

Page 1: DRC Site Plan - Applicant Information Sheet

Set: V  
 Ct: ✓  
 fees ✓  
 CD —  
 CC 4  
 Downtown  
 FTLCIA.

**INSTRUCTIONS:** The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

**NOTE:** To be filled out by Department

Case Number	R15048
Date of complete submittal	09/04/15

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	KG LAS OLAS LAND TRUSTEE, LLC
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	701 S OLIVE AVE STE 104 WEST PALM BEACH FL 33401
Email Address	ccrush@crushlaw.com
Phone Number	954.522.2010
Property Owner's Title	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

**NOTE:** If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant/Agent's Name	Crush Law, P.A. Courtney Crush
Applicant/Agent's Signature	<i>[Signature]</i>
Address, City, State, Zip	333 N New River Drive E, Suite 1500, Ft. Lauderdale, FL 33301
Email Address	ccrush@crushlaw.com
Letter of Consent Submitted	YES

Development/Project Name	100 Las Olas
Development/Project Address	<u>Existing:</u> 100 E Las Olas Blvd <u>New:</u> 100 E Las Olas Blvd
Legal Description	NEW RIVER CENTER 151-15 B POR PAR A DESC AS BEG AT WLY MOST NW COR SAID PAR A; NE 42.47 E 220.28, SE 42.43, S 110, W 280.05 N 109.94 TO POB
Tax Parcel ID Number (Local Parcel Identification)	5042 10 94 0011
Request Description of Project	Mixed use high rise in the Downtown Core.
Total Estimated Cost of Project	\$ 200,000,000.00 (including land costs)

Current Land Use Designation	RAC
Proposed Land Use Designation	RAC
Current Zoning Designation	RAC-CC
Proposed Zoning Designation	RAC-CC
Current Use of Property	Vacant
Number of Residential Units	120
Number of Residential (and type)	228 Hotel Rooms
Total Floor Space (square feet) (including parking)	735,029
Site V. adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirement	Required	Proposed
Lot Area (sq. ft./acreage)	N/A	38,327
Lot Depth	N/A	280.05'
Fronting Width (Lot Width)	No Limit	464'-11.25"
Structure Height	300'	270'-3"
Floor Area Ratio	N/A	13.5
Lot Coverage	95% Max.	94%
Open Space	N/A	2,269 s.f.
Landscaped Area	N/A	6,933 s.f.
Building Height	N/A	507

Setback (minimum) (direction) (ft./w)	Required	Proposed
Front (ft./w)	0'	0'-8"
Side (ft./w)	5'	7'-0"
Side (ft./w)	5'	6'-8"
Rear (ft./w)	0'	0'-8"

# SITE PLAN APPLICATION

09/04/2015



**SB ARCHITECTS**

2333 Ponce de Leon Boulevard, Suite 1000  
Coral Gables, FL 33134  
T 305/856-2021  
F 305/856-0854

A California Corporation

<b>A</b>	<b>ARCHITECTURE</b>	<b>SB Architects</b> 2333 Ponce De Leon Blvd Suite 1000 Miami, FL 33134 305-856-2021 www.sb-architects.com
<b>C</b>	<b>CIVIL</b>	<b>Thomas Engineering Group</b> 1000 Corporate Drive Suite 250 Fort Lauderdale, FL 33334 954-202-7000 www.thomasengineeringgroup.com
<b>L</b>	<b>LANDSCAPE</b>	<b>Intuitive Design Group</b> 4247 SW High Meadows Avenue Palm City, FL 34990 772-220-9711 www.intuitivedesigngroup.com
<b>E</b>	<b>ELECTRICAL</b>	<b>HUFSEY-NICOLAIDES-GARCIA-SUAREZ, Associates, Inc.</b> 4800 SW 74th Court Miami, FL 33155-4448 305-270-9935 www.hngsengineers.com
<b>S</b>	<b>SURVEYOR</b>	<b>Fortin, Leavy, Skiles, Inc.</b> 180 NE 168 Street North Miami Beach, FL 33162 305-653-4493 www.flssurvey.com
<b>LAND USE ATTORNEY</b>		<b>Crush Law, P.A.</b> 333 North New River Drive East Suite 2200 Fort Lauderdale, FL 33301 954-522-2010 www.crushlaw.com
<b>DRAWING INDEX</b>		<p><b>ARCHITECTURE</b></p> <p>A0-00 COVER SHEET AND DRAWING INDEX</p> <p>A1-01 CONTEXT PLAN A1-02 SITE PHOTOGRAPHS A1-03 ARCHITECTURAL SITE PLAN AND PROJECT ZONING DATA A1-04 HOTEL AND RESIDENTIAL UNIT MATRIX</p> <p>A2-01 LEVEL 1 FLOOR PLAN A2-02 LEVEL 2 FLOOR PLAN A2-03 LEVEL 3 FLOOR PLAN A2-04 LEVEL 4 FLOOR PLAN A2-05 LEVEL 5 FLOOR PLAN A2-06 LEVEL 6 FLOOR PLAN A2-07 LEVEL 7 FLOOR PLAN A2-08 LEVEL 8 FLOOR PLAN A2-09 LEVELS 9 THROUGH 15 FLOOR PLAN A2-10 LEVEL 16 FLOOR PLAN A2-11 LEVELS 17 THROUGH 44 FLOOR PLAN A2-12 LEVEL 45 FLOOR PLAN A2-13 LEVEL 46 FLOOR PLAN A2-14 ROOF PLAN</p> <p>A3-01 NORTH ELEVATION A3-02 EAST ELEVATION A3-03 SOUTH ELEVATION A3-04 WEST ELEVATION A3-05 PROJECT RENDERING A3-06 PROJECT RENDERING A3-07 PROJECT RENDERING A3-08 PROJECT RENDERING A3-09 STREET LEVEL RENDERINGS AND SIGNAGE DETAIL A3-10 SHADOW STUDY</p> <p>A4-01 GROUND FLOOR ENLARGED NORTH ELEVATION A4-02 WALL SECTION AND BALCONY RAILING DETAILS</p> <p><b>CIVIL</b></p> <p>C-1 GENERAL NOTES AND DETAILS C-2 DEMOLITION PLAN C-3 PRELIMINARY ENGINEERING PLAN C-4 PRELIMINARY ENGINEERING DETAILS</p> <p><b>LANDSCAPE</b></p> <p>LP-1 GROUND FLOOR LANDSCAPE PLAN LP-2 SITE PLAN DATA / LANDSCAPE LEGEND / PAVING DETAILS LP-3 OFF SITE LANDSCAPE IMPROVEMENTS / PLANTING DETAILS SP-1 GRAPHIC SITE PLAN / SITE FURNISHINGS</p> <p><b>PHOTOMETRICS</b></p> <p>EP1-03 PHOTOMETRIC SITE PLAN EP2-01 LEVEL 1 PHOTOMETRIC PLAN EP2-02 LEVEL 2 PHOTOMETRY PLAN EP2-03 LEVEL 3 PHOTOMETRY PLAN EP2-04 LEVEL 4 PHOTOMETRY PLAN EP2-05 LEVEL 5 PHOTOMETRY PLAN EP2-06 LEVEL 6 PHOTOMETRY PLAN EP3-01 ELECTRICAL NOTES</p> <p><b>SURVEY</b></p> <p>S-1 SURVEY S-2 SURVEY</p>



# 100 LAS OLAS

Hotel • Residences • Retail

## FORT LAUDERDALE, FLORIDA

PROJECT ADDRESS: 100 EAST LAS OLAS BOULEVARD  
FORT LAUDERDALE, FLORIDA 33301

Owner / Project Management

**KG Las Olas Trustee, LLC**

701 S. Olive Avenue Suite 104

West Palm Beach, FL 33401

561-682 9500

www.thekoltergroup.com

**Issued**

**SITE PLAN APPLICATION**

No.	Description	Date
	SITE PLAN APPLICATION	09/04/2015

Sheet Title: Project No. 21513

**COVER SHEET AND DRAWING INDEX**

Sheet No.

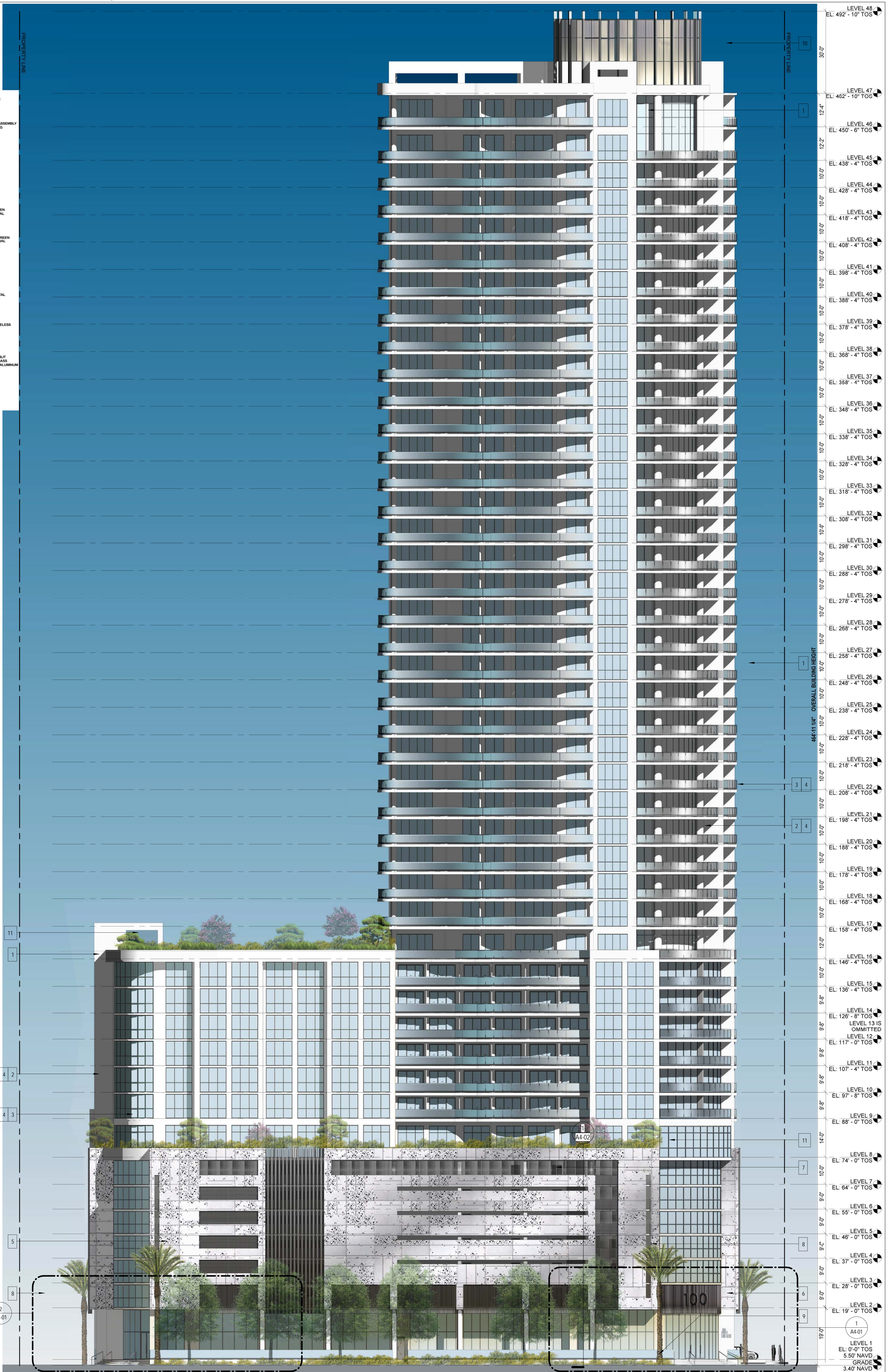
**A0-00**

9/17/2015 9:50:18 AM

C:\CurrentProjects\2015\Format\CONCEPT\_21513-100 LAS OLAS BLVD\_CENTRAL\_anaramirez4183.rvt



- 1 CEMENT PLASTER WITH PAINT FINISH  
PAINT COLOR: Benjamin Moore  
Minced Onion 12145-60
- 2 IMPACT RATED WINDOW AND DOOR ASSEMBLY  
WITH INSULATED LAMINATED GLAZING  
MANUFACTURER: PPG INDUSTRIES  
GLAZING MAKE UP:  
1/4" SB 704 Sapphire  
1/2" AIR SPACE  
1/4" CLEAR - 860 PVB - 1/4" CLEAR
- 3 LAMINATED FULLY TEMPERED  
ALUMINUM GLASS RAILING
- 4 ALUMINUM MULLIONS AND RAILING  
FINISH: PPO (Dunbar XL)  
COLOR: Powder
- 5 ALUMINUM HORIZONTAL GRILL SCREEN  
MANUFACTURER: OGI ARCHITECTURAL  
METAL SOLUTIONS
- 6 EXTRUDED ALUMINUM VERTICAL SCREEN  
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MANUFACTURER: PLKINGTON PROFILIT  
TRANSLUCENT LINEAR CHANNEL GLASS  
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COLUMNS
- 11 GREEN ROOF



- LEVEL 48  
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- LEVEL 9  
EL: 88' - 0" TOS
- LEVEL 8  
EL: 74' - 0" TOS
- LEVEL 7  
EL: 64' - 0" TOS
- LEVEL 6  
EL: 55' - 0" TOS
- LEVEL 5  
EL: 46' - 0" TOS
- LEVEL 4  
EL: 37' - 0" TOS
- LEVEL 3  
EL: 28' - 0" TOS
- LEVEL 2  
EL: 19' - 0" TOS
- LEVEL 1  
EL: 0' - 0" TOS  
5.50' NAVD  
GRADE  
3.40' NAVD

**1 NORTH ELEVATION**  
Scale: 1/16" = 1'-0"

**A3-01**

Sheet Title: NORTH ELEVATION  
Project No.: 21513

Issued

SITE PLAN APPLICATION

No.	Description	Date
1	SITE PLAN APPLICATION	09/20/15

OWNER

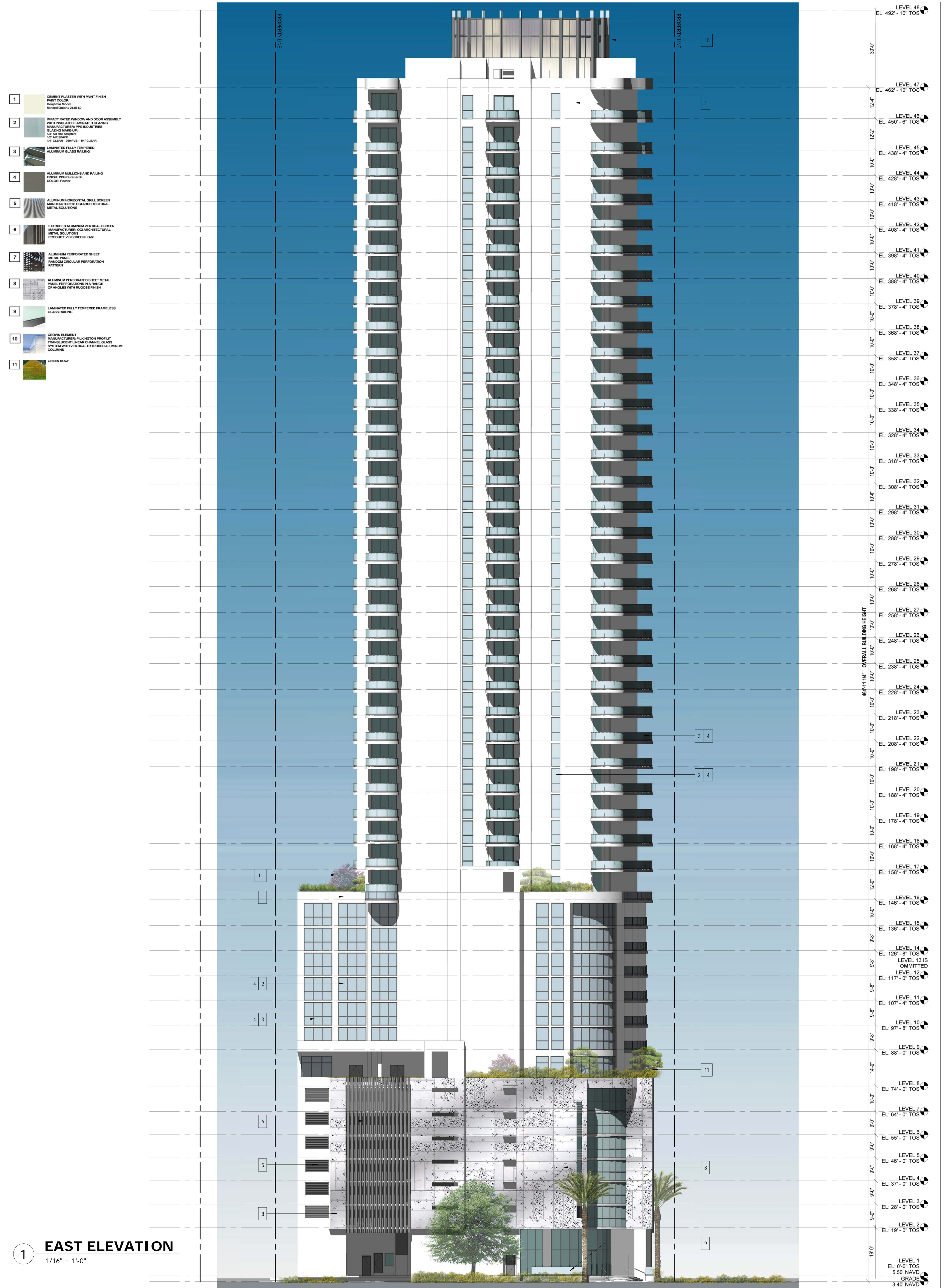
KG Las Olas Trustee, LLC  
100 Las Olas Blvd., Suite 101  
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561.682.9500  
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**1 EAST ELEVATION**  
1/16" = 1'-0"

Sheet No. **A3-02**

**EAST ELEVATION**

Project No. 21513

Issued

SITE PLAN APPLICATION

No.	Description	Date
1	SITE PLAN APPLICATION	09/16/2015

OWNER

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 West Palm Beach, FL 33401  
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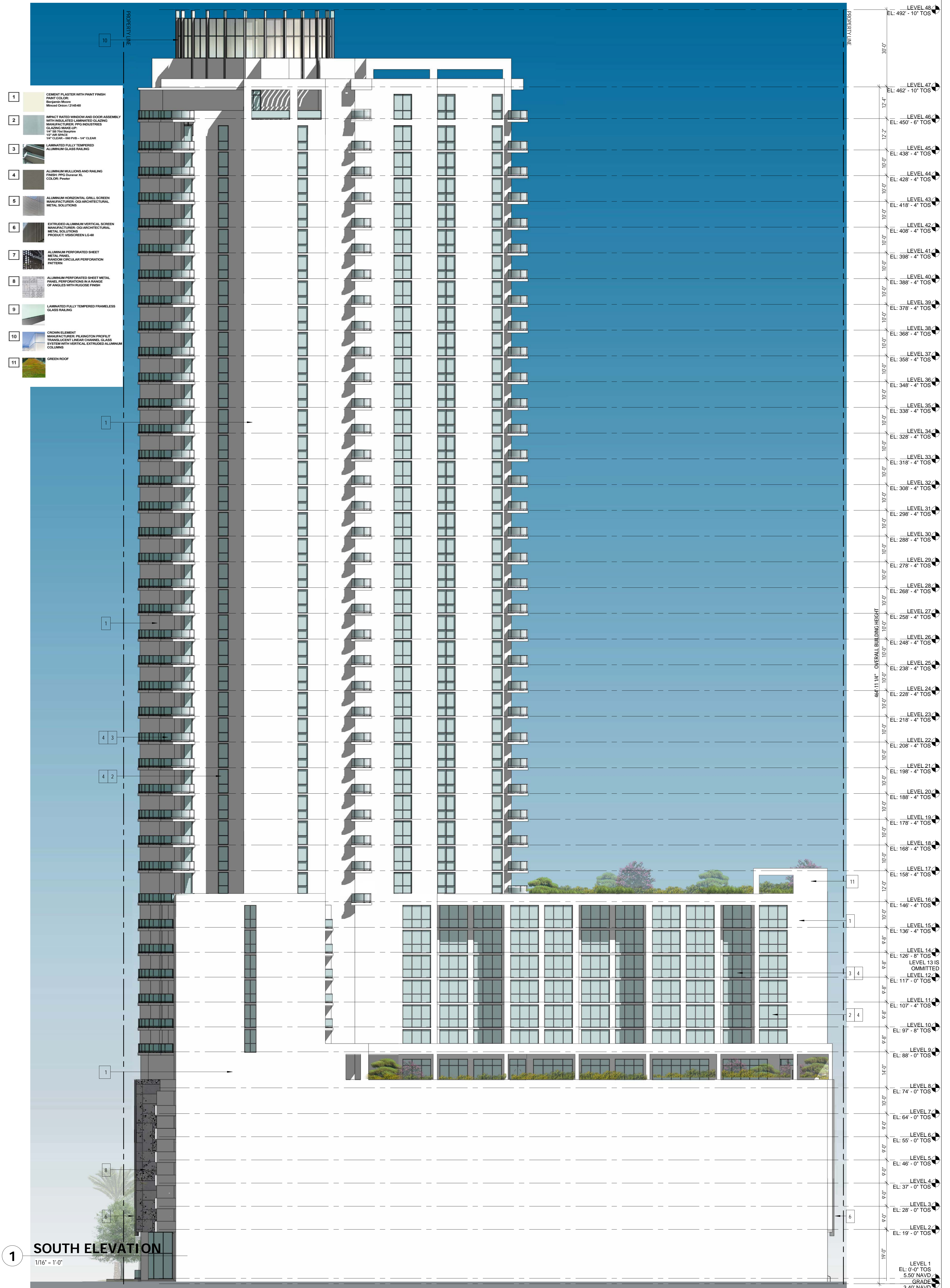
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**1 SOUTH ELEVATION**

1/16" = 1'-0"

**A3-03**

Sheet Title

Project No. 21513  
**SOUTH ELEVATION**

No.	Description	Date
1	SITE PLAN APPLICATION	09/17/2015

Issued  
**SITE PLAN APPLICATION**

OWNER  
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120 West Palm Beach, Suite 401  
West Palm Beach, FL 33401  
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Consultant

**SB ARCHITECTS**





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ALUMINUM GLASS RAILING
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FINISH: PPG Duranar XL  
COLOR: Powder
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MANUFACTURER: DGI ARCHITECTURAL  
METAL SOLUTIONS
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**WEST ELEVATION**  
1/16" = 1'-0"

**A3-04**

WEST ELEVATION

Project No. 21513

Issued

SITE PLAN APPLICATION

No.	Description	Date
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OWNER

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Consultant

**SB ARCHITECTS**



**CITY OF FORT LAUDERDALE**

# **DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT**

**Meeting Date:** October 13, 2015

**Project Name:** KG Las Olas Land Trustee, LLC / 100 Las Olas

**Case Number:** R15048

**Request:** Site Plan Level II Review: 120 Multi-Family Units  
and 228 Hotel Rooms

**Location:** 100 E Las Olas Blvd

**Zoning:** Regional Activity Center – City Center (RAC-CC)

**Land Use:** Downtown Regional Activity Center

**Project Planner:** Randall Robinson



**Case Number: R15048**

**CASE COMMENTS:**

Please provide a response to the following:

- 1) A Notice of Proposed Construction or Alteration form (7460-1) must be filed with the FAA and a determination of no hazard to air navigation issued since the proposed building exceeds 200 feet in height. An airspace study number must be assigned to the project before requesting any preliminary sign offs. The FAA must issue a determination of no hazard to air navigation letter prior to requesting final sign off.
- 2) A second Notice of Proposed Construction or Alteration must be filed for the construction crane or equipment that will exceed the height of the building.
- 3) Please refer to the web site listed below for information regarding how to file electronically or hard copy <https://oeaaa.faa.gov/oeaaa/external/portal.jsp> The two notices should be filed with the FAA as soon as possible since it typically takes at least 60 days for the FAA to issue a determination.

**Case Number:** R15048

**CASE COMMENTS:**

NONE – Signature NOT required.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
  - a. [https://www.municode.com/library/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5<sup>th</sup> Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
  - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
  - c. [https://floridabuilding.org/dca/dca\\_fbc\\_default.aspx](https://floridabuilding.org/dca/dca_fbc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>

**Case Number:** R15048

100 Las Olas – 120 Multi-  
Family Units and 228 Hotel  
Rooms with Retail

**100 E. Las Olas Blvd.**

**CASE COMMENTS:**

**A. Please respond to Comments 1 through 36 prior to Final DRC sign off**

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or [jholguin@fortlauderdale.gov](mailto:jholguin@fortlauderdale.gov).
  - b. Coordinate all transportation related requirements with Alia Awwad, P.E. at 954-828-6078 or [aawwad@fortlauderdale.gov](mailto:aawwad@fortlauderdale.gov) and/or Eric Houston at 954-828-5216 or [ehouston@fortlauderdale.gov](mailto:ehouston@fortlauderdale.gov) with the Transportation & Mobility Department to meet the Transportation aspect of the Adequacy requirements.
  - c. Coordinate the minimum Finished Floor Elevation and site grading approval with Richard Benton – City Floodplain Manager at 954-828-6133 or [rbenton@fortlauderdale.gov](mailto:rbenton@fortlauderdale.gov); please note that additional notes may be required on the Site Data table.
2. Obtain approval from the Florida Department of Transportation (FDOT) for the Strategic Intermodal System (SIS) Program. The site plan shall be reviewed and approved by FDOT. Please contact Ms. Tammy Campbell at 954-777-4668 ([tammy.campbell@dot.state.fl.us](mailto:tammy.campbell@dot.state.fl.us)) to inquire whether the SIS approval is required for the proposed development.
3. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at 954-357-6695.
4. Provide a Traffic Impact Study, in accordance with ULDR Section 47-25.2.m.4, may be required to ascertain whether the proposed development will have an adverse impact (congestion & potential safety concerns) on the surrounding and supporting transportation infrastructure. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. 954-828-6078 or [aawwad@fortlauderdale.gov](mailto:aawwad@fortlauderdale.gov) and/or Eric Houston 954-828-5216 or [ehouston@fortlauderdale.gov](mailto:ehouston@fortlauderdale.gov).
5. Provide full-size legible survey for review and describe disposition of '10' FP&L Easement', 'Partial Traffic Control Easement Vacation', 'Non-Vehicular Access Line', and 'Center Line Opening in the Non-Vehicular Access Line'. Discuss platted 'Non-Vehicular Access Line' along S.E. 1<sup>st</sup> Avenue and S.E. 2<sup>nd</sup> Avenue ingress/egress, and if plat needs revision to coordinate with proposed site plan.
6. Coordinate with proposed WAVE trolley project, which is currently in design development, for proposed utility connections in E. Las Olas Boulevard, proposed track alignment on south (eastbound) side, and possibility of raising roadway grade.
7. Sheet A3-04 shows proposed canopies and portion of the building that encroaches into public Right-of-Way. Please be advised that any permanent encroachment into the City's Right-of-Way, including but not limited

to building overhangs, signage, lighting, landscaping, special paving and stormwater improvements, requires a separate Design Review Committee (DRC) submittal and a Revocable License. Future coordination with the City's Legal Department will be needed to coordinate the proper requirements and conditions.

8. Delete 'Valet' from proposed 'Valet Drop-Off Zone' shown and labeled on the west side of S.E. 2<sup>nd</sup> Avenue, adjacent to the proposed development, and stripe on-street parallel parking stalls per City standards.
9. Discuss if pedestrian lighting is proposed, or if not, discuss the possibility of the addition of pedestrian lighting along S.E. 1<sup>st</sup> Avenue, E. Las Olas Boulevard, and S.E. 2<sup>nd</sup> Avenue. Please contact the Case Planner for details to match the area.
10. Show and label sight triangles as appropriate (per ULDR Section 47-2.2.Q), for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets (measured from pavement edges), alleys with alleys (measured from property lines extended), alleys with streets (measured from property lines extended), and streets with streets (measured from property lines extended). 25' sight triangles missing for S.E. 1<sup>st</sup> Avenue & E. Las Olas Boulevard (southeast corner) and E. Las Olas Boulevard & S.E. 2<sup>nd</sup> Avenue (southwest corner) intersections; 10' sight triangles missing for proposed driveway approaches to S.E. 1<sup>st</sup> Avenue and S.E. 2<sup>nd</sup> Avenue.
11. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35. Shift proposed bicycle rack out of the 25' sight triangle shown in the southeast corner of E. Las Olas Boulevard & S.E. 1<sup>st</sup> Avenue intersection.
12. Provide and label typical roadway cross-sections, adjacent to the proposed development, for S.E. 1<sup>st</sup> Avenue and E. Las Olas Boulevard, including dimensions for existing roadway travel lane(s) and proposed sidewalk widths.
13. Discuss intent of the proposed ADA accessibility design for sidewalk improvements along S.E. 1<sup>st</sup> Avenue, E. Las Olas Boulevard, and S.E. 2<sup>nd</sup> Avenue, especially ground floor access to 100 Las Olas building in lieu of conventional ADA accessible ramps.
14. Show that the loading area can accommodate the Type II off-street loading zones per ULDR Section 47-20.2 Table 2 and Section 47-20.6. The narrative shall also include, but not be limited to, descriptions of the following: loading activities (including locations, times, and duration), hours of operation, trash disposal, security/gating, number of employees, etc.
15. Per ULDR Section 47-20.5.C.6, provide and dimension the minimum stacking distance required for driveway ingress to and egress from the proposed parking garage – a minimum 12' x 22' area for each vehicle to be accommodated for stacking. Based on the total number of on-site parking spaces proposed for this project, it appears that stacking for 5 inbound vehicles will be required. Show and label on the Site Plan.
16. Provide and dimension 4 vehicular reservoir spaces for the valet parking per Sec. 47-20.17; show and label the location of the valet parking booth. Discuss the situation with the existing valet agreement, and how accommodations will be made.
17. Show all radii for the proposed islands and pavement areas on the site plan.
18. Provide Utility Connection Plan for all franchise utilities (i.e. AT&T, Comcast, FP&L, etc.) in addition to the water and sewer connections. Discuss and provide details for the proposed 'Transformer Vault' (per Sheet A1-03); if it's for FP&L, it should typically have minimum dimensions of 20' x 30' and minimum vertical or internal building operations clearance per FP&L standards.
19. Sheets A2-02 thru A2-07 – Per section 47-20.9.A.1, sloping floor grades shall not exceed five percent (5%) for ninety degree parking.

20. Provide dimensions of the proposed driveways. Review potential to provide narrower driveways at ingress/egress points to minimize pedestrian/vehicular conflicts, with flare out internally to meet requirements of ULDR Section 47-20.11.
21. Discuss sewer demand for the proposed development (Engineer shall provide calculations), and whether the proposed 6" sewer service lateral is adequate, or if a manhole connection (instead of a wye) to the E. Las Olas Boulevard sewer main is required.
22. Provide dedicated fire service connection (not combined with domestic water service connection), per the National Fire Protection Association (NFPA) guidelines, for the proposed development. Buildings with fire pumps must have an adequate and reliable capacity and shall be of single supply as per AHJ per NFPA 24 2.3. Per NFPA 13 23.1.3.2 (2007 ed.), when a single supply serves a main less than 6 in., then it may serve both domestic and fire systems. If fire main required is larger than 6 in. must be single use and dedicated to fire service.
23. All proposed drainage pipes located within City Right-of-Way shall be Reinforced Concrete Pipe (RCP).
24. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
25. Show proposed structural soil on Landscape and Civil typical sections and details as appropriate, as well as drainage pipes required to adequately convey drainage from structural soil areas.
26. Be advised that any road cuts for utilities or curb cuts within in the City Right-Of-Way shall be restored to full lane width for 50' minimum length, per City Code of Ordinances Section 25-108.
27. Prepare a preliminary staging storage plan, which includes phasing and information regarding the site layout of the temporary construction measures; the purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses.
28. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of utilizing sustainable or low impact (cisterns, pervious pavers, etc.) uses for landscaping along the streetscape.
29. Please prepare and submit the following exhibits which clearly define the following (as applicable):
  - a. Construction Phasing Exhibit
  - b. Right-of-Way / Easement Dedication / Vacation Exhibit
  - c. Maintenance Agreement Area Exhibit
  - d. Revocable License Area Exhibit
30. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
31. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
  - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.

- b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water mains shall be constructed with DIP piping in the City Right-Of-Way.
  - c. Erosion and Sediment Control Plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
  - d. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the paving and grading plan.
  - e. Signing and Marking Plan, including the radii all landscaping and pavement areas.
32. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. **Any site that goes through DRC must store at least the 25-year 3-day event onsite with NO EXCEPTIONS.** In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's Right-of-Way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
33. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
34. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons" and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
35. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
36. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at [rjohnson@fortlauderdale.gov](mailto:rjohnson@fortlauderdale.gov) or 954-828-7809.

**B. Respond to Comments 37 through 49 prior to Engineering Permit Approval**

37. Submit the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.
38. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a Maintenance Declaration shall be executed with the City acknowledging that the Applicant will maintain all improvements in the City Right-Of-Way, including but not limited to lighting, landscaping, special paving and stormwater improvements.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.

39. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at 954-357-6632 or [ekalus@broward.org](mailto:ekalus@broward.org) at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dougniaux with the Broward County Transit Division at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
40. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
41. Route and obtain approval from Broward County Traffic Engineering Division on pavement marking and striping plans within City Right-of-Way.
42. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
43. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
  - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
    1. Include a narrative for each phase along with roadways utilized for materials delivery
    2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
    3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
    4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
    5. Show location and type of construction crane(s), including span radius
    6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes
    7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
    8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
    9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
    10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
    11. Show location of parking for inspectors and construction personnel. Include all off site parking-location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
    12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street

13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
  14. Indicate where and how concrete trucks will stage during multiple yardage pours
  15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
  16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
  17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
  18. Indicate schedule for street sweeping of periphery of construction site
  19. Indicate if dewatering is proposed.
- 
44. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham ([dvanlandingham@broward.org](mailto:dvanlandingham@broward.org) or 954-519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at [http://www.broward.org/pprd/cs\\_dewatering.htm](http://www.broward.org/pprd/cs_dewatering.htm).
  45. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg ([smemberg@sfwmd.gov](mailto:smemberg@sfwmd.gov)).
  46. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
  47. Please note that any lighting within the City's Right-of-Way, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a Revocable License agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in or near the Right-of-Way. Please contact the Facilities Maintenance office, David Smith at 954-828-6560, for information concerning the lighting within the City's Right-Of-Way.
  48. Obtain a franchise utility engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
  49. Please discuss with City Public Works Department - Utilities, Rick Johnson at 954-828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.



**Case Number: R15048**

**CASE COMMENTS:**

Please provide a response to the following:

1. Provide a water supply for fire pump that conforms to FBC 403.3.2. Two connections.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. No comment

Please consider the following prior to submittal for Building Permit:

1. Must conform to FBC section 403 for high rise buildings.
2. Number of sprinkler risers must conform to FBC 403.3.1

**Case Number: R15048**

**CASE COMMENTS:**

Please provide a response to the following:

1. Per 47-25.2. B. *Communications network*. Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.

This project will require a Bi-Directional Amplifier (BDA) system to address police and fire radio communications throughout the structures within this proposal. It is anticipated that signal levels within the development area will not be adequate to support our public safety users without the use of the BDA system. The BDA network shall encompass all of the structure areas within this development proposal with special emphasis on the Fire Command Room and stairwells. The BDA system installation shall be designed to prevent undesired signal leakage outside the building.

The City has a general BDA specification available that provides guidance to a qualified radio communications vendor. This document is available from Gary Gray, Assistant Telecommunications Manager/Radio Systems Manager. He may be contacted via e-mail at [ggray@fortlauderdale.gov](mailto:ggray@fortlauderdale.gov) or by telephone at (954) 828-5762.

2. Good engineering practices must be observed in order to prevent interference between the BDA system within this development proposal and those that may be in neighboring buildings.

3. A complete engineering evaluation and design will be required. The entire BDA system shall meet the requirements set forth in the NFPA 2010 Regulations including system status alarm annunciation in the Fire Command Room and the associated connectivity to the Fire Alarm Panel. Battery back-up duration shall be 12 hours. Power to the BDA system shall be provided by a dedicated 20 amp circuit fed through the back-up generator system.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. Identify if low E windows are planned for this project. Low E windows typically reduce the ability for radio signals to pass through the glass. Their use will increase the probability that the BDA system will be required on the higher floors of the structure.
2. Please identify and provide contact information for the contractor chosen to determine if the BDA system will be required.
3. BDA contractor shall provide signal strength calculations showing signal strengths expected within the completed building.

Please consider the following prior to submittal for Building Permit:

1. Complete BDA system design plans will be required a minimum of two weeks prior to submitting for a permit. The design plans shall show signal strengths both before and after BDA installation and the proposed system design with equipment list. Cable loss factors and signal strengths provided at each distribution antenna shall be notated on the BDA system design drawings. These plans shall be submitted to the Telecommunications Section for approval prior to issuance of a permit.

**Case Number: R15048**

**CASE COMMENTS:**

Please provide a response to the following:

1. The Wave's overhead catenary system (OCS) appears to be in conflict with the proposed trees. These four poles are located along the curb and appear to be in the same area as proposed trees. Please coordinate the locations of the street trees and the OCS.
2. Illustrate location of structural soil on landscape plans, civil plans and site plans.
3. Update structural soil detail.
4. In lieu of tree grates, the City of Fort Lauderdale prefers the use of a cold applied, poured in place tree grate system that is designed to bind a selection of decorative aggregates, which provide a bonded, walkable, attractive and porous surface for tree pit such as ADDAPAVE TP, etc.

Please consider the following prior to submittal for Building Permit:

5. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
6. A separate sub-permit application for General Landscaping is required at time of master permit submittal.

**Case Number: R15048**

**CASE COMMENTS:**

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Downtown Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination of consistency with the City's Comprehensive Plan Goals, Objectives and Policies.
- 3) The proposal is within the boundaries of a Florida Quality Development (FQD). Confirm the project meets any requirements of the FQD.
- 4) As this application requests dwelling units in the Downtown RAC, the proposed project requires a minimum 30-day review period by the City Commission or review and approval by the City Commission. In the case of the latter, a separate submittal is required for City Commission review, and the applicant is responsible for all public notice requirements (Sec. 47-27). Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. *Power Point*, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information (954-828-5265).
- 5) Verify that copy of plat is the most current recorded plat, including notes and amendments, for the proposed site. Provide documentation from the Broward County Planning Council verifying that the site does not require platting or replatting. If replatting or platting is not required, contact the Development Review Services Section of the Planning and Environmental Regulation Division of Broward County at (954) 357-6637 to ensure that proposed project is consistent with the latest recorded plat restriction.
- 6) Attach all narratives provided to City Commission and Final DRC sets.
- 7) Discuss and provide responses and/or make site plan revisions to address the Design Review Team (DRT) comments.
- 8) Provide close up details, sections and photographs of garage screening materials. Revise renderings to more accurately reflect parking garage cladding materials.
- 9) Provide green screen on exposed portion of south façade of parking garage. Discuss the transition between the proposed development and the neighboring building.
- 10) In order to break up length of building and more directly address Las Olas Boulevard, provide building entrance at midblock.
- 11) As this proposal is in the urban core where pedestrian traffic will be heaviest the sidewalk design should be simplified to allow for the greatest effective width and ease of movement. Remove groundcovers and shrubs and straighten the meandering sidewalk in favor of a simple, rectilinear plan in keeping with the established design across the street. Coordinate the design with Transportation and Mobility, the landscape representative and the project planner.
- 12) As the Wave streetcar will run along Las Olas Boulevard in front of project, street trees need to be moved back from curb to accommodate streetcar infrastructure. Coordinate location of trees with Transportation and Mobility (TAM) Department) as well as the landscape representative.

- 13) Where structured parking must be exposed to the street, exceptionally creative solutions should be explored. Consider use of sustainable green elements to help mitigate the parking structure mass.
- 14) Consider new FEMA flood regulations when designing how the building shapes the public realm. Transition between indoors and out should feel as seamless as possible. Discuss alternatives to the current design to help address this issue.
- 15) Discuss A.D.A. access with the building services representative.
- 16) Towers over 37 stories in height are encouraged to contribute to the skyline through architecturally expressive 'tops'. Examples of design approaches include but are not limited to: Sculpted roof forms, terracing of uppermost levels, vertically expressive roof forms, unusually shaped roof forms, innovative 'green' elements, special materials and lighting Integrated with the architecture of the building, and public uses and viewing decks at upper levels.
- 17) 100 Las Olas should be designed to contribute to the overall skyline composition of Fort Lauderdale. Views of the skyline from various angles and locations should be studied in skyline renderings. As the site is in a key location, it should have architectural/sculptural elements designed to be seen from the appropriate distances.
- 18) In order to most effectively animate pedestrian environment, ensure ground floor windows are of clearest glass allowed by Building Code.
- 19) Discuss any parking agreements with Las Olas River House along with a narrative explanation of how the parking will work in conjunction with the neighboring building while accommodating the needs for the development site.
- 20) Provide a narrative that addresses how the development of 100 Las Olas contribute to the completion of SE 2<sup>nd</sup> Avenue between Las Olas Boulevard and Riverwalk.
- 21) Provide signage plan. Note that signage is approved under a separate permit.
- 22) Confirm roof plan shows location of all mechanical equipment and includes spot elevations of all mechanical equipment to verify proposed screening adequately shields all equipment from view. In addition, indicate all mechanical equipment within the subject site on the site plan and elevations where applicable.
- 23) Pursuant to ULDR Sec. 47-22.4.C.8, provide a master sign plan detailing the information below. Please note, any proposed signs will require a separate permit application:
  - a. Location and orientation of all proposed signage;
  - b. Dimensions of any proposed signage (height, width, depth, etc.);
  - c. Proposed sign copy; and
  - d. Proposed colors and materials.
- 24) It is recommended the following pedestrian and bicycle-related comments be addressed:
  - a. Per Sec. 47-25.2.M.6. (Adequacy requirements / Transportation / Pedestrian facilities): Sidewalks pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties.
  - b. Consider installation of a B-cycle bike-sharing station as an amenity for residents. Contact Bob Burns, President, B-cycle, 940-478-2191, [bburns@bcycle.com](mailto:bburns@bcycle.com).
  - c. Label all proposed pedestrian access/circulation areas: sidewalks, paths, crosswalks etc. (including width) to/from and within the site.
  - d. Site plan design indicates pedestrian/vehicle conflict areas. Accommodate safe pedestrian access, particular to/from public sidewalks, vehicle parking areas and building entrances.
  - e. Provide bicycle parking, for both residents and visitors, in visible, well-lit areas as close as possible to pedestrian entryways/doors. In addition where possible, locate bicycle parking facilities in an area that is sheltered/covered.
  - f. Provide bike storage lockers with air pumps for residents. Send email to [Karen Mendrala at kmendrala@fortlauderdale.gov](mailto:kmendrala@fortlauderdale.gov) for information on bicycle parking standards and to obtain a copy of the Assoc. of Pedestrian and Bicycle Professionals [APBP] Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facility Guide.

- 25) Consider employing green building practices throughout the project including, but not limited to electric vehicle charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs. At DRC Meeting discuss “Sustainable Design Approach.”
- 26) Extend values on photometric plans to all property lines. Show values as pursuant to *Sec. 47-25.3.A.3.a* and *47-20.14*. Indicate lighting poles on site plan and landscape plan, and provide dimensions and detail. Garage internal lighting fixtures and glare cannot be visible from neighboring properties.
- 27) Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground provide documentation from FP&L indicating such.
- 28) Please be aware the proposed development may be required to meet the elevation standards of the American Society of Civil Engineers/Structural Engineering Institute (ASCE/SEI) for Design Flood Elevation (DFE) and in conformance with Section 1612.4, *Design and Construction* of the Florida Building Code. All applicants are encouraged to discuss these requirements in detail with the City’s Chief Building Official or his/her designee. Prior to Final DRC sign-off, applicant is required to submit two signed/sealed originals of the “Flood Zone Data” form along with all other submittal requirements.
- 29) This project is subject to the requirements of Broward County Public School Concurrency. The City will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board must be provided to the project planner. In addition, no residential development application shall receive final DRC approval without proof and confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied.
- 30) The City’s Comprehensive Plan and ULDR, in compliance with state concurrency laws, requires developments that may impact mass transit services to be evaluated by the provider of those services. The applicant is advised to meet with Broward County Transit to verify availability of service, or to obtain information on any needed enhancements to assure service. Contact Noemi Hew, Broward County Transit at 954-357-8380, and provide documentation of the result of this consultation.
- 31) Due to its proposed height, this application is pending FAA approval. In regard to physical, communication, and radar obstructions, the FAA requires a review for interference by the proposed construction. Provide a letter from the FAA indicating that such review has been performed. FAA approval must be obtained prior to Final-DRC sign-off unless otherwise deemed unnecessary by the City Airport Manager or designee.

#### General Comments

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

- 32) All construction activity must comply with *Sec. 24-11*, Construction sites. Contact John Madden, Chief Building Inspector, at 828-5255 to obtain his signature on the final DRC plans.
- 33) Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: [http://ci.ftlaud.fl.us/building\\_services/park\\_impact\\_fee\\_calc.htm](http://ci.ftlaud.fl.us/building_services/park_impact_fee_calc.htm).
- 34) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner (954-828-5265) to review project revisions and/or to obtain a signature routing stamp.
- 35) Provide a written response to all DRC comments within 180 days.

Please consider the following prior to submittal for Building Permit:

- 36) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on an additional site plan, to avoid additional review in the future. Ensure details and location receives approval from the Building Service Department's DRC Representative.

# CITY OF FORT LAUDERDALE DOWNTOWN MASTER PLAN DESIGN GUIDELINES

## Design Review Team (DRT) Comments

<b>Case Number:</b>	DRT 15009	<b>Zoning District:</b>	RAC-CC
<b>Project Name:</b>	100 Las Olas	<b>Character Area:</b>	Downtown Core
<b>Project Address:</b>	100 E. Las Olas Blvd.	<b>Date of Review:</b>	10.2.15

<b>PRINCIPLES OF STREET DESIGN</b>	Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
S1 Maintain fine-grained street grid: discourage vacations.	√			
S2 Utilize Traffic Calming rather than blocking streets.			√	
S3 Maximize on-street parking except on major arterials.			√	
S4 Provide adequate bike lanes in a planned network (next to on street parking: 5ft; next to travel lane: 4ft).			√	
S5 Maximize street trees on all Downtown Streets.	√			
S6 Encourage location of primary row of street trees between sidewalk and street.	√			
S7 Maximum spacing for street trees: Palms -22ft.; Shade trees - 30 ft.	√			
S8 Minimum horizontal clearance (from building face) for trees: Palms - 6ft; Shade trees - 12ft. <b><i>Wave streetcar infrastructure will be placed on Las Olas Blvd., which may cause a conflict with the typical street cross section as indicated in the Downtown Masterplan in regards to shade tree placement, coordinate placement of street trees with Transportation and Mobility Department. Coordinate tree species with Landscape representative.</i></b>				√
S9 Encourage shade trees along streets, palm trees to mark intersections.	√			
S10 Eliminate County "corner chord" requirement not compatible with urban areas.			√	
S11 Encourage curb radius reduction to a preferred maximum 15ft; 20ft for major arterials. <b><i>Does not comply at corner of Las Olas and SE 2<sup>nd</sup> Ave.</i></b>		√		
S12 Discourage curb cuts on "primary" streets.	√			
S13 Encourage reduced lane widths on all streets. <b><i>Coordinate with Transportation and Mobility Department.</i></b>				√
S14 Encourage reduced design speeds on all RAC streets (15 - 40 mph).			√	
S15 Encourage fixed Rights-of-Way and setbacks for all Downtown streets (to eliminate uncoordinated City setback and County easement requirements). Note: Downtown local streets have varying ROW's and section design may need to be flexible to respond to the specific ROW conditions.	√			
S16 Bury all power lines in the Downtown Area. <b><i>Provide Documentation.</i></b>				√
<b>PRINCIPLES OF BUILDING DESIGN</b>	Meets Intent	Doesn't Meet Intent	N/A	More Information Needed



B1	Framing the street: building “streetwall” should generally meet setback line (within a percentage).	√			
B2	Framing the street: encourage open space site requirements for use as pedestrian public space instead of unusable, leftover ‘green perimeter’.	√			
B3	Framing the street: minimum and maximum building ‘streetwall’ heights (see character area guidelines for specifics).	√			
B4	Framing the street: encourage maximum building ‘streetwall’ length of 300ft.	√			
B5	Preferred maximum ‘floorplate’ area for towers (see character area guidelines for specifics).	√			
B6	Where towers are located on Primary (>60ft wide) and Secondary (< or = 60ft wide) Streets, the towers are encouraged to orient towards the Primary Street.				√
B7	Where towers are located on streets < or = 60ft, increased setbacks from the ‘shoulder’ are encouraged to reduce the impact on the street.				√
B8	Surface parking: discourage frontage and access along ‘primary’ street.				√
B9	Parking garages: encourage access from secondary streets and alleys.	√			
	Encourage street level activities and minimize visual exposure of parking, with active space on the ground floor of a parking garage.	√			
	Upper floors of a parking garage should not be visible along primary streets, waterways, and parks. Active spaces on the upper floors are encouraged as a preferred design.				√
B10	Encourage main pedestrian entrance to face street. <b>Provide mid-block entrance to building on Las Olas Blvd.</b>				√
B11	Maximize active uses and ‘extroverted’ ground floors with retail in strategic locations. <b>Provide more access points to ground level terrace from sidewalk to break up monotony of continuous wall.</b>				√
B12	Encourage pedestrian shading devices of various types.	√			
B13	Encourage balconies and bay windows to animate residential building facades.	√			
B14	In residential buildings encourage individual entrances to ground floor units (particularly in the Urban Neighborhood Character Area).				√
B15	High rises to maximize active lower floor uses and pedestrian-oriented design at ground floor. <b>Provide mid-block entrance to building on Las Olas Blvd.</b> <b>Provide more access points to ground level terrace from sidewalk to break up monotony of continuous wall.</b>				√
B16	Building Design guidelines do not apply to Civic Buildings and Cultural Facilities.				√

B17	Discourage development above right-of-way (air rights).			√	
B18	Mitigate light pollution.	√			
B19	Mitigate noise pollution.			√	
B20	Vertical open space between towers on adjacent lots: Towers are encouraged to maintain vertical open space along side and rear lot lines: minimum horizontal distance of 30 ft (abutting property owners can coordinate tower placement as long as maintain 60 ft clearance). <b>Provide distance dimension between Las Olas Riverhouse and 100 Las Olas.</b>				√
B21	Vertical open space between multiple towers on a single development site: no less than 60 ft apart.			√	
B22	Residential: Encourage minimum ground floor elevation of 2 ft above public sidewalk level for individual ground floor entrances to private units.			√	
B23	Avoid drive thrus in the wrong places.			√	
B24	The Fifth Façade: Encourage green roofs as visual amenities that provide a combination of usable, landscaped spaces (recreation & open space benefits) and sustainable roof treatments (environmental benefits).	√			
<b>QUALITY OF ARCHITECTURE</b>		<b>Meets Intent</b>	<b>Doesn't Meet Intent</b>	<b>N/A</b>	<b>More Information Needed</b>
Q1	Skyline Drama: Encourage towers to contribute to the overall skyline composition. <b>100 Las Olas should be designed to contribute to the overall skyline composition of Fort Lauderdale. Views of the skyline from various angles and locations should be studied in skyline renderings. As the site is in a key location, the tower should have architectural/sculptural elements designed to be seen from the appropriate distances. A gradual progression between tower and finial should be explored. Provide renderings of skyline, with 100 Las Olas inserted, as viewed from ground level from north, south, east and west.</b>		√		
Q2	Expressive Tops: Encourage expressive tops for tall buildings above 37 stories in Near Downtown and Downtown Core. <b>Towers over 37 stories in height are encouraged to contribute to the skyline through architecturally expressive 'tops'. Examples of design approaches include but are not limited to: sculpted roof forms, terracing of uppermost levels, vertically expressive roof forms, unusually shaped roof forms, innovative 'green' elements, special materials and lighting Integrated with the architecture of the building, and public uses and viewing decks at upper levels.</b>		√		
Q3	Durability and Quality of Materials: Encourage high quality materials for the entire building, with special emphasis on detailing and durability for the first 2 floors. <b>Provide photographic details.</b>				√
Q4	Respect for Historic Buildings.			√	
Q5	Parking Podium Façades: Where structured parking must be exposed to the street, exceptionally creative solutions should be explored. <b>Provide section details of garage screening. Consider ambient lighting behind screening.</b>				√
Q6	Response to Natural Environment: Encourage architecture to respond to the unique nature of the south Florida environment (solar orientation,				√

	wind direction, rain). Examples: Open breezeway corridors oriented toward prevailing winds; energy efficient glazing; above ground stormwater capture and re-use through bio-swales and rain gardens; solar roof panes/awnings. <b>Provide detailed explanation as to how project responds to natural environment. Incorporate sustainable elements on green roof.</b>				
Q7	Creative Façade Composition: Encourage a rich layering of architectural elements throughout the building, with special attention to facades below the shoulder level. <b>In order to enrich composition of the base, provide mid-block entrance to building on Las Olas Blvd. Add more access points to ground level terrace from sidewalk to break up monotony of continuous wall.</b>		√		
Q8	Original, Self-Confident Design: Encourage a range of architectural styles that each create a strong identity, strive for the highest quality expression of its chosen architectural vocabulary.	√			
<b>STORE FRONTS</b>		<b>Meets Intent</b>	<b>Doesn't Meet Intent</b>	<b>N/A</b>	<b>More Information Needed</b>
SF1	Retail Location Strategy: Encourage ground floor retail in preferred locations.	√			
SF2	Encourage a combination of storefront styles and types in adjacent buildings, or within single buildings, to create variety and visual interest at the street level. <b>Allow for a variety of commercial uses along Las Olas Blvd.</b>		√		
SF3	Encourage durable materials for ground floor retail and cultural uses.	√			
SF4	Encourage 15 ft minimum floor-to-floor height and encourage interior ground floor flush with adjacent public sidewalk.	√			
SF5	Encourage significant glass coverage for transparency and views. Encourage restaurants to provide clear visual and physical connections to outdoor seating. <b>Discuss how intent is met.</b>				√
SF6	Encourage pedestrian shading devices of various types (min 5 ft depth).	√			
SF7	Encourage multi-level storefront displays to disguise unfriendly uses or blank walls.			√	
SF8	Encourage well-designed night lighting solutions. <b>Provide details of night lighting scheme. As indicated above this can be incorporated into the garage screening elements.</b>				√

CHARACTER AREAS		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
<b>Downtown Core</b>					
1A	Frame the street with appropriate streetwall heights: Shoulder: 3-9 floors, Towers: no max.			√	
1B	Signature Tower: Special architectural design encouraged for buildings over 37 floors. <b>See Q2. Improve south and east facades to create visual interest equally creative as north and west facades through use of different types of materials and articulation.</b>				√
1C	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below.	√			
Tower guidelines: <i>Non-residential:</i> preferred 32,000GSF floorplate max. <i>Residential:</i> Buildings up to 15 floors: preferred 18,000GSF floorplate max. <i>Residential:</i> Buildings over 15 floors: preferred 12,500GSF floorplate max.		√			
<b>Near Downtown</b>					
2A	Frame the street with appropriate streetwall heights: Shoulder: 3-7 floors, Non-tower option: 9 floors max with min 15ft stepback on portion over 7 floors. No max floorplate up to 9 floors.			√	
2B	Encourage maximum building height of 30 floors.			√	
2C	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below.			√	
Tower guidelines: <i>Non-residential:</i> preferred 32,000GSF floorplate max. <i>Residential:</i> Buildings up to 15 floors: preferred 18,000GSF floorplate max. <i>Residential:</i> Buildings up to 30 floors: preferred 12,500GSF floorplate max.				√	
<b>Urban Neighborhood</b>					
3A	Frame the street with appropriate streetwall heights: 2 to 6 floors.				
3B	Townhouses are a suitable option, especially on alley blocks.				
3C	Encourage neighborhood-scaled streetscapes. Building Shoulder: 2 to 6 floors				
Tower Guidelines: <i>Non-residential:</i> 8 floors max with a min 12ft stepback on portion over 6 floors: preferred 16,000 GSF floorplate max. <i>Residential:</i> 12 floors max with a min 12ft stepback on portion over 6 floors: preferred 10,000 GSF floorplate max.					

<b>TOD Guidelines</b> ( T1 Refers to Applicability to Regional Activity Center.)	Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
T2 Discourage land uses that are incompatible with transit and walkability. (Refer to Sec. 47-13, Land Development Regulations.)	√			
T3 Encourage pedestrian connections to transit stops and bike parking. <b>More information needed in coordination with Transportation and Mobility Department.</b>				√
T4 Encourage bike connections to transit stops and bike parking. <b>More information needed in coordination with Transportation and Mobility Department.</b>				
T5 Parking consistent with TOD Principles. Encourage structured parking with screening or liner building if parking provided. Surface parking should be configured into smaller lots rather than one large lot. Surface parking discouraged except pick up/drop off within 200 feet of a Gateway Hub transit station. Parking should not face onto plaza or park space of any transit station. Include parking for mopeds, scooters, motorcycles, and other similar vehicles. <b>Discuss how intent of last point is being met.</b>	√		√ √ √	√
T6 Incorporate Transportation Demand Management (TDM). Encourage carpooling or vanpooling. Encourage car or bike sharing. Offer flexible hours. Provide shared parking.				√
T7 Reduce parking to eliminate excess pavement and promote highest and best use of land within the station area. (Refer to Sec. 47-20, Land Development Regulations.)			√	
T8 Encourage green buildings, green site design and green infrastructure.				√
T9 Create attractive, active and safe multimodal systems. <b>More information needed in coordination with Transportation and Mobility Department.</b>				√
<b>COMMENTS</b>				
1 Explain how parking count was arrived at. Provide distinction between residential and hotel uses.				

**2 Note the following from the Downtown Master Plan for buildings in the Downtown Core:**

**\*SPECIAL DESIGN & DEVELOPMENT CONSIDERATIONS:**

Requirements for representation of skyline views from various viewpoints.

Participation in public initiatives: i.e. upper level public amenities, street level uses, and additional public improvements, that will benefit the development project and its environs.

Dramatic and/or elegant building form with both a compelling street and skyline presence. Consistent and integrated architectural details. High quality materials.

**3. Provide additional details of the parking garage south façade and the transition to the neighboring development.**

**Case Number:** R15048

**CASE COMMENTS:**

Please provide a response to the following:

NONE – Signature is NOT required.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Noted security features on plans.

All exterior doors and windows to be impact rates and comply with FBC 2014 requirements; All exit staircases will be egress only on the ground level without re-entry; Buildings will be fitted with intercom / video access control system at all entry/exit points, elevators, parking garage and common areas; Each residential unit will be wired for a monitored security system; All residential unit and guestroom entry doors shall be solid core, impact resistant with a deadbolt and shall be fitted with 180 degree peephole door viewers; Card access control shall be provided at all guestroom doors as well as elevator doors; All mechanical, electrical and maintenance rooms shall be provided with card access control; The interior of the parking garage will be painted with a light reflective color; Emergency communication devices shall be placed in the parking garage levels, pools and all common public areas; All pool amenity decks shall provide child safety feature and comply with Florida building code section 424 swimming pools and bathing places; Building will be provided with monitored security system and security patrol 24/7

Valet area and retail/restaurant should be included with security features.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

**Case Number:** R15048

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your complex creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. Adequate space should be provided within dumpster enclosure to accommodate wheeled recycling carts.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City
4. Service Days shall be: No restriction for Commercial collection.
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name.
6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Ensure **site plan** clearly indicates (labeled) locations of all solid waste and recycling containers and/or compactor(s) for all uses as proposed in application. **Identify containers for trash and recycling.**
8. Provide on the site plan a garbage truck turning radii for City review. Drive aisle width and design configuration must allow for safe and efficient maneuverability on-site and off-site. Indicate how truck will circulate to/from/within property.
9. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
10. Containers: must comply with 47-19.4.
11. Trash Room services will be handled by private collector, or Trash Room services will be done by on-site personnel, or Trash Room services will be done custodial staff.
12. Draw equipment on plan to show location of the containers inside the trash room. *Clarify whether uses on site will utilize compactor, carts and/or dumpster.*
13. **If applicable**, provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building.
14. Clearly label on site plan the location of enclosure(s), dumpster(s), recycling area(s), containers, etc. as applicable relating to Solid Waste / Recycling. Indicate on plans where users' accessibility is accommodated for all container areas.
15. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether is Pre or Final DRC.
  - o Letter should be created on formal letterhead describing what services are to be provided for solid waste and recycling including:
    - Type and size of containers, frequency of service, service provider if known; and
    - Any additional details such as: container type(s), on-site handling and logistics for waste and disposal, specific dimensions as needed (e.g. compactor side and height clearance for haulers' accessibility).
    - For this proposed site plan, please describe whether the accessibly gate that is garage-type (i.e. roll-up) or swing-type (i.e. open/close) gate.
  - o This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to [gmaldonado@fortlauderdale.gov](mailto:gmaldonado@fortlauderdale.gov). Letter should include an



analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.

- o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

**GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC: None

**Case Number:**

**R15048**

**CASE COMMENTS:**

1. Continue to coordinate with the Transportation and Mobility Department regarding a traffic impact study. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks.
2. Bicycle parking is strongly encouraged, covered if possible with a bike pump. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide the minimum long term and short term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet.
3. Consider implementing an onsite bike share program that can be enjoyed by residents, hotel guests, and members of the general public as well. B-share is an example of such a program.
4. Consider installing compact car parking spaces and electric car charging stations and mark on the site plan and include in the site plan data sheet.
5. Transportation Demand Management (TDM) elements such as car sharing programs is strongly preferred at this location. Consider reaching out to “Zipcar” and “Car2go” for a possible future expansion into the area. Please designate such spaces on a site plan.
6. Provide details on the proposed drive-in ratio for the hotel.
7. Please provide the total number of all on street parking spaces in the parking data table.
8. Consider reducing the dimensions of the main ingress/egress access points, including the 15’ ingress to a consistent 11’.
9. Consider using distinctive treatments for the sidewalks and the street on SE 1<sup>st</sup> Ave.
10. Please show all sidewalk dimensions including pinch points on the site plan.
11. Indicate the valet staging and stacking areas will be located on site on the site plan.
12. Identify any proposed shared parking agreements between adjacent properties and the site. Illustrate such spaces on the site plan and include the total in the parking data table.
13. Show on the site plan how hotel versus residential parking spaces will be restricted and include the totals for both in the parking data table.
14. Discuss maintenance of proposed amenities in the public ROW such as but not limited to bicycle racks.

15. Identify any proposed multimodal improvements that will be implemented such as shuttle services, and bus stop improvements.
16. Please consider providing public seating along the sidewalks, public interactive art works, as well as a bicycle pump and repair station for both public and private use along E. Las Olas Blvd.
17. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan.
18. Additional comments may be provided upon further review.
19. Signature required.

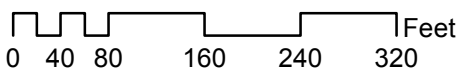
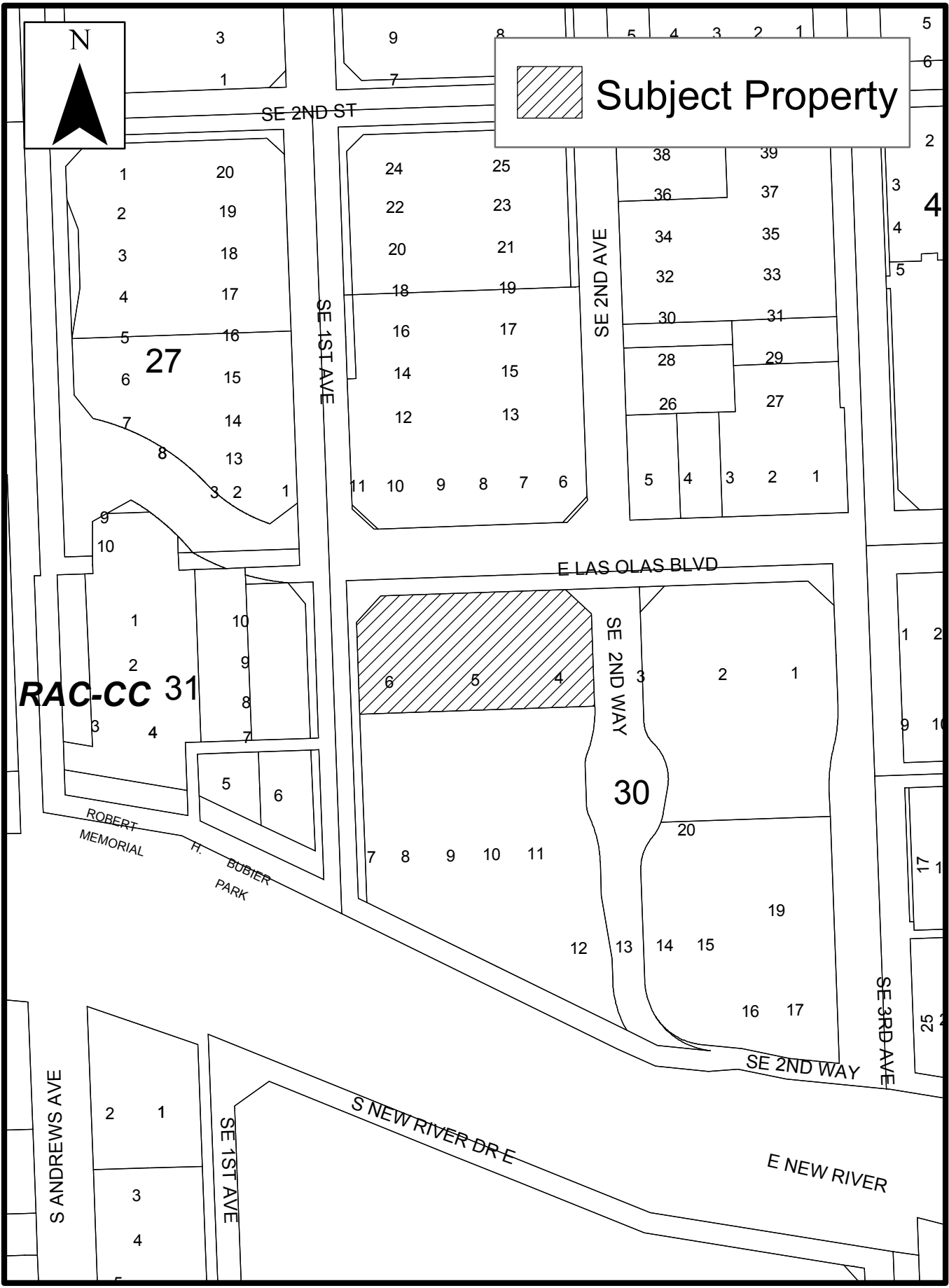
**Wave Streetcar Comments:**

20. Please coordinate with the Transportation and Mobility and Landscaping Departments in order to determine the appropriate placement and species of trees and plantings along E Las Olas Blvd. Current plans are in direct conflict with the Wave Streetcar Project's Overhead Catenary System (OCS) plans.
21. Please coordinate with Elizabeth Van Zandt [Evanzandt@fortlauderdale.gov](mailto:Evanzandt@fortlauderdale.gov) in the Transportation and Mobility Department for the possible inclusion of decorative OCS poles along the Wave route in this location.
22. Please coordinate with Transportation and Mobility and Engineering Departments; regarding utility conflicts and relocations in connection with the Wave Streetcar Project.
23. Please coordinate with Transportation and Mobility and Engineering Departments; regarding roadway/curb grade changes in connection with the Wave Streetcar Project.

**GENERAL COMMENTS:**

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or [ehouston@fortlauderdale.gov](mailto:ehouston@fortlauderdale.gov) to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



**R15048**