

Page 1: DRC Pre App - Applicant Information Sheet / Required Documentation

Fees: ✓ CD:

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

CC#4 C#12

NOTE: To be filled out by Department

Case Number	PRE15006
Date of complete submittal	08/03/2015

set: -

NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	Beach Resort Development of Ft.
Proof of Ownership	Warranty Deed or Tax Record

Neighborhood:
Central Beach
Alliance (FOA)
Lauderdale

Applicant / Agent's Name	Abe Borujerdi
Address, City, State, Zip	1842 E. Oakland Park Blvd Ft. Lauderdale, FL 33306
E-mail Address	aborujerdi@abeincusa.com
Phone Number	(954) 557-7537 / 954-739-5099

Development / Project Address	2197 N. Ocean Blvd.
Request / Description of Project	5 units Condominium (one unit/Floor)
Future Land Use Designation	RMH60
Current Zoning Designation	RMH60
Residential SF (and Type)	
Number of Residential Units	5 unit
Non-Residential SF (and Type)	
Total Bldg. SF (include structured parking)	18,028
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)	.278	.278
Lot Density		
Lot Width	100x121	100x121
Building Height (Feet / Levels)	100	59'-8"
Structure Length	80x86	56'-5" x 45'-0"
Parking Spaces		
Front Setback []	25'-0"	35'-0"
Side Setback []	12'-0"	27'-6"
Side Setback []	15'-0"	27'-6"
Rear Setback []	20'-0"	35'-0"

City Commission District: _____
Neighborhood Association: _____

Eight (8) plan sets should be submitted including the following:

(It is recommended that 11" x 17" plan sheets be submitted if legible and one electronic version of application and plans in PDF format)

- ✓ 1) **Proof of ownership** and a letter of consent from the owner, if agent is acting as the applicant.
- ✓ 2) **Cover letter/project narrative** outlining the project and providing pertinent details regarding the use(s) and structures(s) proposed.
- ✓ 3) **Land Use and Zoning maps** indicating all properties within 700 ft. of the subject property. These should be obtained from Urban Design & Planning Division. Site should be highlighted or clearly marked to identify the parcel(s) under consideration on all sets.
- ✓ 4) **Survey** with all current site features, subsurface, overhead utilities, and easements shown.
- ✓ 5) **Photos** (8x10 color) of existing conditions of adjacent sites and streetscapes.
- ✓ 6) **Preliminary or conceptual site plan** indicating structure(s), parking areas, access points, general landscape areas, and any other major site elements.
- 7) **Any other pertinent information**, plans or documents prepared that may be helpful in the DRC pre-application review. For example, conceptual building elevations, photographs, etc.

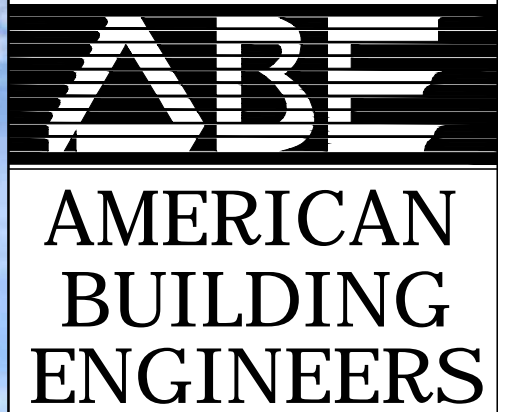
<p>Applicant's Affidavit I acknowledge that the Required Documentation and Technical Specifications of the application are met:</p> <p>Print Name <u>Abe Borujerdi</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>8/2/15</u></p>	<p>Staff Intake Review For Urban Design & Planning Division use only:</p> <p>Date _____</p> <p>Received By _____</p> <p>Tech. Specs Reviewed By _____</p>
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Date 8/2/15

Case No. _____



PERMIT ISSUE:	
REVISIONS:	DATE:
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1842 East Oakland Park Blvd.
Fort Lauderdale, Florida 33306
Miami: 305.681.5563
Fort Lauderdale: 954.739.5099
Palm Beach: 561.243.3939
Certificate of Authorization # 4732

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BORUJ TOWER
2197 N. OCEAN BLVD
FORT LAUDERDALE, FL 33305

ABE BORUJERDI, P.E.
P.E. 38553
PHONE: (954) 739-5099
APPROVED SEAL/SIGNATURE

TITLE SHEET

BORUJ TOWER
2197 N. OCEAN BLVD
FORT LAUDERDALE, FL 33305

PROJECT #.: 13.061

SHEET #.:

T-1

PRINT DATE:

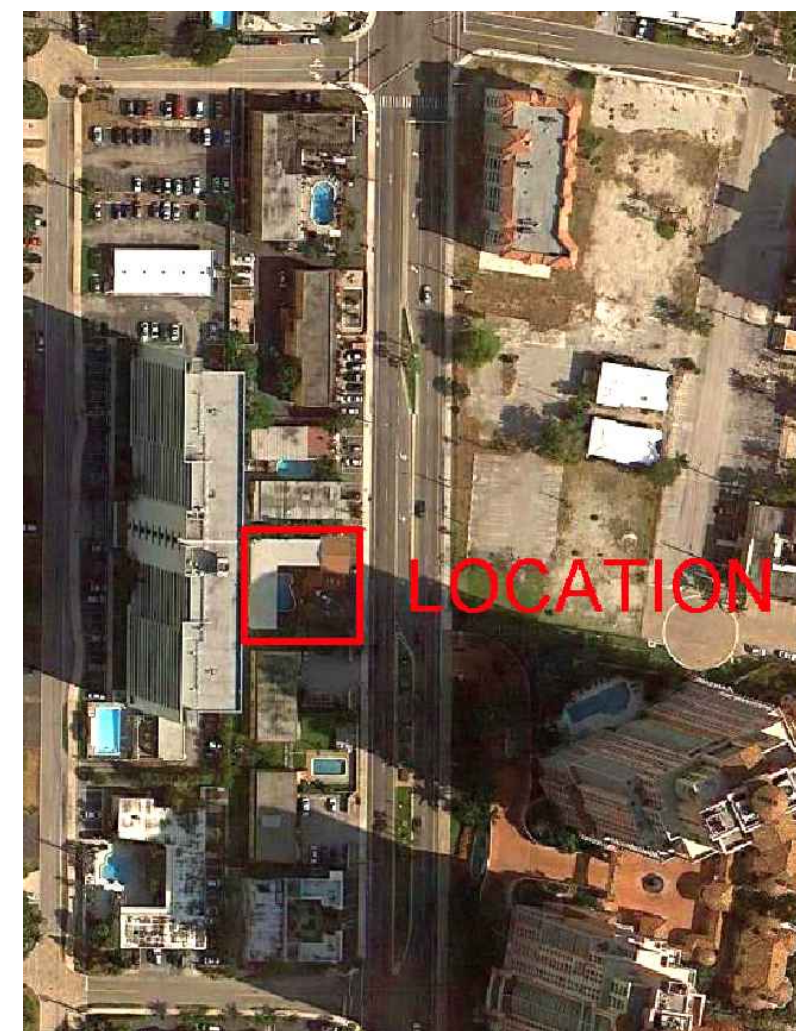
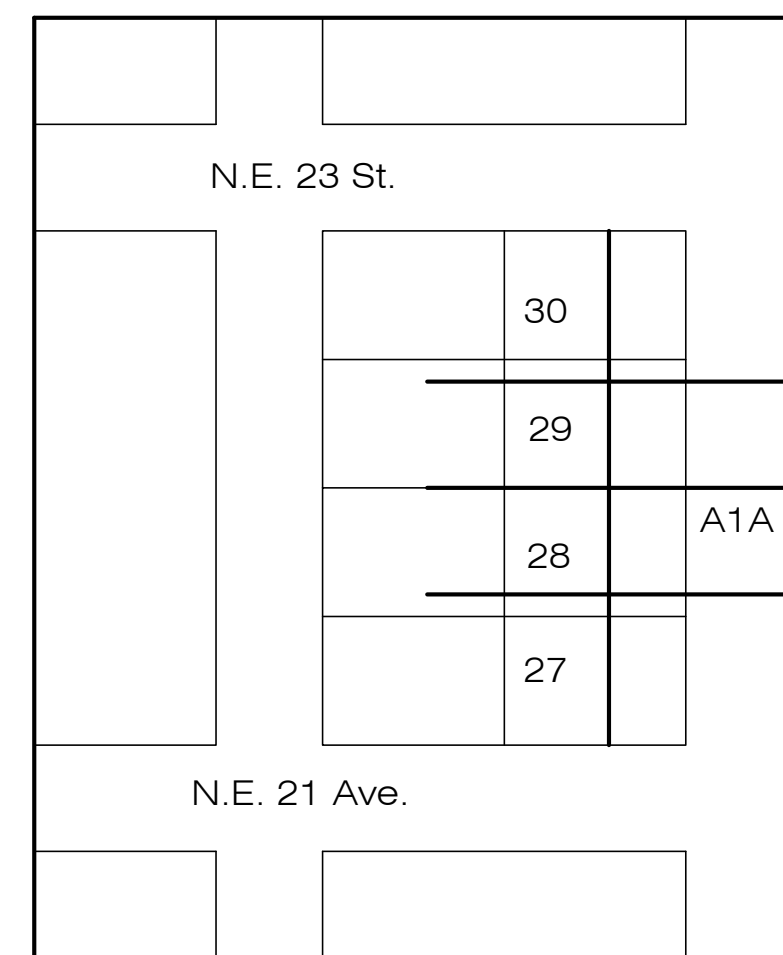
08-04-15

BORUJ TOWER

RESIDENTIAL

2197 N. OCEAN BLVD. - FORT LAUDERDALE

FLORIDA



LEGAL DESCRIPTION

LOTS 28 & 29, BLOCK 1 OF "LAUDERDALE BEACH" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN THE PLAT BOOK 4, PAGE 2 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LIST OF DRAWINGS:

- T-1 TITLE SHEET
- T-2 STREET VIEW & NARRATIVE
- PL- 1 PLAT PLAN
- LM-1 LOCATION MAP
- SH-1 SHADOW STUDY
- SP-1 SITE PLAN
- SP-2 SITE SCHEME & PARKING PLAN
- SP-3 SITE PLAN & ELEVATIONS SETBACKS
- SP-4 DETAILS
- A-1 GRADE LEVEL 1 - FLOOR PLAN
- A-2 LEVEL 2 & LEVEL 3 FLOOR PLANS
- A-3 LEVEL 4 & LEVEL 5 FLOOR PLANS
- A-4 LEVEL 6 & ROOF LEVEL PLAN
- A-5 SOUTH & WEST ELEVATIONS
- A-6 NORTH & EAST ELEVATIONS
- C-1 STAGING & STORAGE PLAN
- L-1 LANDSCAPE PLAN
- TD-1 LANDSCAPE PLAN
- PH-1 PHOTOMETRIC PLAN



AMERICAN BUILDING ENGINEERS

1842 OAKLAND PARK BLVD. - FORT LAUDERDALE, FL - 33306
(305) 681-5563 FAX (954) 739-5153
Email: info@abeincusa.com

KIM MOYERS
LANDSCAPE ARCHITECT

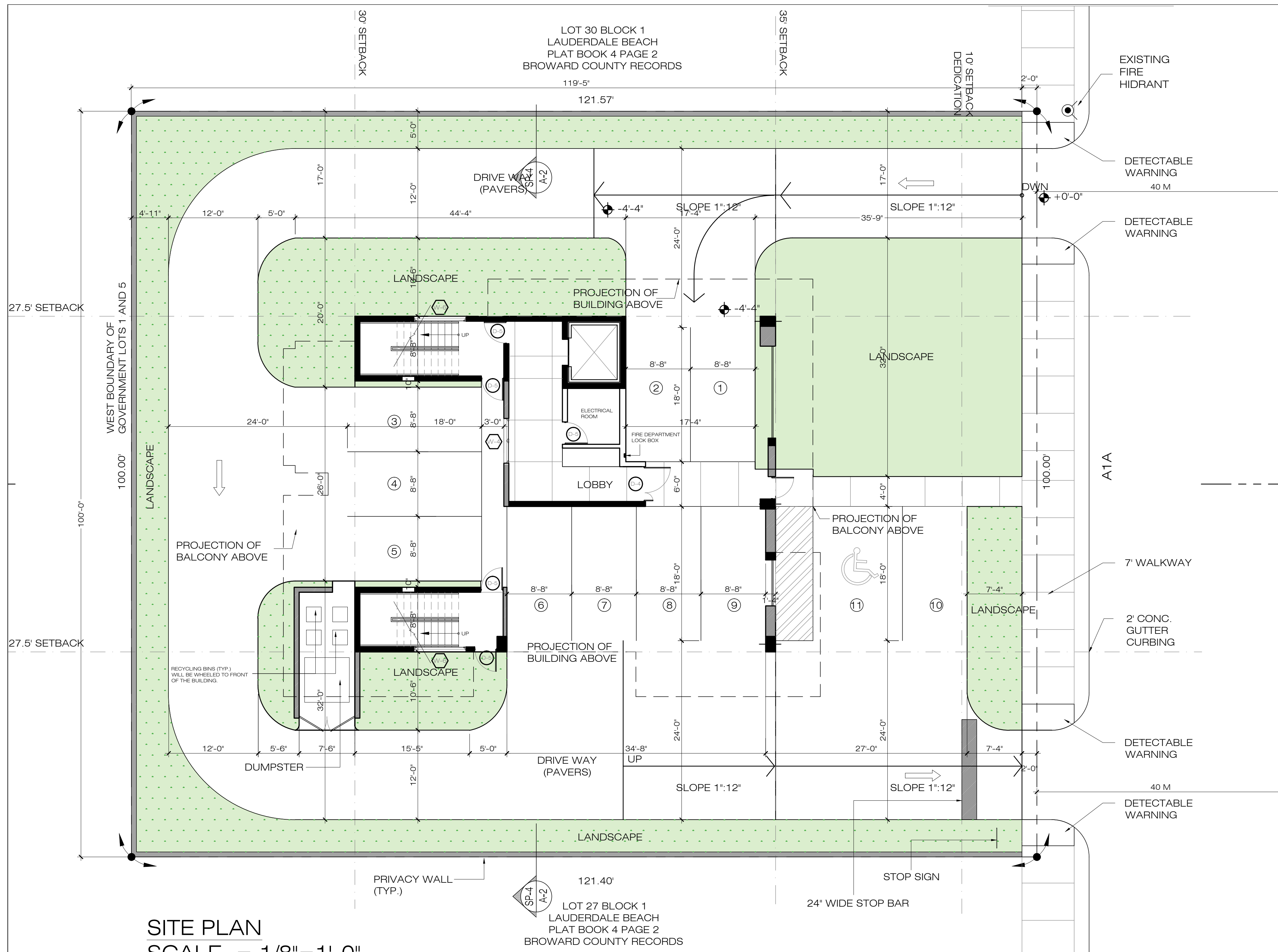
4808 NE 16TH AVE.
OAKLAND PARK FL 33334
PH: 954 492 9609

John B. Smith
Engineers INC.
CIVIL ENGINEERING

441 S. State Road 7, Suite 19D
MARGATE FL 33068
PH: 954 763 4177

COVENANT ENGINEERING INC.
MEP ENGINEERING

4808 NE 16TH AVE.
OAKLAND PARK FL 33334
PH: 954 492 9609



SITE PLAN
SCALE = 1/8"=1'-0"

LANDSCAPE	GROUND FLOOR	3,817.00 SQ. FT.	31.4%
	ROOF DECK	529 SQ. FT.	4.3%
LANDSCAPE TOTAL:		4,346.00 SQ. FT.	35.7%
REQUIRED LANDSCAPING:		4,251.00 SQ. FT.	35%
TOTAL SITE AREA:		12,147.60 SQ. FT.	100%



SITE STATISTICS:

SITE:	0.27885 ACRES	12,147.60 SQ. FT.	
BUILDING COVERAGE:	2,538.62 SQ. FT.		21%
PAVING & SIDEWALKS:	5,468.50		48%
LANDSCAPE:	3,817.00 SQ. FT.		31%
TOTAL:	12,147.60 SQ. FT.		100%

PERVIOUS:	3,817.00 SQ. FT.	31%
IMPERVIOUS:	8,330.60 SQ. FT.	69%

RESIDENTIAL:	5 UNITS	9,458 SQ. FT. L.A.
		4,716 SQ. FT. BALC. PRIVATE
GREEN AREA PROVIDED:	4,346.00 SQ. FT.	
COVERED PARKING:	1,431.00 SQ. FT.	
5 UNITS * B.R. @ 2.1 PER DWELLING UNIT:	10.5 SPACES	
REQUIRED PARKING:	11 SPACES	
PARKING PROVIDED ON SITE:	11 SPACES	
TOTAL:	11 SPACES	

BUILDING HEIGHT - TOP OF HIGHEST FLAT ROOF: 59'-8" ABOVE PARKING
* GROSS AREA INCLUDES ELEVATOR, STAIRS AND CORRIDORS

UNIT #	UNIT TYPE	UNIT SQ. FT. A/C	SQ. FT. BALCONIES
201	TYPE A - 3BR/3 1/2B	2,300	770
301	TYPE A - 3BR/3 1/2B	2,053	814
401	TYPE A - 3BR/3 1/2B	2,053	620
501	TYPE A - 3BR/3 1/2B	2,053	1,069
601	TYPE B - 1BR/1B	999	1,443
TOTAL AREA - 5 UNITS		9,458	4,716

TOTAL BUILDING FLOOR AREA A/C:	9,458 SQ. FT.
TOTAL BALCONIES:	4,716 SQ. FT.
TOTAL BUILDING COMMON AREA:	2,035 SQ. FT.
TOTAL LOBBY AREA:	245.00 SQ. FT.
TOTAL PARKING - COVERED:	1,431.00 SQ. FT.
ELECTRICAL AND MECHANICAL ROOM:	143 SQ. FT.
TOTAL GROSS AREA:	18,028 SQ. FT.

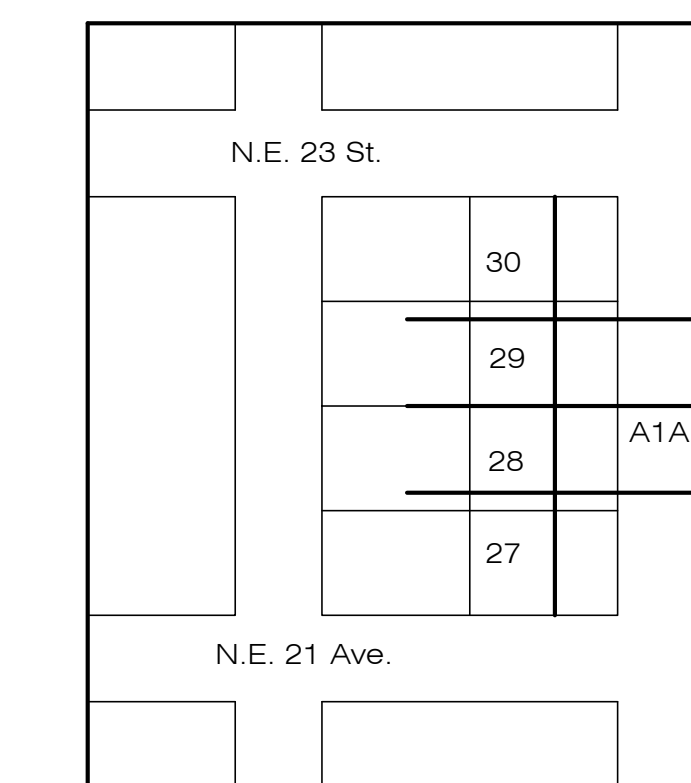
FAR = 1.49 (18,028 / 12,147.60)

SITE DATA

SETBACKS		
	REQUIRED	PROVIDED
FRONT	25'-0"	35'-0"
REAR	20'-0"	30'-0"
SIDE	10'-0"	27'-6"

LEGAL DESCRIPTION:
LOTS 28, 29 BLOCK 1
FLOOD ZONE AE
BASE FLOOD ELEVATION 7.00'
OCCUPANCY :
GROUP "R" RESIDENTIAL
CONSTRUCTION TYPE
TYPE II * SPRINKLERED
ZONING RMH-60: LAND-USE RAC
(RESIDENTIAL HIGH)

LOCK BOX
KNOX BOX 3200 SERIES LIFT OFF DOOR MODEL.

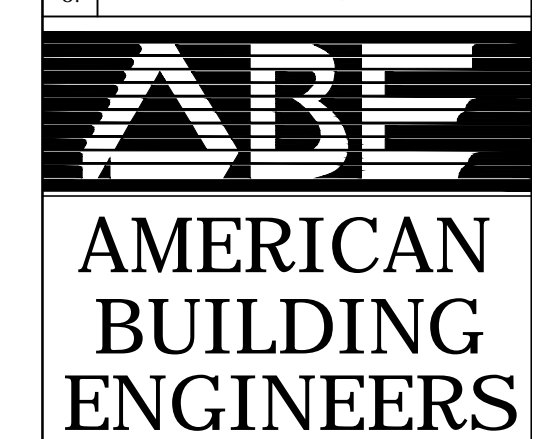


LOCATION MAP
NTS

FLOOD DATA:
ZONE: AO 1
COMMUNITY NUMBER: 125105
PANEL & SUFFIX: 0217 F
DATE OF FIRM: 8 / 18 / 92
FFL ELEV= 10.75

PERMIT ISSUE:

REVISIONS:	DATE:
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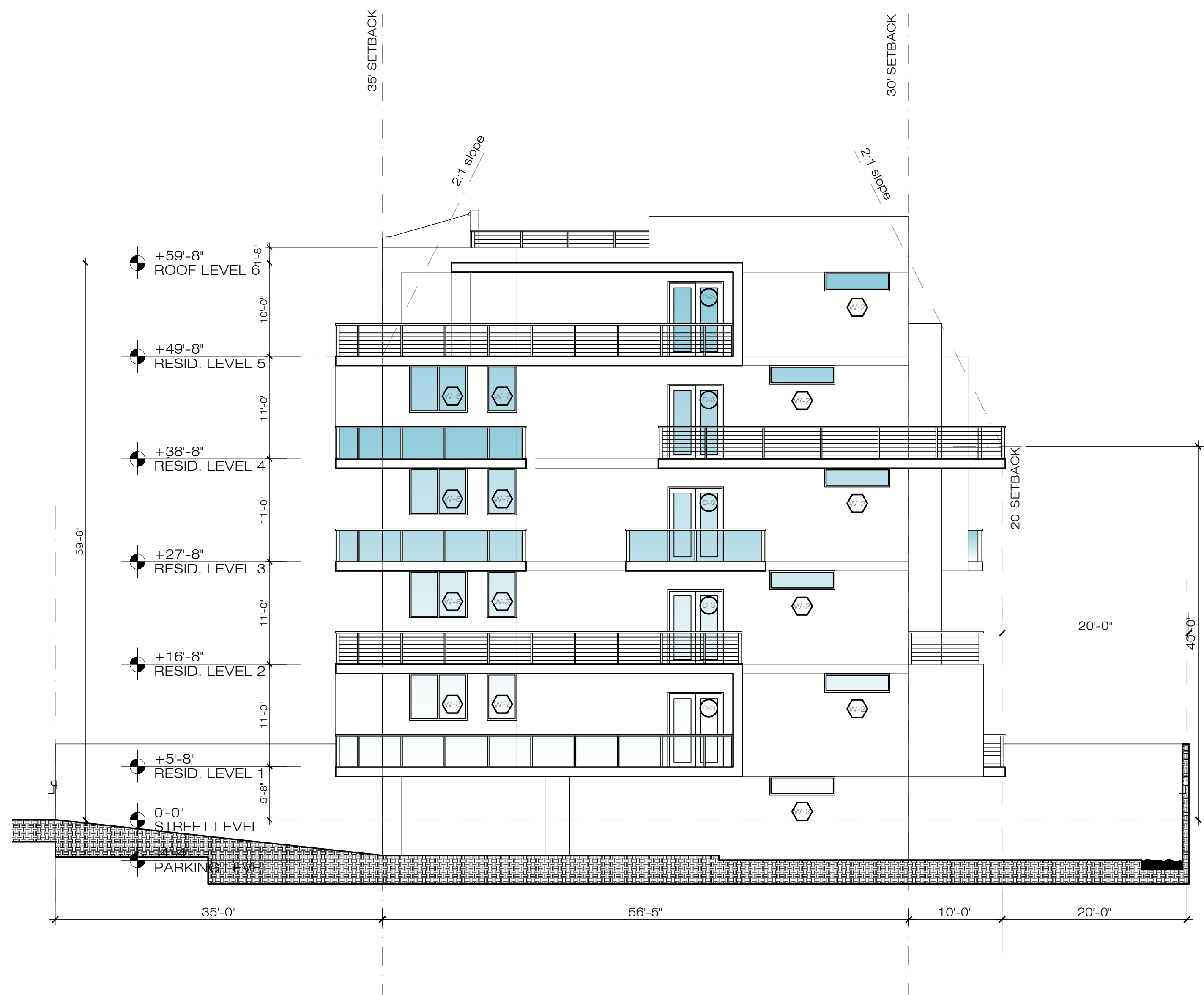
PROPOSED SITE PLAN
BORUJ TOWER
2197 N. OCEAN BLVD
FORT LAUDERDALE, FL 33305

PROJECT #: 13.061

SHEET #:

SP-1

PRINT DATE: 08-04-15



NORTH ELEVATION
SCALE = 1/8"=1'-0"



EAST ELEVATION
SCALE = 1/8"=1'-0"

PERMIT ISSUE:	
REVISIONS:	DATE:
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NORTH & EAST ELEVATIONS

BORUJ TOWER
2197 N. OCEAN BLVD
FORT LAUDERDALE, FL 33305

PROJECT #: 13.061

SHEET #:

A-6

PRINT DATE:

08-04-15

PERMIT ISSUE:	
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SOUTH & WEST ELEVATIONS

BORUJ TOWER
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FORT LAUDERDALE, FL 33305

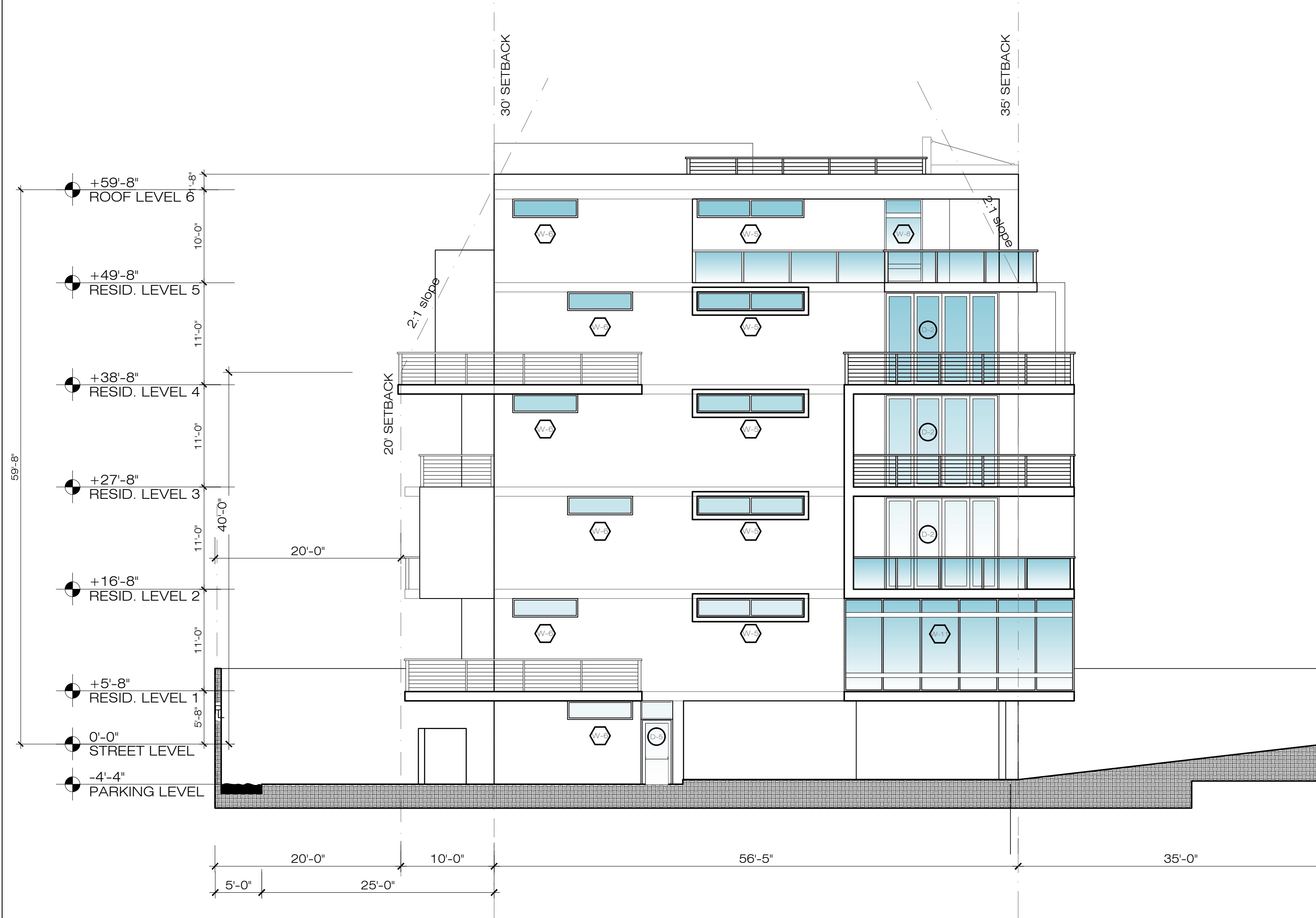
PROJECT #: 13.061

SHEET #:

A-5

PRINT DATE:

08-04-15



SOUTH ELEVATION
SCALE = 1/8"=1'-0"



WEST ELEVATION
SCALE = 1/8"=1'-0"



CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: August 25, 2015

Project Name: Jalil A. Shariz and Zahra Bahrami / Boruj Tower

Case Number: PRE15006

Request: Pre-DRC Item: Five (5) Multi-Family Units

Location: 2197 N. Ocean Boulevard

**Zoning: Residential Multifamily High Rise / High Density
(RMH-60)
High**

Land Use:

Project Planner: Florentina Hutt

Case Number: PRE15006

Boruj Tower – Five (5) Multi-Family Units

2197 Ocean Boulevard

RIGHT OF WAY / EASEMENT DEDICATIONS REQUIRED PER ULDR SECTION 47-25.2.M.5:

- a. 10' Right-of-Way dedication to Florida Department of Transportation (FDOT) along west side of N. Ocean Boulevard to complete half of 100' Right-of-Way section (per the most current Broward County Road Jurisdiction & Functional Classification Map); show linework in the plans and provide exhibit, as appropriate

CASE COMMENTS:

A. Please respond to Comments 1 through 24 prior to Final DRC sign off

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or JHolguin@fortlauderdale.gov.
 - b. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS coordinate with Alia Awwad, P.E. [(954) 828-6078 or AAwwad@fortlauderdale.gov] and/or Eric Houston [(954) 828-5216 or EHouston@fortlauderdale.gov] with the Transportation & Mobility Department to fulfill transport aspect of the Adequacy requirements.
 - c. Coordinate the minimum Finished Floor Elevation and site grading approval with Richard Benton – City Floodplain Manager at (954) 828-6133 or RBenton@fortlauderdale.gov; please note that additional notes may be required on the Site Data table.
2. Please be advised that all proposed improvements within or adjacent to the Florida Department of Transportation (FDOT), Broward County (BCHECD) and City Right of Way are subject to issuance of a Right of Way permit from the authority having jurisdiction. This shall include the execution of an agreement that authorizes those entities the authority to remove improvements for any public purpose in the future.

Please coordinate and provide approval from the following agency for the improvements along:

N. Ocean Boulevard – Florida Department of Transportation (FDOT)

3. Obtain approval from the Florida Department of Transportation (FDOT) for the Strategic Intermodal System (SIS) Program. The site plan shall be reviewed and approved by FDOT. Please contact Ms. Tammy Campbell at 954-777-4668 (tammy.campbell@dot.state.fl.us) to inquire whether the SIS approval is required for the proposed development.
4. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.

5. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. (954) 828-6078 or aawwad@fortlauderdale.gov.
6. Proposed driveway approach to N. Ocean Boulevard – Provide FDOT sight triangle (per the most current FDOT Design Standards) on the Site Plan, Landscape Plans, and Civil Plans.
7. Show and label sight triangles as appropriate (per ULDR Section 47-2.2.Q), for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets (measured from pavement edges).
8. Please note that per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
9. On-site parking encroaches within 10' Right-of-Way dedication to FDOT; discuss relocation or elimination of this parking stall.
10. Per ULDR Section 47-20.9.A, sloping floor grades shall not exceed five percent (5%) for ninety (90) degree parking stalls.
11. Per ULDR Section 47-20.5.C.6, provide and dimension the minimum stacking distance required for driveway ingress to and egress from the proposed parking garage – a minimum of 12' wide by 22' long area for each vehicle to be accommodated within the stacking area.
12. Sheet SP-3 (North Set Back Elevation), Sheet A-5 (South Elevation) & Sheet A-6 (North Elevation): Elevations show proposed driveway ramp from street level into parking garage extending to 35' building setback line, but Site Plan (Sheets SP-1 & SP-2) shows 12:1 ramp slope extending an additional 20' beneath the building.
13. Sheet A-1: Proposed location of 'Boruj Tower Sign' is within 10' Right-of-Way dedication to FDOT. Since this ground sign may also require a separate submittal, please coordinate with the Case Planner.
14. Sheet C-1: Show and label areas for truck wash-off and infiltration of runoff.
15. Please prepare and submit the following exhibits which clearly define the following (as applicable):
 - a. Construction Phasing Exhibit
 - b. Right-of-Way / Easement Dedication / Vacation Exhibit
 - c. Maintenance Agreement Area Exhibit
 - d. Revocable License Area Exhibit
16. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
17. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.

18. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
 - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.
 - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water main shall be constructed with DIP piping in the City Right-Of-Way.
 - c. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the paving and grading plan.
 - d. Signing and marking plan, including the radii all landscaping and pavement areas.
19. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's Right-of-Way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
20. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
21. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons" and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
22. Show utilities on the lighting and landscaping plans for potential conflict.
23. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
24. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at rjohnson@fortlauderdale.gov or (954) 828-7809.

B. Respond to Comments 25 through 37 prior to Engineering Permit Approval

25. Resolve the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.
26. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a maintenance agreement shall be executed with the City acknowledging that the Applicant will maintain all the facilities, landscaping, and hardscaping improvements within the City's Right-of-Way.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.

27. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or EKalus@broward.org at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dougniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
28. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
29. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
30. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
 - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
 1. Include a narrative for each phase along with roadways utilized for materials delivery
 2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
 3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
 4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
 5. Show location and type of construction crane(s), including span radius
 6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes
 7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
 8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
 9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
 10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
 11. Show location of parking for inspectors and construction personnel. Include all off site parking-location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
 12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street

13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
 14. Indicate where and how concrete trucks will stage during multiple yardage pours
 15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
 16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
 17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
 18. Indicate schedule for street sweeping of periphery of construction site
 19. Indicate if dewatering is proposed.
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31. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvanlandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at http://www.broward.org/pprd/cs_dewatering.htm.
 32. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg (smemberg@sfwmd.gov).
 33. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrence Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dogniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
 34. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
 35. Please note that any lighting onsite or in the City's Right-of-Way or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in or near the right of way. Please contact the Facilities Maintenance office, David Smith at (954) 828-6560, for information concerning the lighting within the City's Right-Of-Way.
 36. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
 37. Please discuss with City Public Works Department - Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.

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CASE COMMENTS:

The intent of the Pre-DRC application is to provide preliminary discussion on a proposed project. These comments are provided at a broader level than those given at the time of Development Review Committee (DRC) submittal.

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighbors/civic-associations>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated High Residential on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) The proposed project requires review and approval by the Planning & Zoning Board (PZB) in addition to the Development Review Committee (DRC). A separate application and fee is required for PZB submittal, and the applicant is responsible for all public notice requirements (Section 47-27, ULDR). In addition, the development permit shall not take effect nor shall a building permit be issued until thirty (30) days after approval, and then only if no motion is adopted by the City Commission seeking to review the application. Note: The City Clerk's office requires 48 hours notice prior to Commission meeting if a computer presentation is planned (i.e. *PowerPoint*), to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information.
- 4) Please note that pursuant to the recent passing of an ordinance outlining Public Participation requirements (see City of Fort Lauderdale Unified Land Development Regulations (ULDR) Section 47-27.4.A.2.c.), at least 21 days prior to the DRC meeting, a notice from the applicant via letter or e-mail shall be provided to any official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of the DRC meeting. Ten (10) days prior to the DRC meeting the applicant shall provide an affidavit documenting that notice was provided.

In addition, prior to submittal of the application to the PZB, a notice from the applicant via letter or e-mail shall be provided to official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting. The applicant shall then conduct a public participation meeting(s) a minimum of 30 days prior to the PZB. The date and location of the meeting(s) is at the discretion of the applicant. Once the meeting(s) is conducted, the applicant shall provide a written report letter to the Department of Sustainable Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation materials and general summary of the discussion of the public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and it shall be made a part of the administrative case file record.

The applicant shall, at a minimum of ten (10) days prior to the PZB, execute and submit to the department an affidavit of proof of public notice according to this section. If the applicant fails to submit the affidavit, the public hearing will be postponed until the next available hearing date after the affidavit has been supplied.

- 5) For the DRC application, indicate the project's compliance with the following ULDR sections by providing a point-by-point narrative response, on letterhead, with date and author indicated.
 - a. Section. 47-25.2, Adequacy Requirements.
 - b. Section 47-23.11, Modification of Required Yards

- 6) For the DRC submittal provide a site plan with all relevant dimensions, a landscape plan and colored elevations of all façades to indicate the proposed building materials and colors.
- 7) Consider the following changes to the site plan:
 - a. Reconfigure the ground floor to provide for an active façade by relocating the lobby and any other active spaces along the front façade.
 - b. Consider a wider pedestrian walkway to the building and highlight the entrance with appropriate architectural elements such as the use of an awning, trellis, etc.
 - c. Consider enclosing or screening the two parking spaces provided in the front yard.
 - d. Indicate setbacks from the property line to the structure and to the projected balconies.
 - e. Indicate dimensions of the proposed curb cuts.
- 8) Pursuant to ULDR Section 47-5.38. Note B, yard dimensions in this district are the minimum requirements. In no case shall the dimensional requirements be less than an amount equal to one-half (1/2) the height of the building, when this is greater than the specified yard minimums. As such, consider redesigning the plan to meet the required setbacks or provide answers to the Modification of Required Yards criteria, per ULDR Section 47-23.11.
- 9) Consider providing streetscape improvements to allow for a landscape buffer with shade trees to be located between the vehicular traffic and sidewalk.
- 10) Consider employing green building practices throughout the project including, but not limited to charging stations, tankless water heaters, rain collection systems, pervious pavers, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.
- 11) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 12) Additional comments may be forthcoming at the DRC meeting.

Case Number: Pre15006

CASE COMMENTS:

Please provide a response to the following:

1. Define 'limited access control' as stated on plans
2. Stairwells should egress only on the first floor.

GENERAL COMMENTS:

The following comments are for informational purposes.

- It is noted on plans of the lighting and visibility to the site.
- It is noted units will have alarm systems.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

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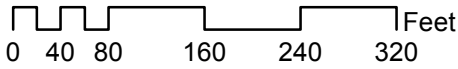
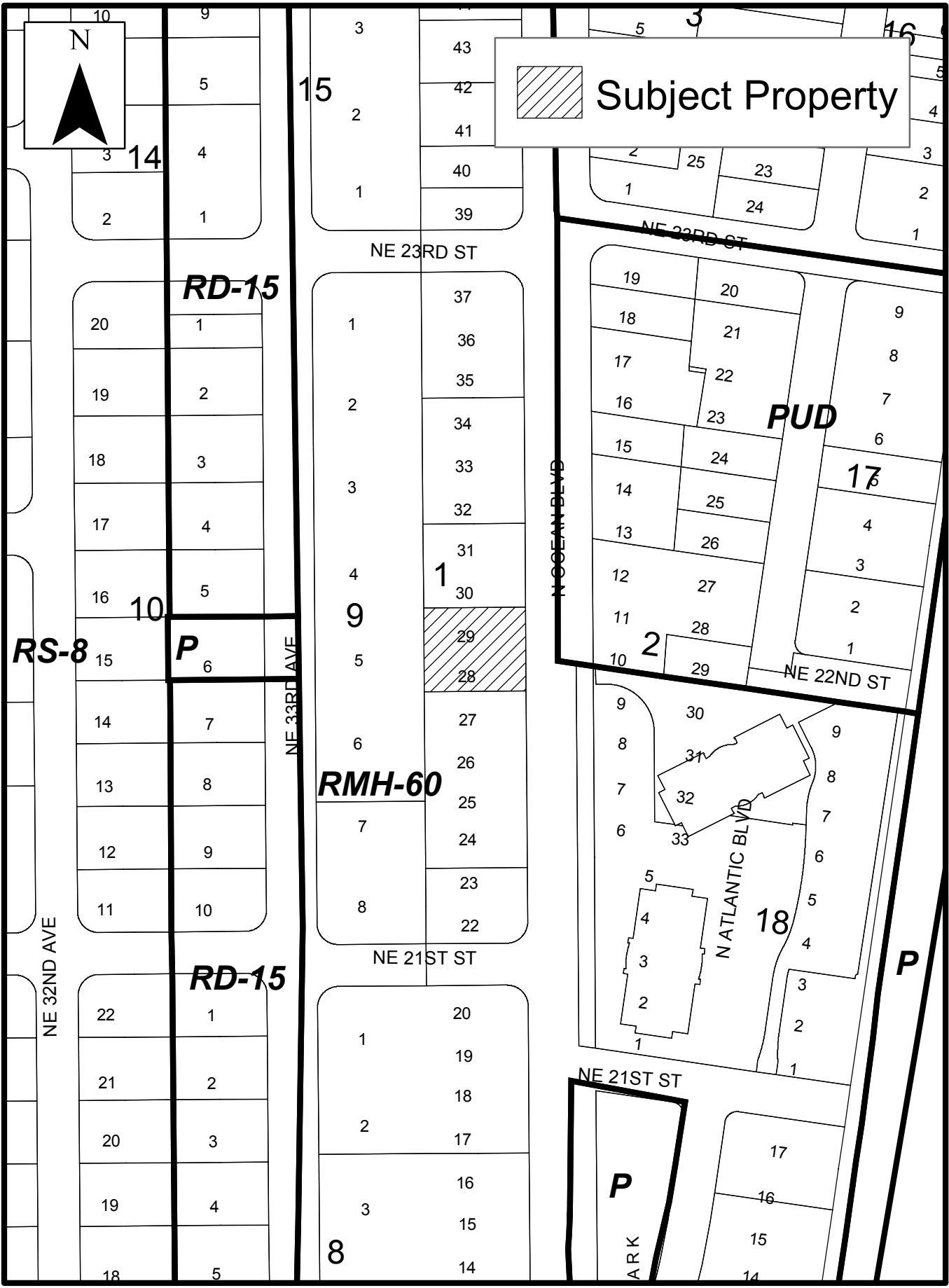
CASE COMMENTS:

1. Provide a traffic impact statement. Coordinate with the Transportation and Mobility Department to discuss the need for a traffic impact study.
2. Bicycle parking is strongly encouraged, covered if possible with a bike pump. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide the minimum long term and short term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet.
3. Ensure all sidewalks along A1A are a minimum of 8ft wide with shade trees if possible.
4. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices.
5. Additional comments may be provided upon further review.
6. Signature required.

GENERAL COMMENTS:

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



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