy structure, such as the use of solar canopies of the parking and vacuum stations.
 - g. Provide renderings of the building and canopy similar to those provided for the car wash.
5. Effort should be made to reduce the width of the ingress and egress to the site in order to eliminate pedestrian conflict points. The 41 foot wide, three lane ingress proposed at the eastern part of the site appears excessive to accommodate a one-way entrance. As currently indicated on the site plan, the fuel truck needs only one to two lanes to enter the site.
6. Reduce the size and number of the lanes entering the car wash. This will help with on-site drainage and reduce the conflict points of vehicles entering the car wash.

7. Reassess the internal drive aisles at the center of the site to provide better vehicular safety. The lanes at the center of the site should be combined to provide one lane traveling north and one lane traveling south.
8. In order to break up the perception of the large parking and vehicular area on the property, consider increasing the size of the landscaping islands at the center of the site and provide additional shade trees and landscaping at this location.
9. The landscaping requirements for vehicular use areas appear deficient. Discuss the requirements of Sec. 47-21.9, with the Landscape Representative.
10. The existing sidewalk along Sunrise Boulevard should be removed and indicated as such on the site plan.
11. Provide a photometric and lighting plan for the property. Effort should be made to minimize potential glare into the residential neighborhood to the north.
12. Provide details of the wall along NW 10th Place. This wall must be set back a minimum of three feet from the north property line.
13. Consider an alternative style fence (e.g. black vinyl coated, wood or metal decorative fencing) to the proposed chain link fence along the east property line.
14. Signage is not reviewed as a part of the site plan review process. Per Sec. 47-22.4, only one freestanding or monument sign will be allowed on the site.
15. Provide a breakdown of the parking on the site in the site data table for the proposed uses based on the requirements of Sec. 47-20. Clearly explain the proposed parking in the project narrative.
16. The cardinal directions for the building façades on pages 6, 7, and C-1 are mislabeled.
17. Incorporate bicycle parking into the site plan near the entrance of the convenience store.
18. Provide details of the proposed dumpster enclosures.
19. Consider employing green building practices throughout the project including, but not limited to charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels on buildings and over parking areas, and green roofs.

GENERAL COMMENTS:

The following comments are for informational purposes.

20. Another meeting may be required prior to Final DRC submittal.
21. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
22. Additional comments may be forthcoming at the DRC meeting.

Case Number: R15041

CASE COMMENTS:

Please provide a response to the following:

Convenience store

1. All entry and exit doors should be solid, impact resistant or metal and be equipped with a secondary deadbolt locking system.
2. All glazing should be impact resistant.
3. The business should be equipped with an intrusion alarm system (CBSA) and a silent, manually activated robbery and emergency alarm system for police response. The system should have a cellular and / or battery backup feature.
4. The business should be equipped with a Closed Circuit TV (CCTV) system that is capable of retrieving an identifiable image of an offender (CBSA) and that covers the entry and exit points, cashier's counters, office, storage areas and the parking lots.
5. The business should be equipped with a Drop Safe or Cash management Device that is secured to the floor or counter or that weighs at least 500 pounds. (**Convenience Business Security Act** (CBSA)).
6. There should be an unobstructed view of the sales transaction area from inside and outside the building that allows for physical identification of all persons in the sales transaction area (CBSA).
7. There are other operational requirements as per the **Convenience Business Security Act** that must be addressed prior to beginning the business operation. (Contact (850)414-3360 for additional information)

Car Wash

1. All entry and exit doors should be solid, impact resistant or metal and be equipped with a secondary deadbolt locking system.
2. The business should be equipped with an intrusion alarm system with a cellular and or battery backup feature.
3. The business should be equipped with a safe that is bolted to the floor or a fixed, solid surface.
4. The money change device for customer (If provided), should have security features to resist tampering and should be located in a clearly seen area of the site.
5. The business should be equipped with a Closed Circuit TV (CCTV) system that is capable of retrieving an identifiable image of an offender and that covers the entry and exit points, cashier's counters, office, storage areas, change machine and the parking lots.

GENERAL COMMENTS:

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

Case Number: R15041

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your complex creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. Adequate space should be provided within dumpster enclosure to accommodate wheeled recycling carts.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City
4. Service Days shall be: No restriction for Commercial collection.
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name.
6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Ensure **site plan** clearly indicates (labeled) locations of all solid waste and recycling containers and/or compactor(s) for all uses as proposed in application. Identify containers.
8. Provide on the site plan a garbage truck turning radii for City review. Drive aisle width and design configuration must allow for safe and efficient maneuverability on-site and off-site. Indicate how truck will circulate to/from/within property.
9. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
10. Containers: must comply with 47-19.4. Please add bollards to protect the inside of the walls.
11. **Draw equipment on plan** to show location of the containers inside the trash room. *Clarify whether uses on site will utilize compactor, carts and/or dumpster.*
12. *There are no recycling containers for this project. Please add recycling containers, compactor or dumpster and draw equipment on the site plan.*
13. Trash Room services will be handled by private collector, or Trash Room services will be done by on-site personnel, or Trash Room services will be done custodial staff.
14. Clearly label on site plan the location of enclosure(s), dumpster(s), recycling area(s), containers, etc. as applicable relating to Solid Waste / Recycling. Indicate on plans where users' accessibility is accommodated for all container areas.
15. **If applicable**, provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building.
16. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether is Pre or Final DRC.
 - o Letter should be created on formal letterhead describing what services are to be provided for solid waste and recycling including:
 - Type and size of containers, frequency of service, service provider if known; and

- Any additional details such as: container type(s), on-site handling and logistics for waste and disposal, specific dimensions as needed (e.g. compactor side and height clearance for haulers' accessibility).
 - For this proposed site plan, please describe whether the accessibly gate that is garage-type (i.e. roll-up) or swing-type (i.e. open/close) gate.
- o This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to gmaldonado@fortlauderdale.gov. Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
 - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC: None

Case Number: R15041

CASE COMMENTS:

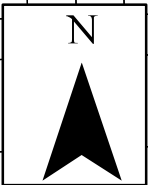
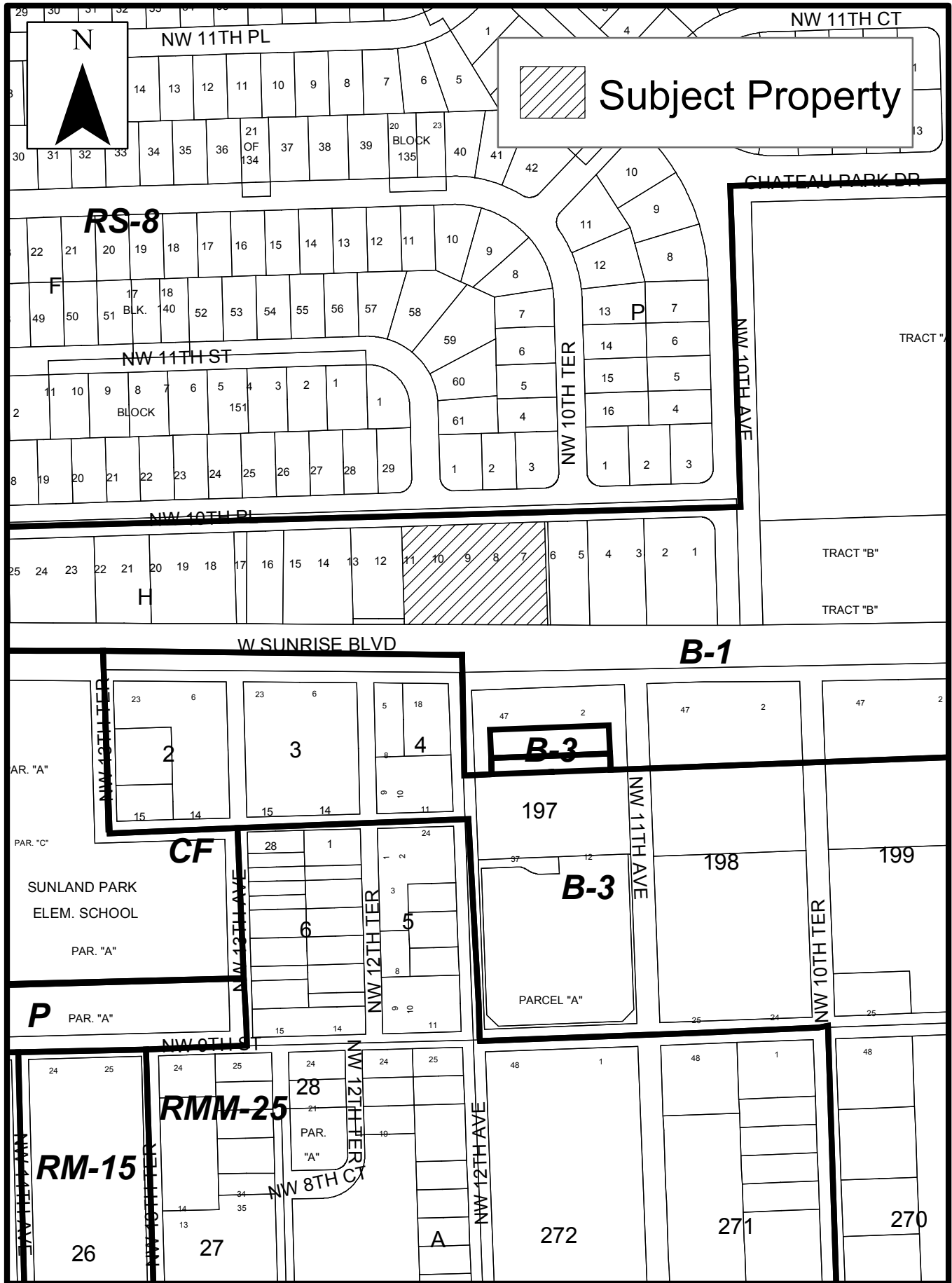
1. Submit a traffic impact statement and coordinate with the Transportation and Mobility Department regarding a traffic impact study. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks.
2. Provide bicycle parking, covered if possible. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide minimum bicycle parking based on requirements in the guide and include on site plan data sheet.
3. Consider bringing convenience store building closer to Sunrise Blvd.
4. Provide a site plan showing safe pedestrian connections between:
 - a. Sunrise Blvd and the convenience store
 - b. Car wash and the convenience store
5. Curb cuts:
 - a. The curb cuts shown in the plan are too wide – they will have to be reduced to a maximum of 24'
 - b. It is strongly encouraged to provide only one curb cut in order to access the site. This curb cut should only include one lane for ingress and one for egress (2 total).
 - c. Please include legible dimensions on the revised site plan
6. Provide one additional Handicapped parking space at the convenience store (3 total).
7. Consider reducing the number of car wash lanes provided.
8. Demonstrate swept path for garbage and delivery trucks.
9. Demonstrate the turn radius for the fuel trucks to access and maneuver around the site.
10. Re-evaluate the dimensions provided in the plan. The scale of certain items seems off – especially the semi-truck shown in comparison to parking spaces.
11. Remove the existing sidewalk on Sunrise Blvd and better define the proposed new sidewalk.
12. Ensure all sidewalks are a minimum of 10ft wide on Sunrise Blvd, and provide a landscaped buffer (5ft minimum) with shade trees between the edge of curb and the sidewalk.

13. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices.
14. Additional comments may be provided upon further review.
15. Signature required.

GENERAL COMMENTS:

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



 **Subject Property**

RS-8

B-1

B-3

B-3

CF

RMM-25

RM-15

PAR. "A"

PAR. "C"

SUNLAND PARK
ELEM. SCHOOL

PAR. "A"

P PAR. "A"

PAR. "A"

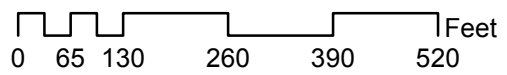
PARCEL "A"

A

TRACT "A"

TRACT "B"

TRACT "B"



R15041