

Page 1: DRC Site Plan - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	
E-mail Address	
Phone Number	
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Letter of Consent Submitted	

Development / Project Name	
Development / Project Address	Existing: _____ New: _____
Legal Description	
Tax ID Folio Numbers (For all parcels in development)	4942 3A 02 0760
Request / Description of Project	
Total Estimated Cost of Project	\$ _____ (Including land costs)

Current Land Use Designation	COMMERCIAL
Proposed Land Use Designation	COMMERCIAL
Current Zoning Designation	COMMUNITY BUSINESS (CB)
Proposed Zoning Designation	COMMUNITY BUSINESS
Current Use of Property	RETAIL
Number of Residential Units	-
Non-Residential SF (and Type)	8300 SF (RETAIL)
Total Bldg. SF (include structured parking)	8300 SF
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

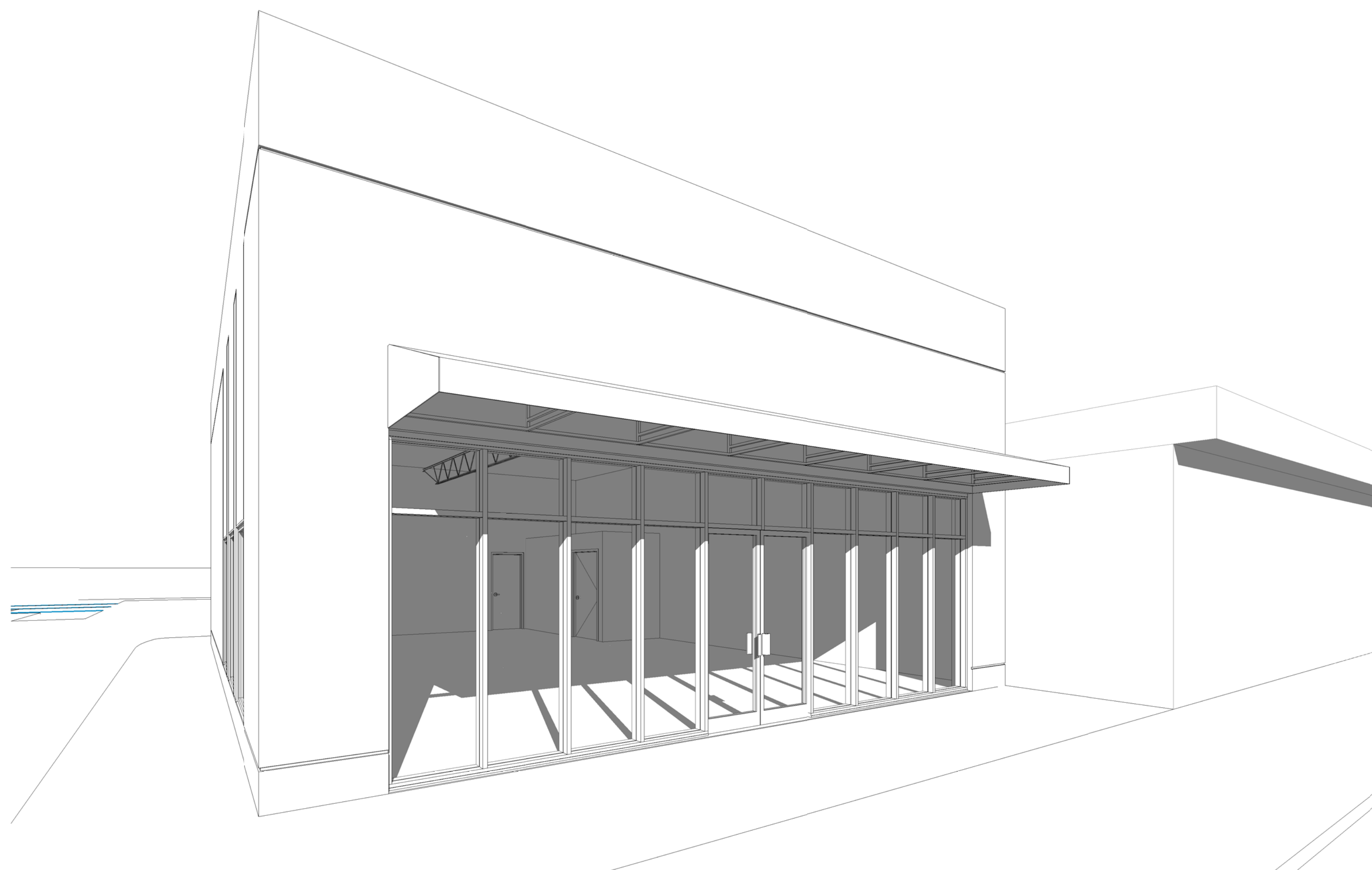
Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)		12,500 SF
Lot Density		
Lot Width		100 FT
Building Height (Feet / Levels)	150 FT (MAX)	18 FT (1 FLOOR)
Structure Length		31' 9"
Floor Area Ratio		0.20
Lot Coverage		66.4 %
Open Space		40.5 %
Landscape Area		4,198 SF (33.5%)
Parking Spaces	10	9 (SING. SPACE REDUCTION)

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front [W]	5'	5'
Side [N]	-	0
Side [S]	-	16'
Rear [E]	15'	50' 6"

CLIENT
LIPAO FLA 2 LLC

LIPAO FLA 2 LLC

1416 N.E. 4TH AVENUE
FORT LAUDERDALE, FL. 33304



PROJECT SCOPE

The scope of this project is to unify the two lots into a single property and to construct a new one-story 1,080 square foot building for commercial use. The existing one story building on the same lot is to remain as is and separate from the new building. Additionally, there will be a parking lot that will have nine spaces located at the rear of the building (with a single parking space reduction to save a large existing tree). The building and its entrance will be placed as close as possible to the street to engage pedestrians from the sidewalk, which is consistent with the contextual language of the block. The building is to be constructed as a concrete block system with a light steel roof, and the exterior will be white and gray smooth stucco and have clean modern lines. The front has a large glass store front with an entrance and an awning will face the street. Condensing unit will be placed on the roof and hidden by the parapets and a wheel-out dumpster is to be placed behind an existing structure to hide from public view. Additional landscaping will be added to meet code and to beautify the lot as well as maintain the street trees scape.

APPROVAL STAMP

SUBMITAL: SCHEMATIC DESIGN

LIPAO FLA 2 LLC

DATE

BRICKELL GROUP CONSTRUCTION

DATE

NOTES:

SHEET LIST

GENERAL	
A-000	COVER PAGE
A-001	LEGENDS & GENERAL NOTES
LANDSCAPE	
IR-100	IRRIGATION PLAN
IR-101	IRRIGATION NOTES AND DETAILS
L-100	TREE DISPOSITION PLAN
L-101	LANDSCAPE PLAN
L-102	LANDSCAPE NOTES AND DETAILS
ARCHITECTURE	
A-010	SITE & SITE DETAILS
A-100	SITE PLAN
A-101	FLOOR PLANS
A-200	ELEVATIONS

PROJECT NAME

LIPAO FLA 2 LLC

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FORT LAUDERDALE, FL. 33304

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SUBMITTAL

LEVEL-II SITE PLAN REVIEW

REVISIONS
No. Description Date

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR04861

SHEET INFORMATION
PROJECT NUMBER: 15-02057
DATE: 12/16/2015
DRAWN BY: GM, JSM
CHECKED BY: BM

SHEET NAME

COVER PAGE

12/16/2015 11:03:23 AM
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SHEET NO

A-000

CLIENT

LIPAO FLA 2 LLC

PROJECT NAME

LIPAO FLA 2 LLC

1416 N.E. 4TH AVENUE
FORT LAUDERDALE, FL. 33304

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SUBMITTAL

LEVEL-II SITE PLAN REVIEW

REVISIONS
No. Description Date

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94861

SHEET INFORMATION
Project number 15-02057
Date 12/16/2015
Drawn by GM, JSM
Checked by BM

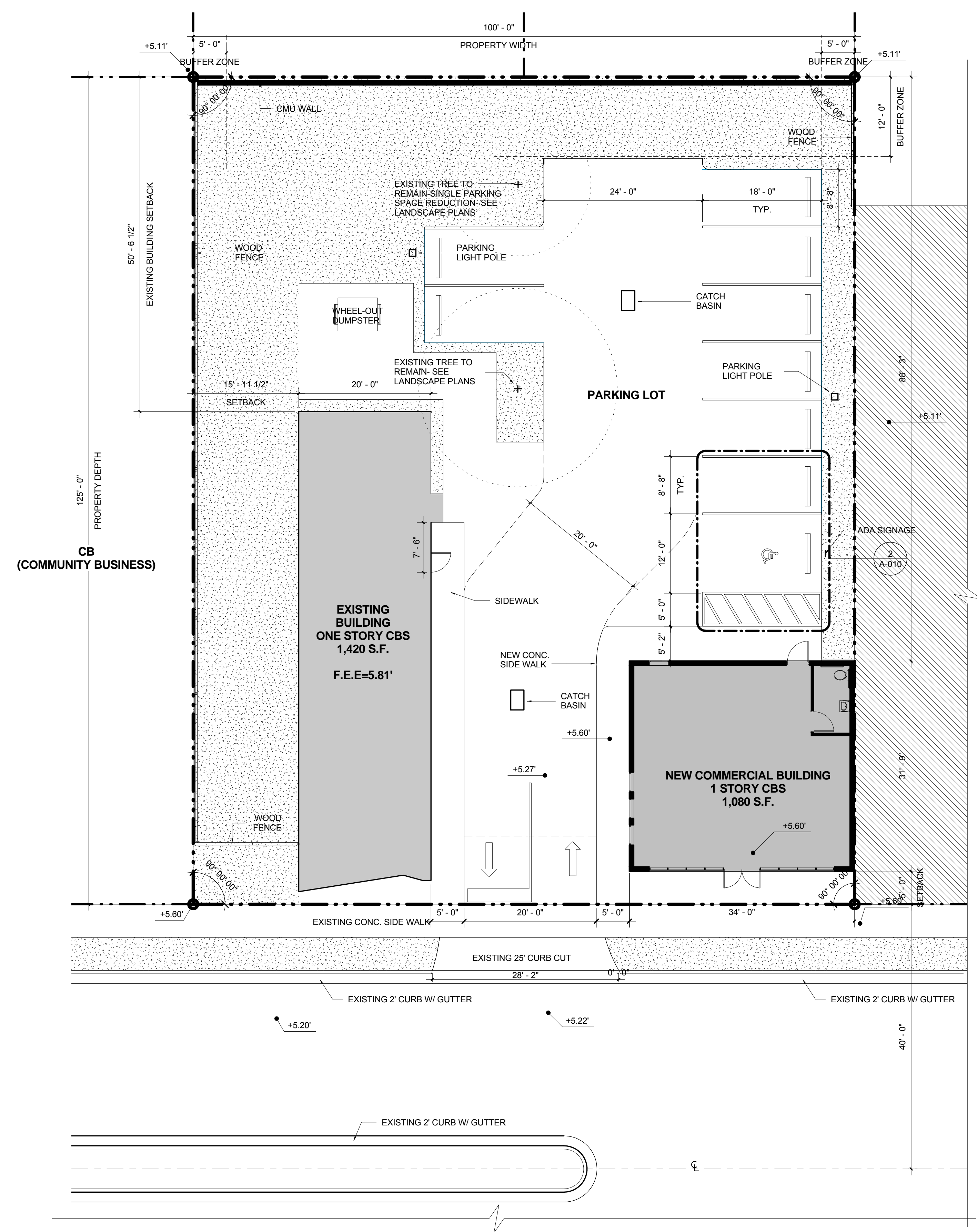
SHEET NAME

SITE PLAN

12/16/2015 11:03:36 AM

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SHEET No.

A-100



1 SITE PLAN
A-100 1" = 10'-0"

LAND USE DESIGNATION						
CURRENT USE (EXISTING)	PROPOSED USED (ADDITION)	ZONING	OCCUPANCY	CONSTRUCTION TYPE	NUMBER OF STORIES	
1	RETAIL	RETAIL	CB	RETAIL	TYPE III	1 STORY

PROPERTY DATA		
DESCRIPTION	AREA	ACRES
2.A	SITE AREA	12,500 SF 0.287 acres

SITE CALCULATIONS		
DESCRIPTION	AREA	% RATIO
EXISTING BUILDING FOOTPRINT	1,423 SF	11.39%
NEW BUILDING FOOTPRINT	1,088 SF	8.71%
DRIVEWAY / ACCESSWAY	3,357 SF	26.86%
PARKING AREA	1,557 SF	12.46%
SIDEWALK / WALKWAY	875 SF	7.00%
LANDSCAPE	4,198 SF	33.59%
	12,498 SF	100.00%

DESCRIPTION	REQUIRED	PROVIDED
3	BUILDING SETBACKS	
3.A	FRONT SETBACK	5'-00" / 5'-00"
3.B	SIDE SETBACK	0'-00" / 0'-00"
3.C	SIDE SETBACK	0'-00" / 16'-00"
3.D	REAR SETBACK	15'-00" / 50'-6 1/2"
4	MAXIMUM BUILDING HEIGHT	150'-00" / 18'-00"
5	MAX FAR	NONE / 0.20

IMPERVIOUS AREAS		
DESCRIPTION	REQUIRED	PROPOSED
6.A	EXISTING BUILDING FOOTPRINT	- / 1,423 SF
6.B	NEW BUILDING FOOTPRINT	- / 1,088 SF
6.D	DRIVEWAY / ACCESSWAY	- / 3,357 SF
6.E	PARKING AREA	- / 1,557 SF
6.F	SIDEWALK / WALKWAY	- / 875 SF
		8,300 SF

PERVIOUS AREAS		
DESCRIPTION	REQUIRED	PROPOSED
7.A	LANDSCAPE AREAS	- / 4,198 SF

OPEN SPACE		
DESCRIPTION	REQUIRED	PROPOSED
7.B	LANDSCAPE AREAS	- / 4,198 SF (33.59%)
7.C	SIDEWALK/WALKWAY	- / 875 SF (7%)
	10%	5,073 SF (40.6%)

VEHICLE USAGE AREA		
DESCRIPTION	AREA	VUA REQUIRED (20% OF GROSS)
8.A	DRIVEWAYS	2,964 SF / 593 SF
8.B	PARKING	1,557 SF / 311 SF
	4,521 SF	904 SF

VUA PROVIDED		
DESCRIPTION	AREA	
8.C	VUA AREA	1,673 SF

PARKING CALCULATION		
DESCRIPTION	AREA	PARKING SPACES REQUIRED 1/250
9.A	EXISTING BUILDING	1,420 SF / 6
9.B	NEW BUILDING	1,080 SF / 4
	2,500 SF	10

PARKING PROVIDED		
DESCRIPTION	QTY	AREA
9.C	ADA PARKING SPACE	1 / 306 SF
9.D	PARKING SPACE 8'-8"x 18'	8 / 1248 SF
		1554 SF

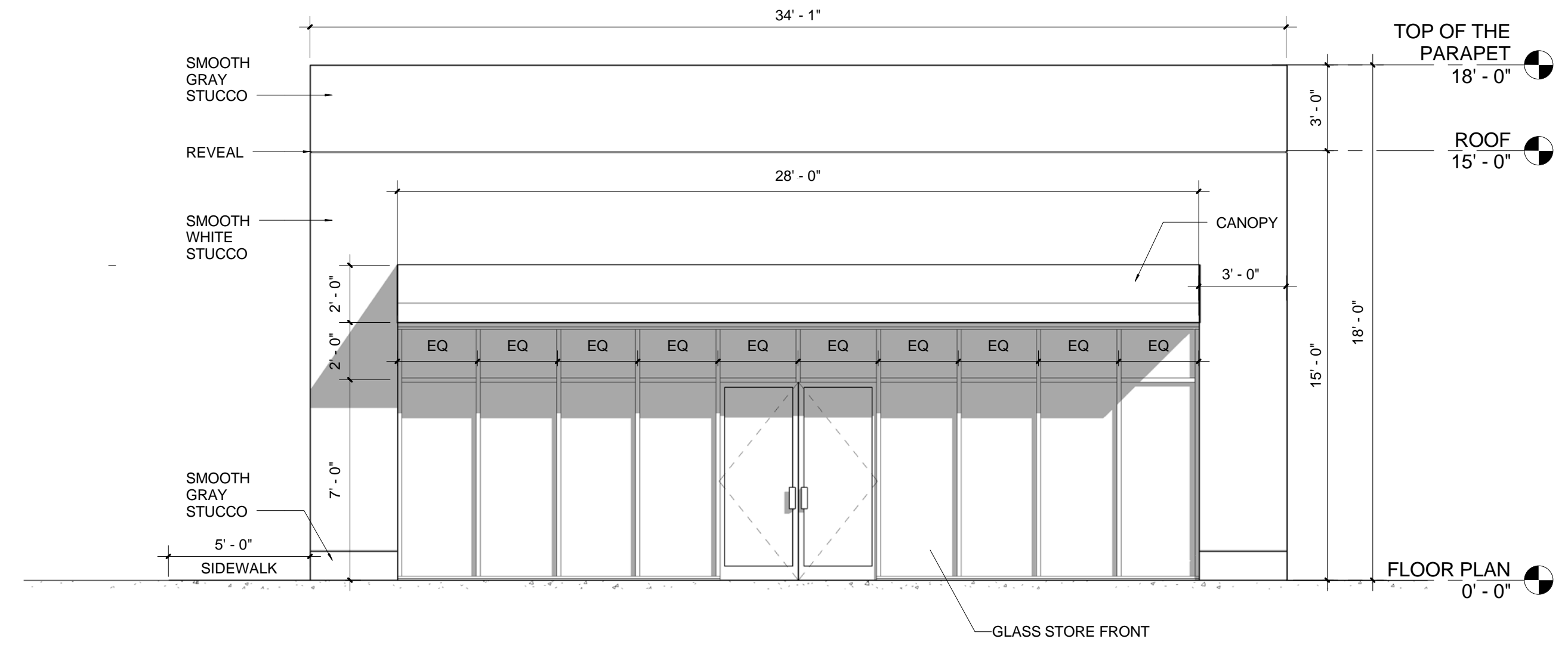
NOTE: SINGLE PARKING SPACE REDUCTION TO SAVE A LARGE EXISTING TREE.

AREA BUILDING GROSS		
BUILDING	AREA	
EXISTING BUILDING	1,420 SF	
NEW BUILDING	1,080 SF	
	2,500 SF	

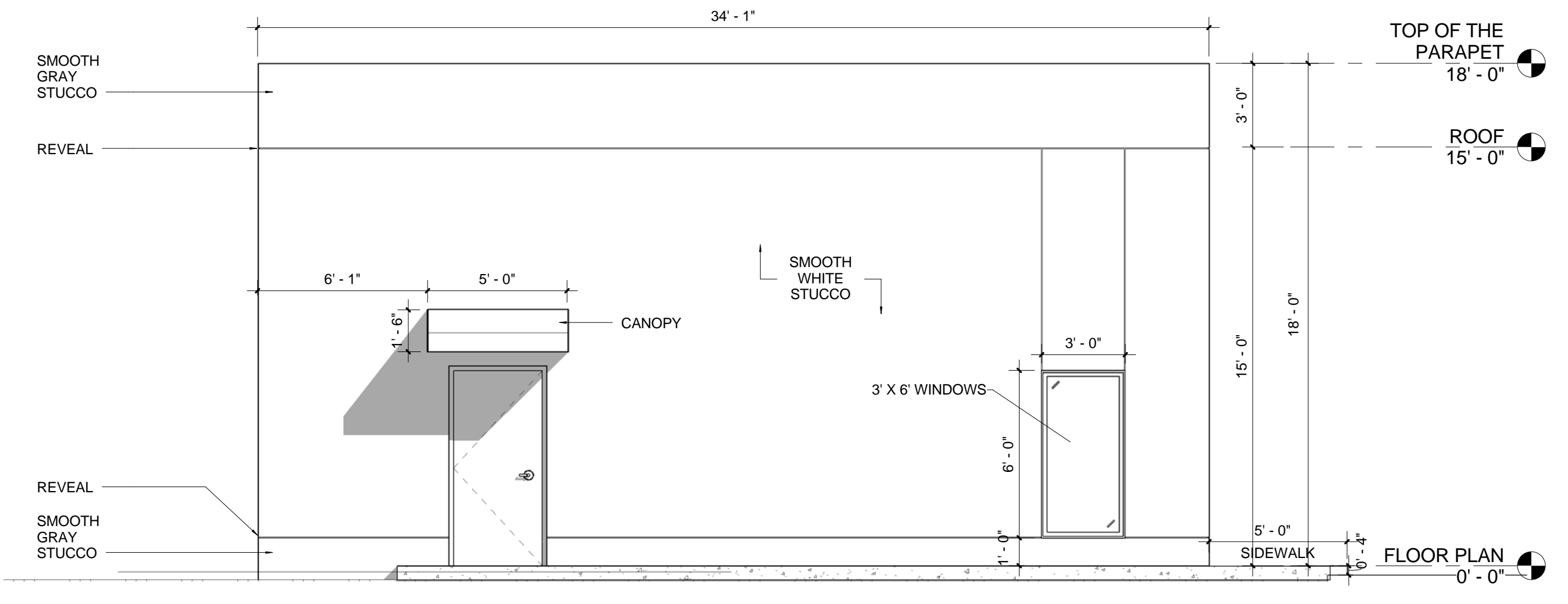
No.	Description	Date

SHEET INFORMATION

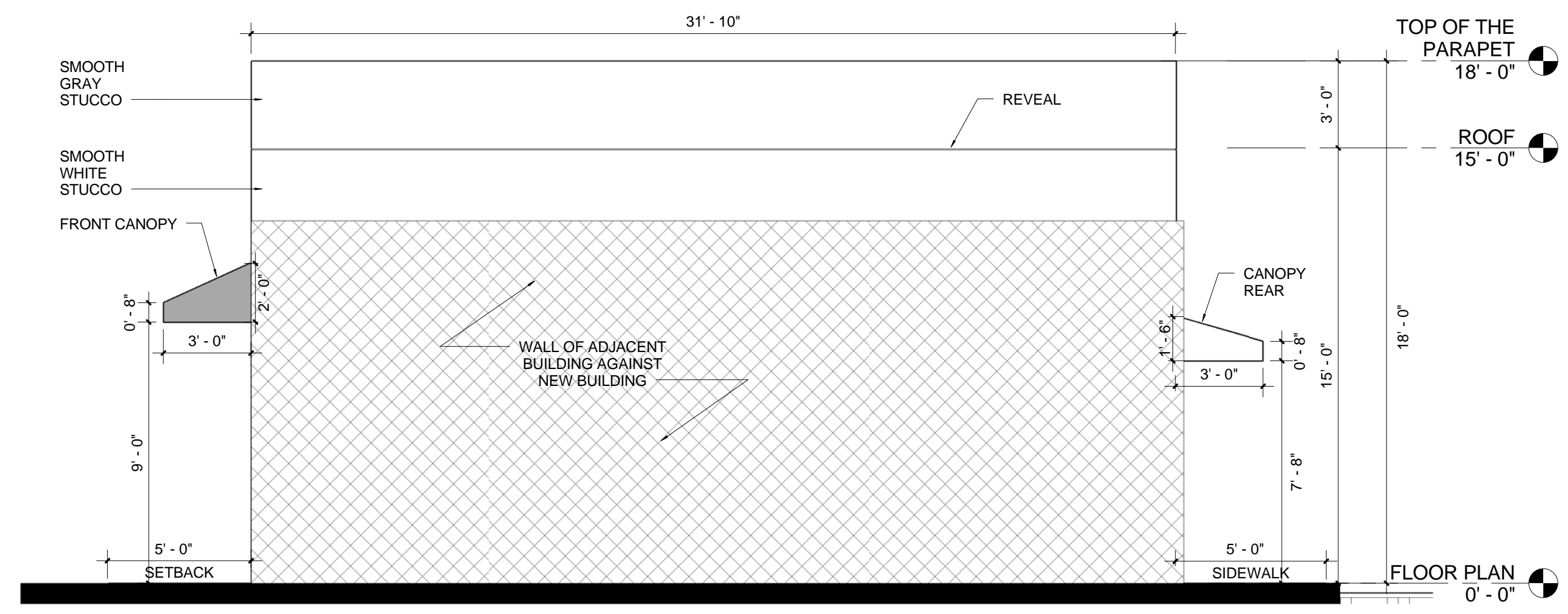
Project number	15-02057
Date	12/16/2015
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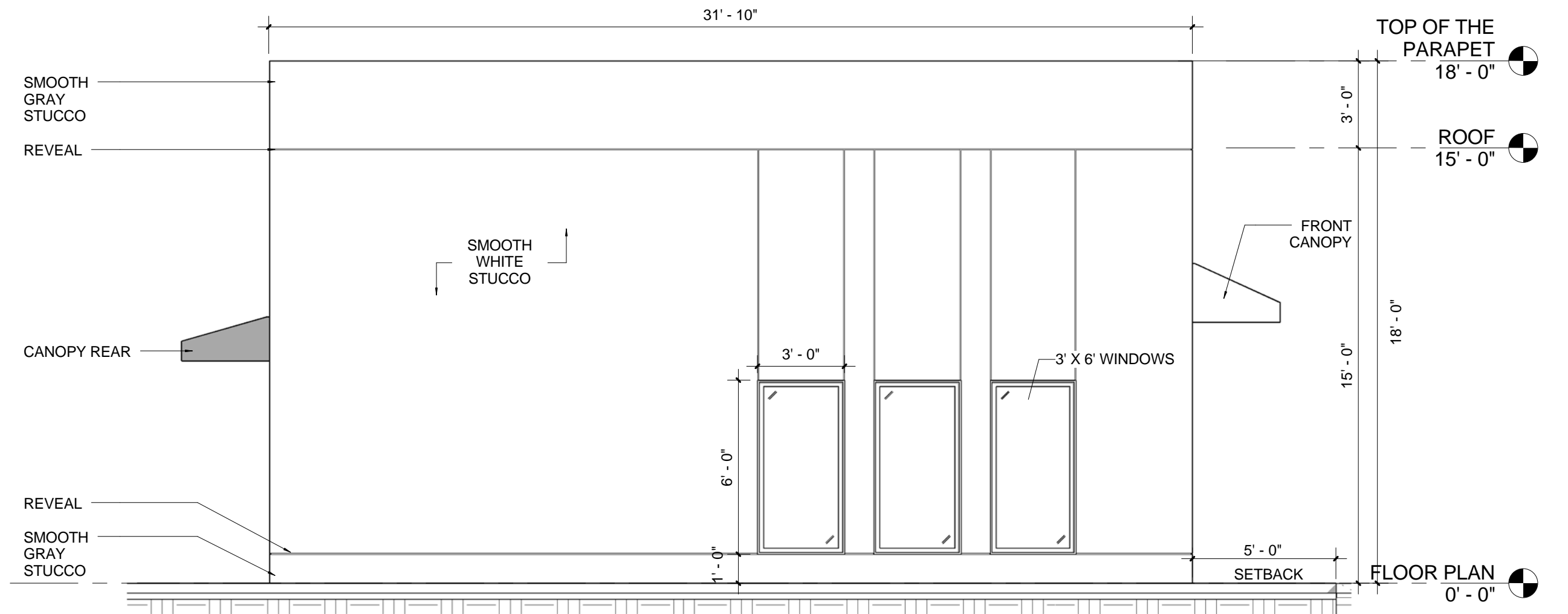
3 WEST ELEVATION
A-200 1/4" = 1'-0"



1 EAST ELEVATION
A-200 1/4" = 1'-0"



2 SOUTH ELEVATION
A-200 1/4" = 1'-0"



4 NORTH ELEVATION
A-200 1/4" = 1'-0"



CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: March 8, 2016

**Project Name: LIPAO FLA 2 LLC / 1416 NE 4th Avenue
Commercial Building**

Case Number: R16009

**Request: Site Plan Level II Review: 1080sf Commercial
Building within 100 feet of Residential Property**

**Location: 1416 NE 4th Avenue
Community Business**

Zoning: Commercial

Land Use: Commercial

Project Planner: Karlanne Grant

Case Number: R16009

CASE COMMENTS:

NONE – Signature NOT required.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. Florida Building Code Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
 - a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
 - c. https://floridabuilding.org/dca/dca_fbc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

Case Number: R16009

CASE COMMENTS:

A. Please respond to Comments 1 through 28 prior to Final DRC sign off

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Daniel Lizarazo at 954-828-6982 or dlizarazo@fortlauderdale.gov.
 - b. Coordinate all transportation related requirements with Alia Awwad, P.E. at 954-828-6078 or aawwad@fortlauderdale.gov and/or Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov with the Transportation & Mobility Department to meet the Transportation aspect of the Adequacy requirements.
 - c. Coordinate the minimum Finished Floor Elevation and site grading approval with Richard Benton – City Floodplain Manager at 954-828-6133 or RBenton@fortlauderdale.gov.
2. Please be advised that all proposed improvements within or adjacent to the Florida Department of Transportation (FDOT), Broward County (BCHECD) and City Right-of-Way are subject to issuance of a Right-of-Way permit from the authority having jurisdiction. This shall include the execution of an agreement that authorizes those entities the authority to remove improvements for any public purpose in the future.

Please coordinate and provide approval from the following agency for the improvements along:

- a. State Road 811 / N.E. 4th Avenue – Florida Department of Transportation (FDOT)
3. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
4. Topographic/Boundary Survey and Civil Plans missing; please provide for reference and review.
5. Coordinate with FDOT for reconstruction of the existing 25' curb cut, so that new curb cut is aligned with and is the same width as the proposed 20' driveway.
6. Proposed driveway approach to State Road 811 / N.E. 4th Avenue – Show and label FDOT sight triangle (per the most current FDOT Design Standards) on the Site Plan, Landscape Plans, and Civil Plans.
7. Provide pedestrian separation by labeling on-site sidewalks to be 6" higher than adjacent 20' wide driveway (both sides) and parking stalls, such that the sidewalk grading also works with the FFE of existing and proposed buildings; provide ADA Accessibility as appropriate.
8. Consider increasing on-site landscape area by reducing 18' long parking stalls to 16' and replacing concrete wheel stops with concrete curbs (but still allowing for the 2' vehicle overhang areas), and deleting the 2' to 3' additional drive aisle pavement past the last parking stall.

9. Sheet A-200: Show and label Right-of-Way boundary as appropriate on building Elevation drawings, to convey that the proposed front building canopy along N.E. 4th Avenue doesn't encroach into the Right-of-Way.
10. Show and label limits of existing canopy located on N.E. 4th Avenue side of existing building structure.
11. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets (measured from pavement edges), alleys with alleys (measured from property lines extended), alleys with streets (measured from property lines extended), and streets with streets (measured from property lines extended). Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in [ULDR Section 47-35](#).
12. Coordinate with Melissa Doyle at (954) 828-6111 or mdoyle@fortlauderdale.gov regarding dumpsters; please note that per ULDR Section 47-19.4.D.7, dumpsters serving restaurants require drains connecting to sanitary sewer.
13. Discuss how sidewalk runoff from proposed development (between building and Right-of-Way boundary) will be mitigated such that it won't be conveyed into the adjacent existing public storm drain infrastructure, or whether additional infrastructure will be required.
14. Discuss if pedestrian lighting is proposed, or if not, discuss the possibility of the addition of pedestrian lighting along City Right-of-Way. Please contact the Case Planner for details to match the area.
15. Prepare a preliminary staging storage plan, which includes phasing and information regarding the site layout of the temporary construction measures; the purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses.
16. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
17. Drainage pipes missing to drain structural soil (per specifications) at proposed tree planting areas; coordinate Civil plans with Landscape plans as appropriate.
18. Verify with FDOT, their requirements for milling and asphalt pavement restoration in the vicinity of proposed road cuts for utilities and/or curb cuts within FDOT jurisdiction.
19. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of utilizing sustainable or low impact (cisterns, pervious pavers, etc.) uses for landscaping along the streetscape.
20. Please prepare and submit the following exhibits which clearly define the following (as applicable):
 - a. Construction Phasing / Staging Storage Exhibit
 - b. Right-of-Way / Easement Dedication / Vacation Exhibit
 - c. Maintenance Agreement Area Exhibit
 - d. Revocable License Area Exhibit
21. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally,

an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.

22. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
 - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure. Please be advised that all storm drains shall be constructed with RCP piping in the City Right-Of-Way.
 - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water mains shall be constructed with DIP piping in the City Right-Of-Way.
 - c. Erosion and Sediment Control Plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
 - d. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the paving and grading plan.
 - e. Signing and Marking Plan, including the radii all landscaping and pavement areas.
23. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. **Any site that goes through DRC must store at least the 25-year 3-day event onsite with NO EXCEPTIONS.** In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's Right-of-Way. Fill requirements per City's Code of Ordinances Chapter 14 – Floodplain Management, including [Ord. No. C-14-26](#).
24. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
25. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons" and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
26. Show all existing and proposed utilities on the landscaping plans for potential conflict.
27. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
28. Prior to Final DRC sign-off, document with digital photos (including Key Map) and/or videos of the existing condition of the City's Right-of-Way adjacent to the proposed development. Photos and/or videos should include vantage points of the entire City Right-of-Way frontage adjacent to the proposed development, from both directions along City roadways and/or alleys, as well as of any other notable existing features.

B. Respond to Comments 29 through 42 prior to Engineering Permit Approval

29. The applicant shall verify that there are no easements or other instruments of record which impact the Engineering Department's ability to permit this site plan. In the event such instruments exist and are recorded in the office of records, Broward County, FL, the owner risks delay or denial of the building permit.
30. Submit the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with

the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.

31. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a Maintenance Declaration shall be executed with the City acknowledging that the Applicant will maintain all improvements in the City Right-Of-Way, including but not limited to lighting, landscaping, special paving and stormwater improvements.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.

32. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or EKalus@broward.org at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dougniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
33. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
34. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
35. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
 - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
 - 1) Include a narrative for each phase along with roadways utilized for materials delivery
 - 2) Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
 - 3) Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
 - 4) Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
 - 5) Show location and type of construction crane(s), including span radius
 - 6) Indicate location and number of portable rest rooms, dumpsters, and trash chutes
 - 7) Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29

- 8) Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
 - 9) Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
 - 10) Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
 - 11) Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
 - 12) Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
 - 13) Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
 - 14) Indicate where and how concrete trucks will stage during multiple yardage pours
 - 15) Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
 - 16) Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
 - 17) Show locations of truck wash-off area and procedures, including tires and concrete chutes
 - 18) Indicate schedule for street sweeping of periphery of construction site
 - 19) Indicate if dewatering is proposed.
36. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvanlandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at http://www.broward.org/pprd/cs_dewatering.htm.
37. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg (smemberg@sfwmd.gov).
38. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dougniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
39. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
40. Please note that any lighting within the City's Right-of-Way, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a Revocable License

agreement with the City along with a “disconnect” that shall be accessible by Facilities Maintenance staff in or near the Right-of-Way. Please contact the Facilities Maintenance office, David Smith at 954-828-6560, for information concerning the lighting within the City's Right-Of-Way.

41. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
42. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at rjohnson@fortlauderdale.gov or 954-828-7809, as well as proposed methods of noise, vibration, and odor mitigation.

Case Number: R16009

CASE COMMENTS:

Please provide a response to the following:

1. Provide clear trunk measurement for existing palms, and condition percentage as a number for all existing trees listed on sheet L-100. Include existing street trees.
2. Provide VUA calculations and illustrate how this is met on site.
3. Tree #3 has a 30" DBH which requires a minimum of 12' root protection. The proposed plan illustrates the sidewalk and driveway to be installed within 3'. Provide alternatives for sidewalk and driveway installation to avoid tree roots such as cantilevering the sidewalk, poured pervious material, etc.
4. Parking rows are to begin and end with peninsular islands containing canopy trees. The south parking row is to have a landscaped island with at least one canopy tree installed.
5. Remove root barrier note and include structural soil under pavement a minimum of 8' radius from proposed perimeter trees.
6. Remove sidewalk to allow for installation of structural soil for proposed street tree growth.
7. Provide curbing at pervious areas to prevent vehicular encroachment.
8. Provide groundcover planting options instead of grass to north of existing building.
9. Include groundcover and irrigation in all right-of-way areas.
10. The old pavement on the east lot is to be removed, the lot graded, and bahia sod installed to cover lot.

GENERAL COMMENTS:

Please consider the following prior to submittal for Building Permit:

11. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
12. A separate sub-permit application for General Landscaping is required at time of master permit submittal.

Case Number: R16009

CASE COMMENTS:

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighbors/civic-associations>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination of consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) Indicate the project's compliance with the following Unified and Land Development Regulations ("ULDR"), sections by providing a point-by-point narrative response, on letterhead, with date and author indicated:
 - a. Section 47-25.2, Adequacy Requirements; and,
 - b. Section 47-25.3, Neighborhood Compatibility
- 4) Clearly indicate what tree will be preserved that allows for a single parking reduction to save the existing tree on the landscaping plans.
- 5) Provide legible photometric plan for the entire site. Extend values on photometric plans to all property lines. Show values pursuant to the ULDR, Sections 47-25.3.A.3.a and 47-20.14. Indicate lighting poles on site plan and landscape plan, and provide detail with dimensions. Lighting fixtures and glare cannot be visible from neighboring properties. Consider reducing height of poles due to proximity of the project nearby residential area. Be aware that if lighting fixtures greater than ten (10) feet in height are used, they shall be located a minimum of fifteen (15) feet away from shade trees (ULDR, Section 47-20.14).
- 6) When contiguous to any residential property, it is required to have a landscaped strip area and a physical barrier between the commercial use and the residential property. Please indicate on the plans how the proposed concrete masonry wall ("CMU") meets ULDR, Section 47-25.3, Neighborhood Compatibility, constructed in accordance with ULDR, Section 47.19.5, Fences, walls and hedges.
- 7) Describe the potential use for the residentially zoned property under common ownership to the southeast of proposed development lot (Legal Description Progresso 2-18 D LOT 9 Blk 57).
- 8) Remove the concrete from the residentially zoned property under common ownership to the southeast of the proposed development due to its non-conformity of parking use and to accommodate permeable area.
- 9) Contact the Development Review Committee ("DRC") Landscape Representative and the DRC Engineer Representative to discuss modifying the parking lot to add a required 8 foot-wide landscape island next to the handicap parking space that abuts the building.
- 10) Contact the DRC Landscape Representative about installing structural soil to plant the new oak trees along Northeast 4 Street.
- 11) Consider including the proposed signage for the building. Signage is separately approved through the building permit process.
- 12) If a restaurant or other similar uses will occupy the proposed building, additional parking and a dumpster clean out is required pursuant to the ULDR, Section 47-19.4.D.7, Dumpsters.

13) Consider pervious materials for the sidewalk and parking.

General Comments

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

- 14) The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.
- 15) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 16) Provide a written response to all DRC comments within 180 days
- 17) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner (954-828-6162) to review project revisions and/or to obtain a signature routing stamp.
- 18) Additional comments may be forthcoming at the DRC meeting.

Case Number: R16009

CASE COMMENTS:

Please provide a response to the following:

1. Structure should be pre-wired for an alarm system.
2. Doors should be impact, metal, or solid core. Secondary locks should be provided along with an 180 degree view finder on solid doors.

GENERAL COMMENTS:

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

Case Number: R16009

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
5. Service Days shall be: No restriction for Commercial collection; Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels). Please show on your site plan where the container will be placed for service by the collection truck.
7. Provide on the site plan a garbage truck turning radii for City review. Indicate how truck will circulate within property.
8. Commercial – Strip stores shall share bulk container to avoid each tenant having a dumpster.
9. Solid waste collection shall be from a private loading dock.
10. Containers: must comply with 47-19.4
11. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strength apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
12. Provide on the site plan bollard placement.
13. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - o This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to smccutcheon@fortlauderdale.gov. Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
 - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building.

Case Number: R16009

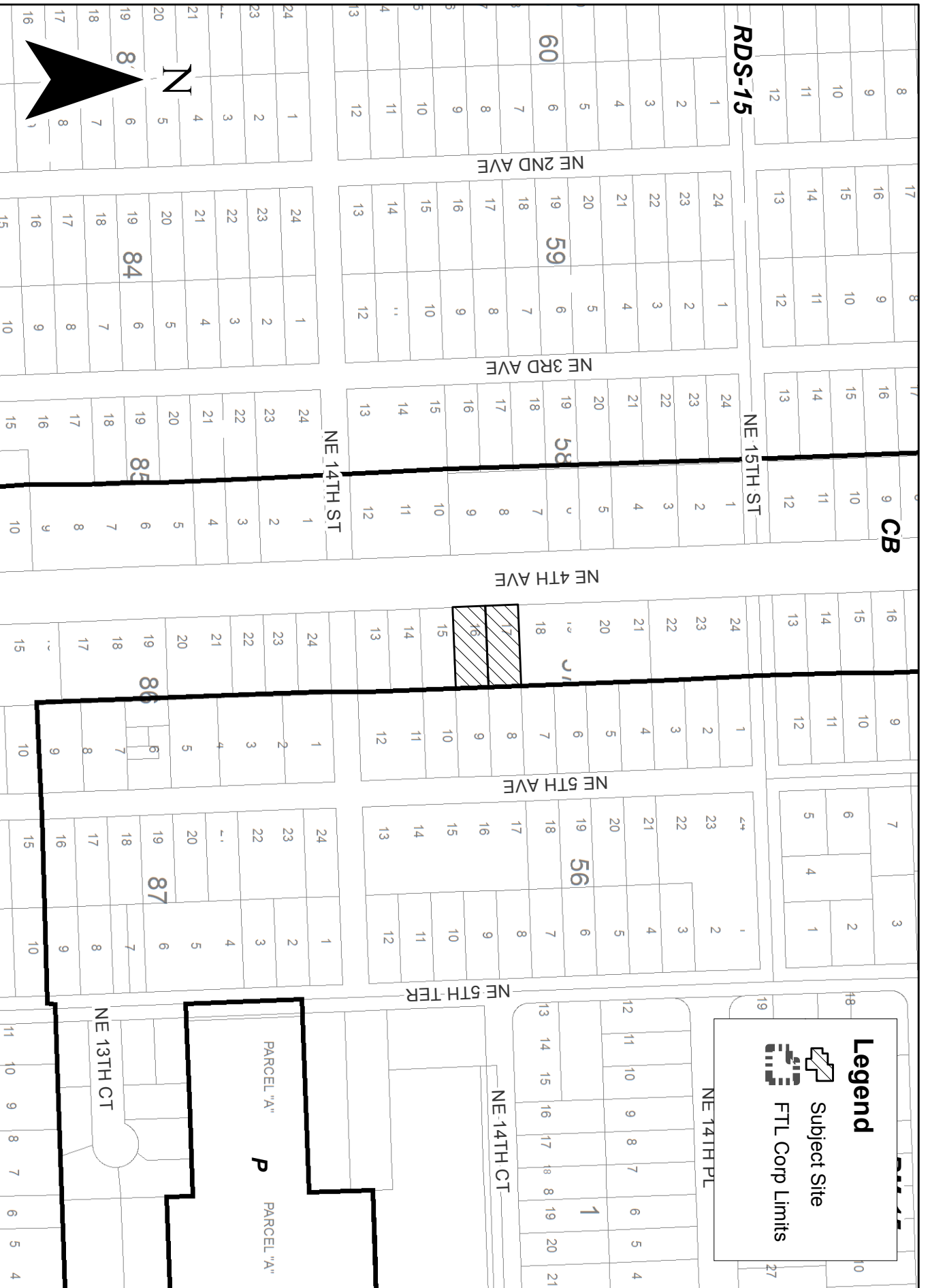
CASE COMMENTS:

1. Bicycle parking is strongly encouraged, covered if possible with a bike pump. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide the minimum long term and short term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet.
2. Provide ADA compliant curb ramps at the intersection of SW 17th Street and SW 1st Ave. Stripe a crosswalk across SW 1st Ave.
3. Ensure a 6' minimum sidewalk width is provided on NE 4th Ave and a 5' width minimum sidewalk is provided on all internal sidewalks and walk ways.
4. To minimize pedestrian conflicts consider reducing driveway width on NW 4th Ave.
5. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices. Show all curb ramps with truncated domes on site plan.
6. Additional comments may be provided upon further review.
7. Signature required.

GENERAL COMMENTS:

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



R16009

