

# Page 1: DRC Site Plan - Applicant Information Sheet

**INSTRUCTIONS:** The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

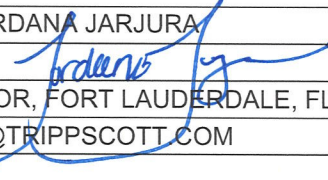
**NOTE:** To be filled out by Department

<b>Case Number</b>	
<b>Date of complete submittal</b>	

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

<b>Property Owner's Name</b>	BRYL DEVELOPMENT LLC
<b>Property Owner's Signature</b>	If a signed agent letter is provided, no signature is required on the application by the owner.
<b>Address, City, State, Zip</b>	3330 NE 190TH ST # 2614, AVENTURA FL 33180
<b>E-mail Address</b>	DORONBROMAN@GMAIL.COM, URIREDLER@GMAIL.COM
<b>Phone Number</b>	DORON 305 308-0132 URI 305 979-9963
<b>Proof of Ownership</b>	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

**NOTE:** If **AGENT** is to represent **OWNER**, notarized letter of consent is required

<b>Applicant / Agent's Name</b>	STEPHANIE TOOTHAKER, JORDANA JARJURA
<b>Applicant / Agent's Signature</b>	
<b>Address, City, State, Zip</b>	110 SE 6TH STREET, 15TH FLOOR, FORT LAUDERDALE, FL 33301
<b>E-mail Address</b>	SJT@TRIPPSCOTT.COM, JLJ@TRIPPSCOTT.COM
	PHONE 954 525-7500
<b>Letter of Consent Submitted</b>	YES

<b>Development / Project Name</b>	FLAGLER 626
<b>Development / Project Address</b>	<u>Existing:</u> 626,630 & 636 NE 1ST AVENUE <u>New:</u> 626 NE 1ST AVENUE
<b>Legal Description</b>	LOTS 38, 39, 40, 41, 42, 43, 44 & 45 BLOCK 318 PROGRESSO 2 ACCORDING TO THE PLAT HEREOF AS RECORDED BK 2 PG 18 MIAMI DADE, IN BROWARD
<b>Tax ID Folio Numbers</b> (For all parcels in development)	494234076030, 494234076040 & 494234076030
<b>Request / Description of Project</b>	99 UNIT, TWELVE STORY MULTIFAMILY PROJECT
<b>Total Estimated Cost of Project</b>	\$ (Including land costs)

<b>Current Land Use Designation</b>	DOWNTOWN RAC
<b>Proposed Land Use Designation</b>	DOWNTOWN RAC
<b>Current Zoning Designation</b>	RAC-UV
<b>Proposed Zoning Designation</b>	RAC-UV
<b>Current Use of Property</b>	Vacant
<b>Number of Residential Units</b>	99
<b>Non-Residential SF (and Type)</b>	NONE
<b>Total Bldg. SF</b> (include structured parking)	185,531
<b>Site Adjacent to Waterway</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirements	Required	Proposed
<b>Lot Size (SF / Acreage)</b>	5,000	26,995/0.6197 ACRE
<b>Lot Density</b>	NONE	131 UNITS PER ACRE
<b>Lot Width</b>		200 FT
<b>Building Height (Feet / Levels)</b>	12 STORY CONDITIONAL	132'-2" / 12 STORY
<b>Structure Length</b>		199' -10"
<b>Floor Area Ratio</b>		6.87
<b>Lot Coverage</b>	90%	83.3%
<b>Open Space</b>	9,900 SQ. FT.	18,467 SQ. FT.
<b>Landscape Area</b>	4,950 SQ. FT.	5,025 SQ. FT.
<b>Parking Spaces</b>	99	105 PARKING

Setbacks (indicate direction N,S,E,W)	Required	Proposed
<b>Front</b> [ W ]	5' -0"	5'-1"
<b>Side</b> [ S ]	0	0'-1"
<b>Side</b> [ N ]	0	0'-1"
<b>Rear</b> [ E ]	0	7'-6" (ALLEY RESERVATION)

# DRC SUBMITTAL FOR NEW MULTIFAMILY PROJECT

## FLAGLER 626 626-636 NE 1ST AVENUE



**FRONT ELEVATION**



**FRONT ENTRANCE**



**FRONT ENTRANCE**



**POOL DECK**

DRT CASE # : DRT 15012  
 DRC CASE # : R 16010  
 P & Z BOARD  
 APPROVAL DATE:

### PROJECT TEAM

**PROJECT ARCHITECT**  
**NEST PLANS INC.**  
 2601 EAST OAKLAND PARK SUITE 406  
 FORT LAUDERDALE FLORIDA 33306  
 PHONE 954.529-9000  
 CONTACT STEWART ROBIN - PROJECT MANAGER  
 E-MAIL STEWART@NESTPLANS.COM

**CIVIL**  
**GATOR ENGINEERING ASSOCIATES**  
 11390 TEMPLE STREET  
 COOPER CITY FLORIDA 33330  
 PHONE 954.865.0641  
 CONTACT REGINA BOBO-JACKSON  
 E-MAIL gator\_ec@bellsouth.net

**LANDSCAPE**  
**LAND ART PLANNING AND DESIGN**  
 2600 NE 27th AVENUE  
 FORT LAUDERDALE FLORIDA 33306  
 PHONE 954.566.0989  
 CONTACT THOMAS WHITE  
 E-MAIL tcawhite@bellsouth.net

**MEP ENGINEERS**  
**AMERICAN UNITED Engineers Inc.**  
 4508 SW 24TH STREET  
 FORT LAUDERDALE FLORIDA 33317  
 PHONE 954.471.8657  
 CONTACT DAN PIENARU, PE  
 E-MAIL dan@amengineers.net

**LANDUSE ATTORNEY**  
**TRIPP SCOTT**  
 110 SE SIXTH STREET, SUITE 1500  
 FORT LAUDERDALE FLORIDA 33301  
 PHONE 954.765-2922  
 CONTACT YVONNE REDDING  
 E-MAIL ymr@trippscott.com

### SHEET INDEX

SHEET TITLE	SHEET NUMBER	ORIGINAL ISSUE DATE	LATEST REVISION DATE
<b>ARCHITECTURAL</b>			
COVER SHEET	CS		
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GERALD BELGRAVE  
 ARO015085

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**nest PLANS**

ARCHITECTURE & INTERIOR DESIGN

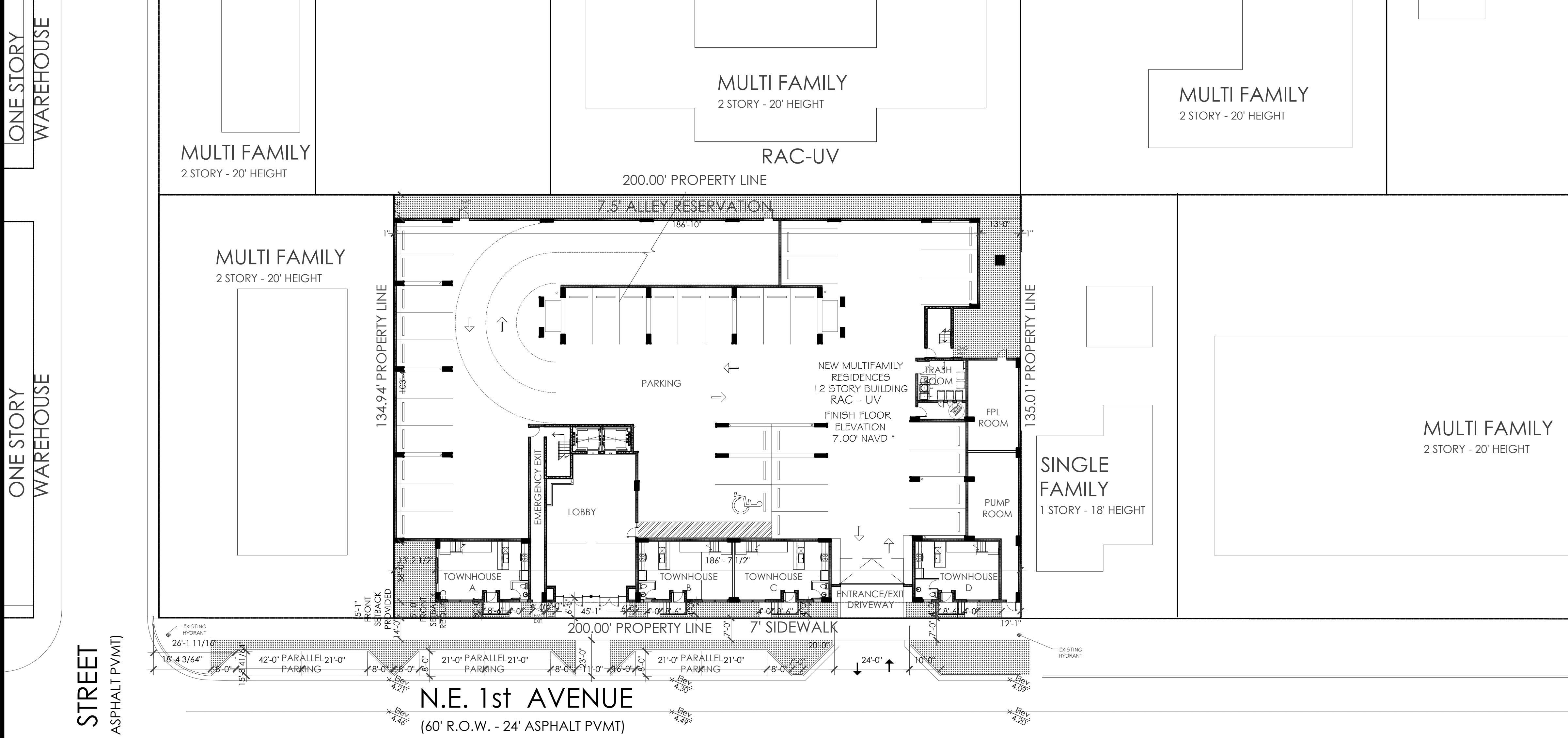
2601 E Oakland Park Blvd, Ste 406  
 Fort Lauderdale, Florida 33306  
 954.529.9000 nestplans.com

**FLAGLER 626**  
 626 - 636 NE 1ST AVENUE  
 FORT LAUDERDALE, FLORIDA 33301

REVISIONS

Job No: NEST - 1502  
 Date: 2/12/2016  
 Drawn by: SAR/AG  
 Checked by: GB

DRC SUBMITTAL  
 Drawing No.  
**CS**



### SITE PLAN INFORMATION

**PROPERTY ADDRESS**  
626 - 636 NE 1TH AVENUE, FORT LAUDERDALE, FLORIDA 33301

**LEGAL DESCRIPTION** LOT 38, 39, 40, 41, 42, 43, 44 AND 45, BLOCK 318, PROGRESSO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 18 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA SAID LANDS LYING, SITUATED IN BROWARD COUNTY, FLORIDA.

**SITE PLAN DATA TABLE**

A. CURRENT USE OF PROPERTY AND INTENSITY	EMPTY - 0 UNITS PER ACRE
B. LAND USE DESIGNATION	REGIONAL ACTIVITY CENTER (RAC)
C. ZONING DESIGNATION	RAC - UV
D. WATER/WASTEWATER SERVICE PROVIDER	CITY OF FORT LAUDERDALE
E. SITE AREA	26,995.4 SQ. FT. / 0.6197 ACRES
F. BUILDING FOOT PRINT COVERAGE	22,488 SQ. FT. - 83.3% LOT COVERAGE
G. RESIDENTIAL DEVELOPMENT: RESIDENTIAL UNITS	
TOTAL	99 UNITS
SITE DENSITY GROSS	32,995.4*SQ. FT. / 43,560=0.7574 99 UNITS/0.7574 = 131 UNITS PER ACRE
NET	26,995.4 SQ. FT. / 43,560=0.6197 99 UNITS/0.6197 = 160 UNITS PER ACRE
NOTE: GROSS INCLUDES 1/2 1ST AVENUE RIGHT OF WAY	
H. NONRESIDENTIAL DEVELOPMENT	N/A
I. PARKING DATA - PER TRANSIT CORE - STATION AREA GUIDELINES	
TOTAL PARKING REQUIRED:	
RESIDENTIAL USES - 1.2 PARKING SPACE PER UNIT	
NUMBER OF RESIDENTIAL UNITS 99 X 1.2 SPACE PER UNIT =	119 SPACES
TOTAL PARKING PROVIDED	105 SPACES
PARKING SPACES ON STREET	4 SPACES
HANDICAPPED PARKING REQUIRED: 1 HANDICAP SPACE PER 50 PARKING SPACES	
NUMBER OF HANDICAP PARKING SPACES REQUIRED	3 SPACES
HANDICAP SPACES PROVIDED =	3 SPACES
LOADING ZONE:	
LOADING ZONE NOT REQUIRED FOR MULTIFAMILY RESIDENTIAL USES	
MOTORCYCLE/MOPED SPACES:	11 SPACES PROVIDED
BICYCLE STORAGE: BIKE SPACES:	70 SPACES PROVIDED
J. FLOOR AREA RATIO: 6.87	
TOTAL BUILDING GROSS SQUARE FOOTAGE: 185,531 SQ. FT. / 26,995.4 SQ. FT.	
K. BUILDING HEIGHT: HABITABLE BUILDING HEIGHT	132' - 2" FEET ABOVE GRADE
OVERALL HEIGHT	144' - 2" FEET ABOVE GRADE
L. STRUCTURE LENGTH:	199' - 10"
M. NUMBER OF STORIES:	12 STORIES (CONDITIONAL USE - ULDR 47.24.3)
N. SETBACK TABLE REQUIRED VS. PROVIDED - ULDR 47-13.20.K.1.a	

DESCRIPTION	REQUIRED	BUILDING PROVIDED	ARCHITECTURAL FEATURE PROVIDED
WEST - FRONT	5'-0"	5'-1"	0'-1"
SOUTH SIDE	0'-0"	0'-1"	
EAST - REAR	0'-0"	7'-6"	
SOUTH SIDE	0'-0"	0'-1"	

NOTE: ARCHITECTURAL FEATURES INCLUDING OPEN BALCONY OR ENTRANCE AWNING

O. OPEN SPACE: 100 SQ. FT. PER UNIT - ULDR 47-13.20.D.3-4

NUMBER OF RESIDENTIAL UNITS 99 X 100 SQ. FT. PER UNIT = 9,900 SQ. FT. REQUIRED

REQUIRED OPEN SPACE AT GRADE 40% OF 9,900 SQ. FT. = 3,960 SQ. FT.

OPEN SPACE AT GRADE = 3,975 SQ. FT.

OPEN SPACE AT POOL DECK = 4,575 SQ. FT.

TERRACES AND BALCONIES = 10,356 SQ. FT.

TOTAL OPEN SPACE PROVIDED = 18,467 SQ. FT.

P. VEHICULAR USE AREA: NOT ENCLOSED OR COVERED 110 SQ. FT. (DRIVEWAY)

Q. OPEN SPACE: 18,467 SQ. FT. TOTAL PROVIDED

R. LANDSCAPE AREA: 50% OF REQUIRED OPEN SPACE - ULDR 47-13.20.D.3-4

REQUIRED OPEN SPACE 9,900 SQ. FT. X 50% = 4,950 SQ. FT. LANDSCAPE REQUIRED

LANDSCAPE AREA AT GRADE = 2,978 SQ. FT.

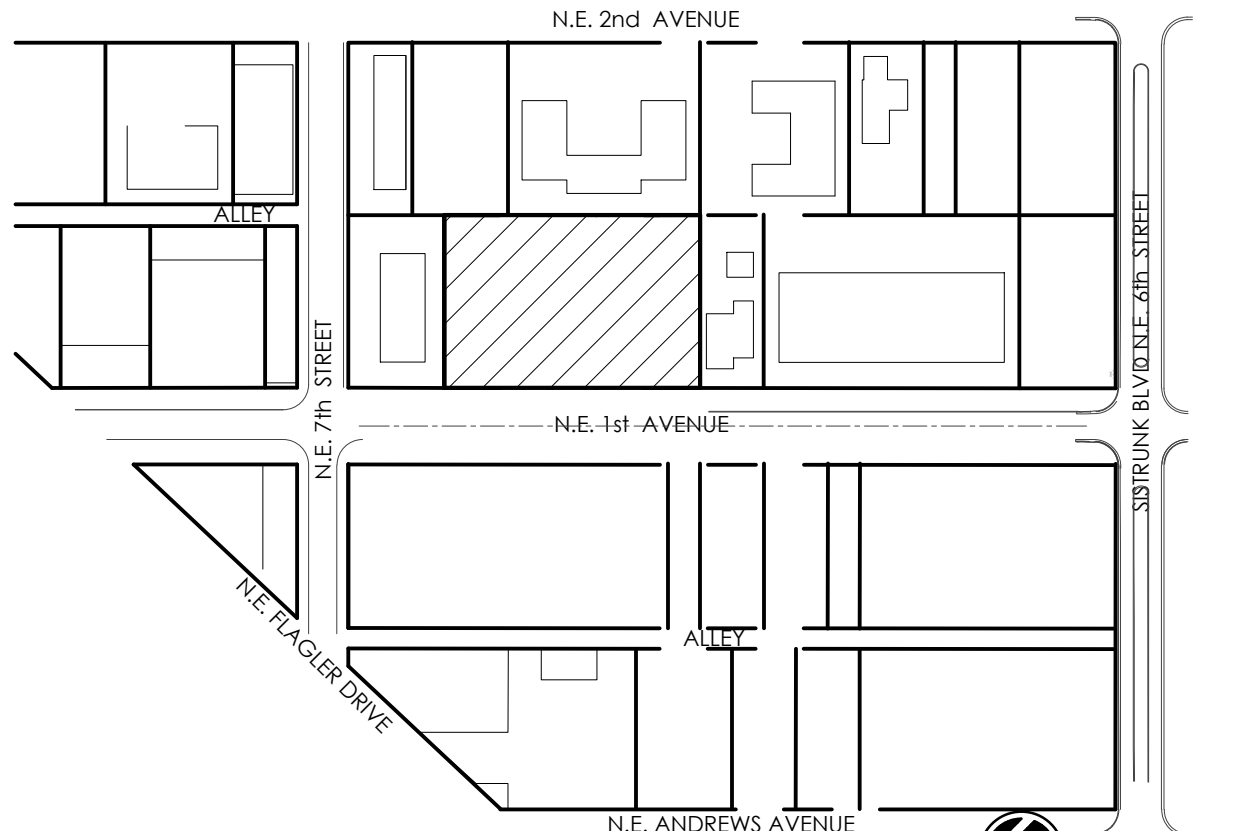
LANDSCAPE AREA AT POOL DECK = 1,087 SQ. FT.

LANDSCAPE AREAS AT PRIVATE TERRACES = 960 SQ. FT.

TOTAL LANDSCAPE AREA PROVIDED = 5,025 SQ. FT.

S. LINEAR FEET OF SIDEWALK PROPOSED: 275 LINEAR FEET OF SIDEWALK PROPOSED (200 LN. FT. PROPOSED AT PROPERTY AND 75 LN. FT. FROM PROJECT TO 7th Street Intersection)

### SITE PLAN LEGEND



### SITE PLAN LEGEND

Job No:	NEST - 1502
Date:	2/12/2016
Drawn by:	SAR/AG
Checked by:	SB

**SITE PLAN LEGEND**

---	PROPERTY LINE
▬▬▬▬	PROPOSED BUILDING FOOTPRINT LINE
■	CMU BLOCK
■	CONCRETE STRUCTURE
▨	PROPOSED LANDSCAPE AREA
+	EXISTING GRADES

**RESIDENTIAL DEVELOPMENT: SCHEDULE**

UNIT TYPES	NO. UNITS	BED/BATH	SQ. FT.
TOWNHOUSE A	1	2/1.5	1,119
TOWNHOUSE B	1	1/1.5	936
TOWNHOUSE C	1	2.5/2.5	1,345
TOWNHOUSE D	1	2.5/2.5	1,334
UNIT 301	1	2/1	1,123
UNIT 301	1	2/2	1,544
UNIT 401/401	3	2/2	1,297
UNIT 402/402	3	2/2	1,065
UNIT 403/403	3	2/2	1,342
UNIT 404/404	3	2.5/2	1,580
UNIT 405/405	3	2/2	1,311
UNIT 406/406	3	2/2	1,312
UNIT 407/407	3	EFF/1	763
UNIT 408/408	3	1/1	877
UNIT 409/409	3	2/2	1,281
UNIT 410	1	EFF/1	684
UNIT 411	1	1/1	1,030
UNIT 510/610	2	2/2	1,254
UNIT 511/611	2	2/2	1,427
UNIT 701/1201	6	2/2	1,280
UNIT 702/1202	6	1/1	781
UNIT 703/1203	6	1.5/1	834
UNIT 704/1204	6	1.5/1	927
UNIT 705/1205	6	1.5/1	803
UNIT 706/1206	6	1.5/1	739
UNIT 707/1207	6	EFF/1	713
UNIT 708/1208	6	1.5/1	812
UNIT 709/1209	6	EFF/1	671
UNIT 710/1210	6	EFF/1	701
<b>TOTALS</b>	<b>99</b>		<b>96,407 SQ. FT.</b>

**TOTAL BUILDING SQUARE FOOTAGE: SCHEDULE**

LEVEL	SQUARE FOOTAGE
GROUND FLOOR	23,319 SQ. FT.
2ND FLOOR	23,314 SQ. FT.
3RD FLOOR	23,149 SQ. FT.
4TH FLOOR	17,229 SQ. FT.
5TH FLOOR	17,229 SQ. FT.
6TH FLOOR	17,229 SQ. FT.
7TH FLOOR	10,667 SQ. FT. (INCLUDING 717 SQ. FT. BALCONIES)
8TH FLOOR	10,667 SQ. FT. (INCLUDING 717 SQ. FT. BALCONIES)
9TH FLOOR	10,667 SQ. FT. (INCLUDING 717 SQ. FT. BALCONIES)
10TH FLOOR	10,667 SQ. FT. (INCLUDING 717 SQ. FT. BALCONIES)
11TH FLOOR	10,667 SQ. FT. (INCLUDING 717 SQ. FT. BALCONIES)
12TH FLOOR	10,667 SQ. FT. (INCLUDING 717 SQ. FT. BALCONIES)
<b>GROSS SQUARE FOOTAGE</b>	<b>185,531 SQ. FT.</b>

EMPTY

EMPTY

EMPTY

EMPTY

N.E. 7th STREET  
(40' R.O.W. - 22' ASPHALT PVMIT)

N.E. 1st AVENUE  
(60' R.O.W. - 24' ASPHALT PVMIT)

PARKING LOT

NOTE: TRASH PICK UP SCHEDULE WILL BE COORDINATED WITH CONDO ASSOCIATION AND WILKINSON HIGH-RISE. BUILDING STAFF WILL MOVE DUMPTER AND RECYCLE CONTAINERS TO DRIVE ENTRANCE AND MEET TRUCK AT CURB SIDE TO PICK UP ALL CONTAINERS. BUILDING STAFF WILL NOT LEAVE DUMPTER OR RECYCLE CONTAINERS OUT AT STREET OR RIGHT OF WAY WITHOUT SUPERVISION

NOTE \*\*\*: CURRENT BROWARD COUNTY FLOOD MAP - FLOOD ZONE - AH NAVD 88 - 6'

NOTE \*: ALL ELEVATIONS ON PLANS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988  
NOTE \*\*: REFER TO PLUMBING AND CIVIL ENGINEERING PLANS FOR EXACT LOCATION OF ALL ROOF DRAINS

1 SITE PLAN N  
A-002 scale: 1 = 20

GERALD BELGRAVE  
AR0015085

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO ANY OTHER MATTER. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO ANY OTHER MATTER.

**nest PLANS**

ARCHITECTURE & INTERIOR DESIGN

2601 Oakland Park Blvd, Ste 406  
Fort Lauderdale, Florida 33306  
954.529.9000 nestplans.com

**FLAGLER 626**  
626 - 636 NE 1ST AVENUE  
FORT LAUDERDALE, FLORIDA 33301

REVISIONS

NO.	DATE	DESCRIPTION

Job No: NEST - 1502  
Date: 2/12/2016  
Drawn by: SAR/AG  
Checked by: SB

**SITE PLAN LEGEND**

Drawing No. A-002

# ELEVATIONS KEY NOTES

- (E01) RED BRICK - COLOR TO COORDINATE WITH SW 2839 ROYCROFT COPPER RED (RED)
- (E02) CONCRETE FLAT TILE - COLOR TO COORDINATE WITH SW 7008 ALABASTER (WHITE)
- (E03) CONCRETE FLAT TILE - COLOR TO COORDINATE WITH SW 7665 WALL STREET (GREY)
- (E04) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 2839 ROYCROFT COPPER RED
- (E05) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7008 ALABASTER
- (E06) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7665 WALL STREET
- (E07) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7072 ONLINE
- (E08) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7074 SOFTWARE
- (E09) ALUMINUM HANDRAIL - POWDER COATED BRONZE - REFER TO A-003 FOR DETAILS
- (E10) IMPACT GLAZING WINDOWS AND DOORS - LOW E - POWDER COATED BRONZE



- EL: +140'-10" (147.83' NAVD) TOP OF FINISH FLOOR STAIR ROOF
- EL: +137'-2" (144.14' NAVD) TOP OF PARAPET
- EL: +135'-2" (142.14' NAVD) TOP OF FINISH FLOOR UPPER ROOF
- EL: +132'-2" (139.14' NAVD) TOP OF FINISH FLOOR LOW ROOF
- EL: +121'-4" (128.31' NAVD) TOP OF FINISH FLOOR TWELFTH FLOOR
- EL: +110'-6" (117.50' NAVD) TOP OF FINISH FLOOR ELEVENTH FLOOR
- EL: +99'-8" (106.66' NAVD) TOP OF FINISH FLOOR TENTH FLOOR
- EL: +88'-10" (95.83' NAVD) TOP OF FINISH FLOOR NINTH FLOOR
- EL: +78'-0" (85.00' NAVD) TOP OF FINISH FLOOR EIGHT FLOOR
- EL: +75'-4" (82.32' NAVD) TOP OF FINISH FLOOR SIX FLOOR UPPER ROOF
- EL: +67'-2" (74.16' NAVD) TOP OF FINISH FLOOR SEVENTH FLOOR
- EL: +56'-4" (63.33' NAVD) TOP OF FINISH FLOOR SIXTH FLOOR
- EL: +45'-6" (52.50' NAVD) TOP OF FINISH FLOOR FIFTH FLOOR
- EL: 34'-8" (41.67' NAVD) TOP OF FINISH FLOOR FOURTH FLOOR - POOL DECK
- EL: +33'-8" (40.67' NAVD) CEILING OF SECOND FLOOR TOWNHOUSES
- EL: +23'-8" (30.67' NAVD) TOP OF FINISH FLOOR THIRD FLOOR
- EL: +22'-10" (29.83' NAVD) CEILING OF SECOND FLOOR TOWNHOUSES
- EL: +12'-10" (19.83' NAVD) TOP OF FINISH FLOOR SECOND FLOOR TOWNHOUSES
- EL: +12'-0" (12.00' NAVD) CEILING OF FIRST FLOOR TOWNHOUSES
- EL: +2'-0" (9.00' NAVD) FIN. FLOOR TOWNHOUSES
- EL: +0'-0" (7.00' NAVD) FIN. FLOOR LOBBY
- EL: -1'-0" (6.00' NAVD) FEMA - AH - 6' NAVD
- EL: -2'-6" (4.50' NAVD) AVERAGE GRADE

- EL: +14'-0" (21.00' NAVD) 8TM OF AWNING
- EL: +0'-0" (7.00' NAVD) FIN. FLOOR LOBBY
- EL: -1'-0" (6.00' NAVD) FEMA - AH - 6' NAVD
- EL: -2'-6" (4.50' NAVD)

NOTE \*: ALL FINISH FLOOR ELEVATIONS ON ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988

1 **EXTERIOR WEST ELEVATION**  
A-201 scale: 1/8" = 1'-0"

GERALD BELGRAVE  
AR0015085

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ARCHITECTURE & INTERIOR DESIGN

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REVISIONS

Job No: NEST - 1502  
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Drawn by: SARIAG  
Checked by: GB

DRC SUBMITTAL

Drawing No. **A-201**

# ELEVATIONS KEY NOTES

- E01 RED BRICK - COLOR TO COORDINATE WITH SW 2839 ROYCROFT COPPER RED (RED)
- E02 CONCRETE FLAT TILE - COLOR TO COORDINATE WITH SW 7008 ALABASTER (WHITE)
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- E05 PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7008 ALABASTER
- E06 PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7665 WALL STREET
- E07 PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7072 ONLINE
- E08 PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7074 SOFTWARE
- E09 ALUMINUM HANDRAIL - POWDER COATED BRONZE - REFER TO A-003 FOR DETAILS
- E10 IMPACT GLAZING WINDOWS AND DOORS - LOW E - POWDER COATED BRONZE

- EL: +2'-0" (9.00' NAVD) FIN. FLOOR TOWNHOUSES
- EL: +0'-0" (7.00' NAVD) FIN. FLOOR LOBBY
- EL: -1'-0" (4.0' NGVD) AT TOP OF SIDEWALK
- EL: -2'-5.5" (4.54' NGVD) ROAD AT CROWN
- EL: -2'-8.5" (4.30' NGVD) ROAD AT CURB

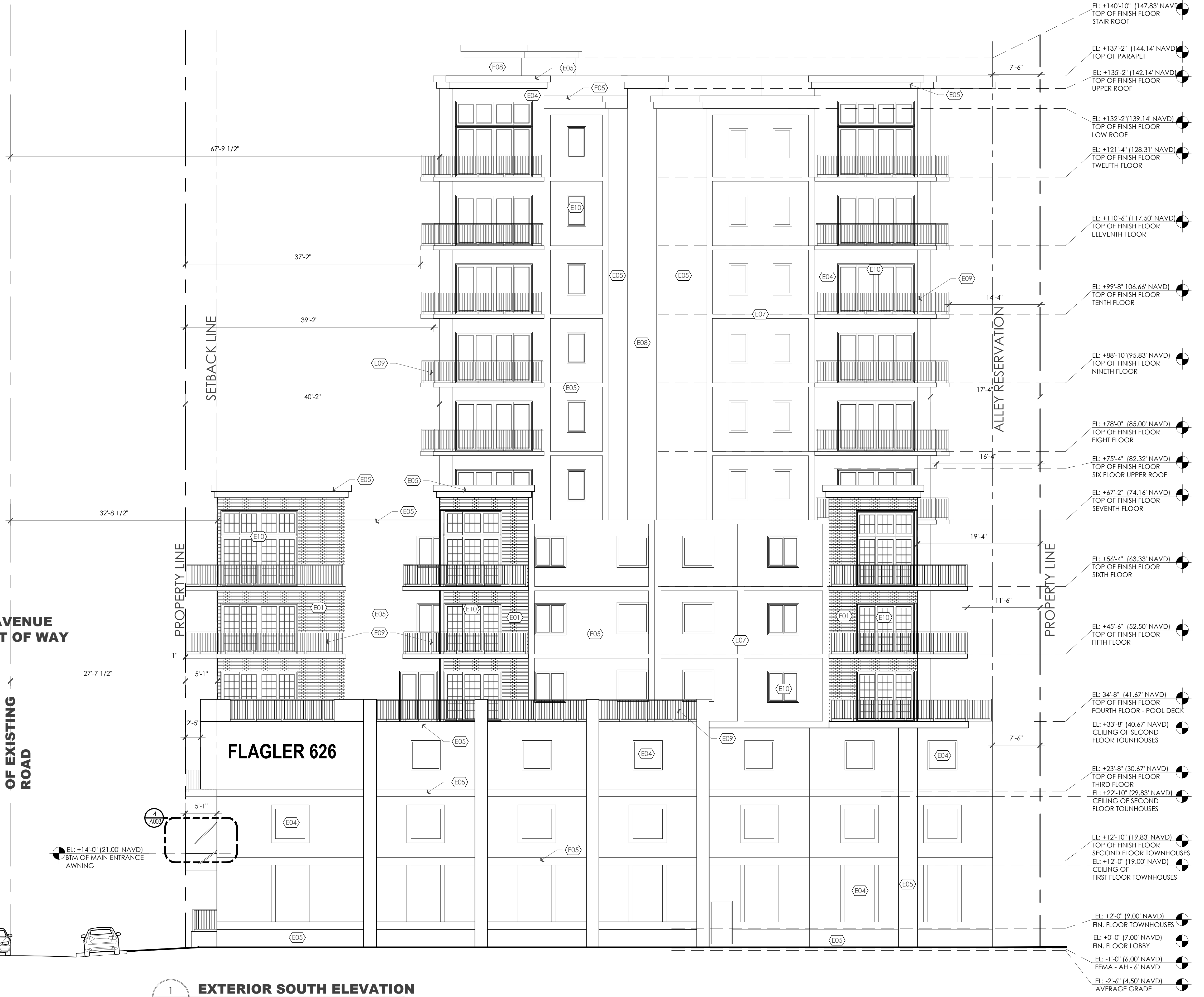
NE 1ST AVENUE  
60' RIGHT OF WAY

CENTERLINE  
OF EXISTING  
ROAD

FLAGLER 626

## EXTERIOR SOUTH ELEVATION

scale: 1/8" = 1'-0"



NOTE \*: ALL FINISH FLOOR ELEVATIONS ON ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988

GERALD BELGRAVE

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AR0015085



ARCHITECTURE & INTERIOR DESIGN

2601 E Oakland Park Blvd, Ste 406  
Fort Lauderdale, Florida 33306  
954.529.9000 nestplans.com

**FLAGLER 626**  
626 - 636 NE 1ST AVENUE  
FORT LAUDERDALE, FLORIDA 33301

REVISIONS

Job No: NEST - 1502  
Date: 2/12/2016  
Drawn by: SAR/AG  
Checked by: GB

DRC SUBMITTAL

Drawing No.

A-202

# ELEVATIONS KEY NOTES

- (E01) RED BRICK - COLOR TO COORDINATE WITH SW 2839 ROYCROFT COPPER RED (RED)
- (E02) CONCRETE FLAT TILE - COLOR TO COORDINATE WITH SW 7008 ALABASTER (WHITE)
- (E03) CONCRETE FLAT TILE - COLOR TO COORDINATE WITH SW 7665 WALL STREET (GREY)
- (E04) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 2839 ROYCROFT COPPER RED
- (E05) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7008 ALABASTER
- (E06) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7665 WALL STREET
- (E07) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7072 ONLINE
- (E08) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7074 SOFTWARE
- (E09) ALUMINUM HANDRAIL - POWDER COATED BRONZE - REFER TO A-003 FOR DETAILS
- (E10) IMPACT GLAZING WINDOWS AND DOORS - LOW E - POWDER COATED BRONZE



**1 EXTERIOR EAST ELEVATION**  
A-203 scale: 1/8" = 1'-0"

NOTE \*: ALL FINISH FLOOR ELEVATIONS ON ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988

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626 - 636 NE 1ST AVENUE  
FORT LAUDERDALE, FLORIDA 33301

NO.	REVISIONS

Job No: NEST - 1502  
Date: 2/12/2016  
Drawn by: SARIAG  
Checked by: GB

DRC SUBMITTAL

Drawing No.  
**A-203**

### ELEVATIONS KEY NOTES

- (E01) RED BRICK - COLOR TO COORDINATE WITH SW 2839 ROYCROFT COPPER RED (RED)
- (E02) CONCRETE FLAT TILE - COLOR TO COORDINATE WITH SW 7008 ALABASTER (WHITE)
- (E03) CONCRETE FLAT TILE - COLOR TO COORDINATE WITH SW 7665 WALL STREET ( GREY)
- (E04) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 2839 ROYCROFT COPPER RED
- (E05) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7008 ALABASTER
- (E06) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7665 WALL STREET
- (E07) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7072 ONLINE
- (E08) PAINTED, LIGHT TEXTURE STUCCO FINISH, SW 7074 SOFTWARE
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- (E10) IMPACT GLAZING WINDOWS AND DOORS - LOW E - POWDER COATED BRONZE

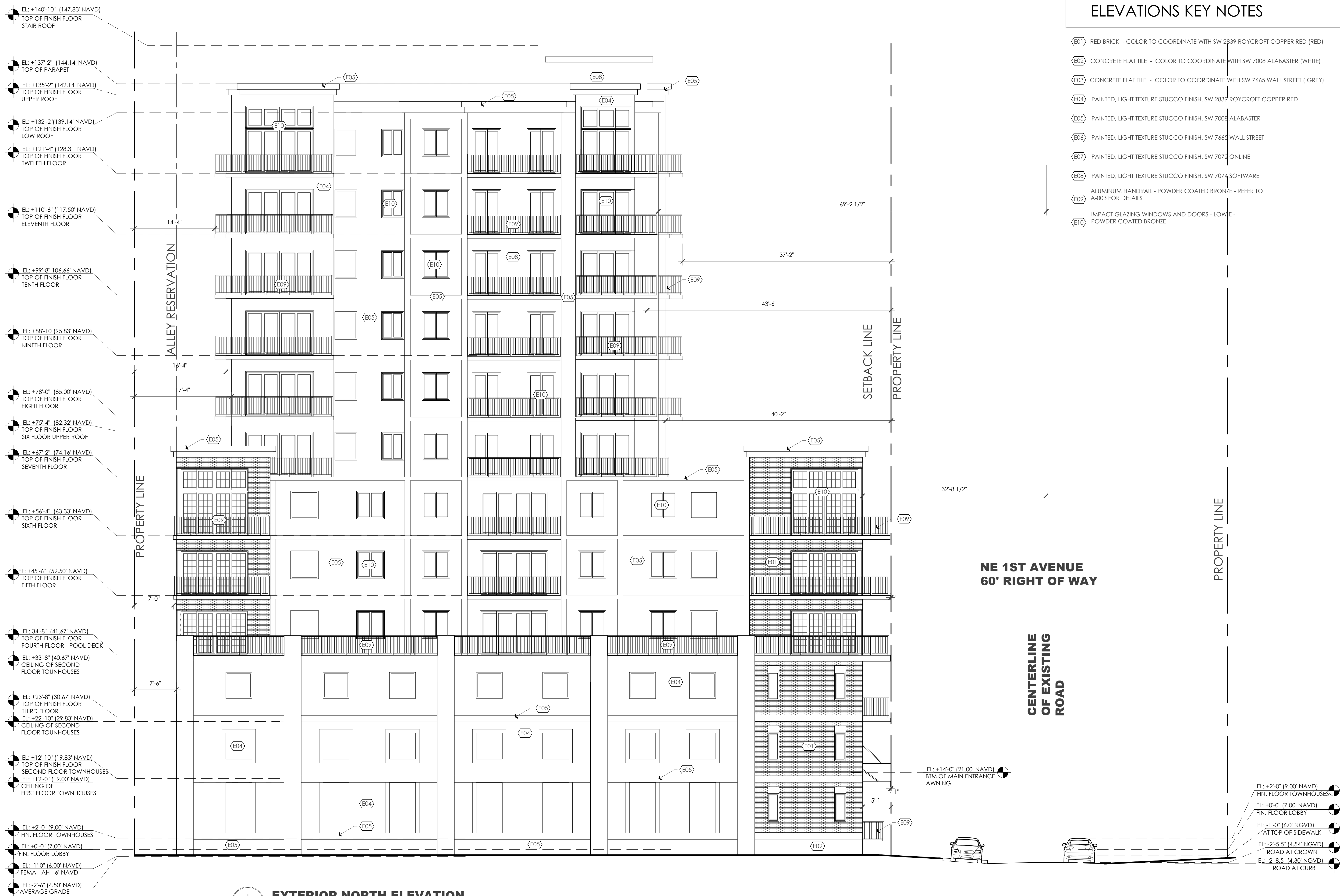
GERALD BELGRAVE

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**1 EXTERIOR NORTH ELEVATION**  
A-204 scale: 1/8" = 1'-0"

NOTE \*: ALL FINISH FLOOR ELEVATIONS ON ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988

REVISIONS

Job No: NEST - 1502  
Date: 2/12/2016  
Drawn by: SAR/AG  
Checked by: GB

DRC SUBMITTAL  
Drawing No. A-204



**CITY OF FORT LAUDERDALE**

# **DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT**

**Meeting Date: March 22, 2016**

**Project Name: BRYL Development LLC / Flagler 626**

**Case Number: R16010**

**Request: Site Plan Level III Review: Conditional Use for Building Height in RAC-UV; 99 Multifamily Units**

**Location: 626 NE 1<sup>st</sup> Avenue**

**Zoning: Regional Activity Center – Urban Village (RAC-UV)**

**Land Use: Downtown Regional Activity Center**

**Project Planner: Randall Robinson**



**Case Number:** R16010

**CASE COMMENTS:**

NONE – Signature NOT required.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. Florida Building Code Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
  - a. [https://www.municode.com/library/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5<sup>th</sup> Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
  - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
  - c. [https://floridabuilding.org/dca/dca\\_fbc\\_default.aspx](https://floridabuilding.org/dca/dca_fbc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>

**Case Number: R16010**

**CASE COMMENTS:**

**A. Please respond to Comments 1 through 22 prior to Pre P&Z sign off**

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Daniel Lizarazo at 954-828-6982 or [dliizarazo@fortlauderdale.gov](mailto:dliizarazo@fortlauderdale.gov).
  - b. Coordinate all transportation related requirements with Alia Awwad, P.E. at 954-828-6078 or [aawwad@fortlauderdale.gov](mailto:aawwad@fortlauderdale.gov) and/or Eric Houston at 954-828-5216 or [ehouston@fortlauderdale.gov](mailto:ehouston@fortlauderdale.gov) with the Transportation & Mobility Department to meet the Transportation aspect of the Adequacy requirements.
2. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at 954-357-6695.
3. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. at (954) 828-6078 or [aawwad@fortlauderdale.gov](mailto:aawwad@fortlauderdale.gov).
4. Provide back-up information and discuss status of existing 7.5' Alley Reservation, shown on the Boundary Survey, which runs North-South along the east boundary of the proposed development; please note that any public Easement vacation requires a separate Property & Right-of-Way DRC meeting and City Commission approval. Conversion to a Utility Easement may be required, depending on if warranted by the location of any existing utilities in that corridor.
5. Drawing A-002: Width of proposed driveway should match 20' dimension shown on Drawing A-101.
6. Drawing A-101: 20' length for on-street parallel parking 'end' stalls allowable along NE 1<sup>st</sup> Avenue, adjacent to 45 degree angled pavement for parking stall access.
7. Drawing A-101: Since public storm drain infrastructure doesn't exist in the vicinity of the proposed development, convey NE 1<sup>st</sup> Avenue Right-of-Way drainage to roadside swales. Delete proposed curb & gutter (adjacent to driveway access) and curb (adjacent to on-street parking) along NE 1<sup>st</sup> Avenue; provide stormwater infrastructure to treat additional runoff within City Right-of-Way, the greater of 1" of rainfall over this site area or 2.5" of rainfall times the percent imperviousness of this site area.
8. Drawing A-101: Label driveway grade into parking garage, which appears to ramp-up (or down) just beyond 7' sidewalk.
9. Label Drawing A-002 'Overall Site Plan' and Drawing A-101 'Site Plan'. Site Plan typically features all critical dimensions for the proposed development, such as building setbacks, parking lot access, sidewalk

dimensions, and typical roadway travel lane (including on-street parallel parking) widths for NE 1<sup>st</sup> Avenue. For all levels in the parking garage: show total number of parking stalls, dimension all areas, including all aisle widths, parking spaces (please refer to applicable ADA standards for the required geometric dimensions for the ADA parking spaces), and ramps.

10. Per ULDR Section 47-20.5.C.6, provide and dimension the minimum stacking distance required for driveway ingress to and egress from the proposed parking garage – a minimum 12' x 22' area for each vehicle to be accommodated for stacking; discuss and coordinate with parking garage gate access if appropriate.
11. Evaluate the possibility of utilizing a sustainable stormwater approach with low impact (cisterns, pervious pavers, bioswales, raingardens, etc.) uses for landscaping along the streetscape.
12. Provide and label typical roadway cross-sections, incorporating on-street parallel parking as appropriate, for the proposed development side of NE 1<sup>st</sup> Avenue.
13. Drawing A-202 & A-204: Based on Boundary Survey, NE 1<sup>st</sup> Avenue half Right-of-Way width should be 30'.
14. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets (measured from pavement edges), alleys with alleys (measured from property lines extended), alleys with streets (measured from property lines extended), and streets with streets (measured from property lines extended). Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in [ULDR Section 47-35](#).
15. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
16. Coordinate with Melissa Doyle at (954) 828-6111 or [mduoye@fortlauderdale.gov](mailto:mduoye@fortlauderdale.gov) regarding dumpsters.
17. Drainage pipes missing to drain structural soil (per Silva Cell specifications) at proposed tree planting areas; coordinate Civil plans with Landscape plans as appropriate.
18. Be advised that any road cuts for utilities or curb cuts within in the City Right-Of-Way shall be restored to full lane width for 50' minimum length, per City Code of Ordinances Section 25-108.
19. Discuss if pedestrian lighting is proposed; if not, discuss the possibility of the addition of pedestrian lighting along City Right-of-Way, which requires perpetual maintenance by the Applicant via a Maintenance Agreement executed with the City. Please contact the Case Planner for details to match the area.
20. Prepare a preliminary staging storage plan, which includes phasing and information regarding the site layout of the temporary construction measures; the purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses.
21. Please prepare and submit the following exhibits which clearly define the following (as applicable):
  - a. Construction Phasing / Staging Storage Exhibit
  - b. Right-of-Way / Easement Dedication / Vacation Exhibit
  - c. Maintenance Agreement Area Exhibit
  - d. Revocable License Area Exhibit
22. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons" and latest edition of "Accessibility Requirements

Manual” by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).

**B. Respond to Comments 23 through 26 prior to Final DRC sign off**

23. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
24. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
  - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure. Please be advised that all storm drains shall be constructed with RCP piping in the City Right-Of-Way.
  - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water mains shall be constructed with DIP piping in the City Right-Of-Way.
  - c. Erosion and Sediment Control Plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
  - d. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the paving and grading plan.
  - e. Signing and Marking Plan, including the radii all landscaping and pavement areas.
25. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. **Any site that goes through DRC must store at least the 25-year 3-day event onsite with NO EXCEPTIONS.** In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City’s Right-of-Way. Fill requirements per City’s Code of Ordinances Chapter 14 – Floodplain Management, including [Ord. No. C-14-26](#).
26. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.

**C. Respond to Comments 27 through 40 prior to Engineering Permit Approval**

27. The applicant shall verify that there are no easements or other instruments of record which impact the Engineering Department’s ability to permit this site plan. In the event such instruments exist and are recorded in the office of records, Broward County, FL, the owner risks delay or denial of the building permit.
28. Please be advised that all proposed improvements within or adjacent to the City’s Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a Maintenance Declaration shall be executed with the City acknowledging that the Applicant will maintain all

improvements in the City Right-Of-Way, including but not limited to lighting, landscaping, special paving and stormwater improvements.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.

29. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at 954-357-6632 or [ekalus@broward.org](mailto:ekalus@broward.org) at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dougniaux with the Broward County Transit Division at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
30. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
31. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
32. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, right-of-way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
  - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
    - 1) Include a narrative for each phase along with roadways utilized for materials delivery
    - 2) Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
    - 3) Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
    - 4) Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
    - 5) Show location and type of construction crane(s), including span radius
    - 6) Indicate location and number of portable rest rooms, dumpsters, and trash chutes
    - 7) Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
    - 8) Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
    - 9) Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
    - 10) Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
    - 11) Show location of parking for inspectors and construction personnel. Include all off site parking-location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle

- 12) Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
  - 13) Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
  - 14) Indicate where and how concrete trucks will stage during multiple yardage pours
  - 15) Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
  - 16) Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
  - 17) Show locations of truck wash-off area and procedures, including tires and concrete chutes
  - 18) Indicate schedule for rout line street sweeping of periphery of construction site
  - 19) Indicate if dewatering is proposed.
33. Obtain a dewatering permit as required from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham ([dvanlandingham@broward.org](mailto:dvanlandingham@broward.org) or 954-519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at [http://www.broward.org/pprd/cs\\_dewatering.htm](http://www.broward.org/pprd/cs_dewatering.htm).
34. Apply and obtain a SFWMD dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg ([smemberg@sfwmd.gov](mailto:smemberg@sfwmd.gov)).
35. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dogniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
36. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
37. Submit the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.
38. Please note that any lighting within the City's Right-of-Way, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a Revocable License agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in or near the Right-of-Way. Please contact the Facilities Maintenance office, David Smith at 954-828-6560, for information concerning the lighting within the City's Right-Of-Way.

39. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
40. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at [rjohnson@fortlauderdale.gov](mailto:rjohnson@fortlauderdale.gov) or 954-828-7809, as well as proposed methods of noise, vibration, and odor mitigation.

**Case Number: R16010**

**CASE COMMENTS:**

Please provide a response to the following:

1. Building needs to conform to section FBC 403 for high rise.
2. Is the egress discharge for exits and stairwell on first floor must lead to a public way.
3. Need fire command room must have the door to the outside FBC 403.4.6
4. Elevators must comply with FBC 403.6.1
5. Pool deck requires two exits and doors to swing in direction of travel.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. No comment

Please consider the following prior to submittal for Building Permit:

1. Must conform to FBC section 403 for high rise buildings.
2. Provide two water supplies per FBC 403.3.2



**Case Number: R16010**

**CASE COMMENTS:**

Please provide a response to the following:

1. Per 47-25.2. B. *Communications network*. Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.
2. Based upon the location of the proposed structure, and its distance from the City's radio sites, it is anticipated that this structure may require a Bi-Directional Amplifier system. A qualified BDA designer/installer with local knowledge shall be needed to review this proposed plan. A computer generated "heat map" showing anticipated unenhanced signal strengths within all areas of the proposed structures shall be required as part of this site plan review. If this computer generated heat map reveals that there will be insufficient signal strength to support the City's public safety radio communications network, a Bi-Directional amplifier system will be required.
3. Please identify and provide contact information for the contractor chosen to evaluate and map radio system signal strength levels for this project. The BDA contractor shall provide signal strength calculations and computer generated heat maps showing unenhanced signal strengths expected within the completed building to the City's Assistant Telecommunications Manager. These heatmaps need to be completed prior to obtaining building permits.
4. Additional guidance may be obtained from Gary Gray, Assistant Telecommunications Manager/Radio Systems Manager by contacting him via e-mail or telephone at the numbers listed above. All heatmap documentation shall accurately depict interior partitions, support columns and other internal structures that can impact radio wave propagation.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

Please consider the following prior to submittal for Building Permit:

1. If it is determined that the BDA system will be required, BDA design plans and heatmaps will be required showing signal strengths expected after BDA installation and the proposed system design with equipment list. These plans shall be submitted to the Telecommunications Section for approval prior to issuance of a permit.

**Case Number: R16010**

**CASE COMMENTS:**

Please provide a response to the following:

1. The right side appears to have been cut off from printing. Please clarify.
2. Consider protecting trees #10, #14, and #36. They are large Oak trees that are valuable tree canopy to this neighborhood.
3. Consider relocating the Bismarkia Palms. They are spectacular!
4. Consider shifting or shrinking the drop-off sidewalk to allow for a consolidated canopy tree planting area. Royal Palms are not acceptable in this space.
5. The proposed streetscape must be in compliance with Chapter 4 of the Design Guidelines for local streets.
6. Italian Cypress does not count toward tree canopy mitigation.
7. Note that Roystonea, Cocos and Phoenix palm species are all mitigated at \$35 per foot of existing clear trunk. Please adjust calculations.
8. Provide larger Oaks in street tree areas for appropriate pedestrian and vehicle clearance. This will also help to offset remaining mitigation.
9. The small planting strip between the parallel parking and sidewalk seems awkward with the Myrcianthes and Liriope. Consider different plant materials in this space or converting this to sidewalk surface.
10. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Provide structural soil 3' deep x 8' minimum radii from trunk of large canopy trees. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil>
11. Illustrate the location of overhead utilities and follow FPL Right Tree Right Place guidelines for tree selection and placement.
12. Utilities and site amenities such as walkways, flagpoles, transformers, fire hydrants, sewer and water supply lines, trash enclosures, and similar items located on the site shall not be placed in or under required tree planting areas, as per ULDR Section 47-21.12. Confirm with civil, site and life safety plans that utilities and site amenities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility and/or site amenities.
13. Light fixtures with an overall height of more than ten feet shall be located a minimum of 15 feet aware from shade trees, as per ULDR Section 47-21.12.

**GENERAL COMMENTS:**

**Please consider the following prior to submittal for Building Permit:**

14. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
15. A separate sub-permit application for General Landscaping is required at time of master permit submittal.

16. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6.A.11 and 47-21.10.
17. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.

**Case Number: R16010**

**CASE COMMENTS:**

Please provide a response to the following:

- 1) This application is subject to the Public Participation requirements of Unified Land Development Regulations (ULDR) Section 47-27.4.A.2.c., prior to submittal of the application to the Planning and Zoning Board (PZB), a notice from the applicant via letter or e-mail shall be provided to official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.

The applicant shall then conduct a public participation meeting(s) a minimum of 30 days prior to the PZB. This date and location of the meeting is at the discretion of the applicant. Once the meeting(s) is/are conducted, the applicant shall provide a written report letter to the Department of Sustainable Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after a public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the administrative case file record.

The applicant shall, 10 days prior to the PZB, execute and submit to the department an affidavit of proof of public notice according to this section. If the applicant fails to submit the affidavit, the public hearing will be postponed until the next available hearing date after the affidavit has been supplied.

- 2) The site is designated Downtown Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination of consistency with the City's Comprehensive Plan Goals, Objectives and Policies.
- 3) As this application requests dwelling units in the Downtown RAC, the proposed project requires review and approval by the City Commission. Also, as this application requests additional height through the conditional use process, the proposed project requires review and recommendation by the PZB. Separate submittals are required for City Commission and PZB review, and the applicant is responsible for all public notice requirements (Sec. 47-27). Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. *Power Point*, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information (954-828-5265). Attach all narratives provided to City Commission, if applicable, and Final DRC sets.
- 4) Verify that copy of plat is the most current recorded plat, including notes and amendments, for the proposed site. Provide documentation from the Broward County Planning Council verifying that the site does not require platting or replatting. If replatting or platting is not required, contact the Development Review Services Section of the Planning and Environmental Regulation Division of Broward County at (954) 357-6637 to ensure that proposed project is consistent with the latest recorded plat restriction.
- 5) Discuss and provide responses and/or make site plan revisions to address the Design Review Team (DRT) comments.
- 6) Building Design:
  - A. To balance request for increased building height, incorporate more useable landscape/open public space(s) along the building's frontage, incorporating green design/plaza elements to contribute to the public realm. Consolidate utility space at southeast corner and open space at northeast corner to create functional open space(s) in their place. Consider incorporation of courtyard area(s) to balance the open space needs of the neighborhood.
  - B. Please refer to Downtown Master Plan Character Area guidelines for building form and neighborhood scale.
  - C. Consider green roof at top of tower;

- D. Consider new FEMA flood regulations when designing how the building shapes the public realm. Ground-level transition between indoors and out should feel as seamless as possible;
  - E. In order to most effectively animate pedestrian environment, ensure ground floor windows are of clearest glass allowed by Building Code;
  - F. Provide more variation along roof line to break up flat parapet.
  - G. Confirm roof plan shows location of all mechanical equipment and includes spot elevations of all mechanical equipment to verify proposed screening adequately shields all equipment from view. In addition, indicate all mechanical equipment within the subject site on the site plan and elevations where applicable;
  - H. Coordinate placement of FPL equipment and other utilities with corresponding agencies in advance in order to locate these facilities inside the building and not in the public realm;
  - I. Consider placing bike storage at northwest corner of ground floor to allow direct access from street;
  - J. Consider implication of blank walls as they relate to future redevelopment of smaller parcel on the north side of site. Consider additional setback area to reduce and mitigate impact of podium and tower.
  - K. Garage door not permitted.
- 8) Streetscape Design:
- A. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground provide documentation from FP&L indicating such.
  - B. Follow Local Street Section from Downtown Master Plan on NE 1<sup>st</sup> Avenue. Palms at street corners only. Shade trees should be spaced 30' apart between parking lane and sidewalk.
- 9) Pursuant to ULDR Sec. 47-22.4.C.8, provide a master sign plan detailing the information below. Please note, any proposed signs will require a separate permit application:
- a. Location and orientation of all proposed signage;
  - b. Dimensions of any proposed signage (height, width, depth, etc.);
  - c. Proposed sign copy; and
  - d. Proposed colors and materials.
- 10) Correct North East Oblique View perspective to accurately depict north wall of podium.
- 11) It is recommended the following pedestrian and bicycle-related comments be addressed:
- 1. Per Sec. 47-25.2.M.6. (Adequacy requirements / Transportation / Pedestrian facilities): Sidewalks pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties.
  - 2. Consider installation of a B-cycle bike-sharing station as an amenity for residents. Contact Bob Burns, President, B-cycle, 940-478-2191, [bburns@bcycle.com](mailto:bburns@bcycle.com).
  - 3. Label all proposed pedestrian access/circulation areas: sidewalks, paths, crosswalks etc. (including width) to/from and within the site.
  - 4. Site plan design indicates pedestrian/vehicle conflict areas. Accommodate safe pedestrian access, particular to/from public sidewalks, vehicle parking areas and building entrances.
  - 5. Provide bicycle parking, for both residents and visitors, in visible, well-lit areas as close as possible to pedestrian entryways/doors. In addition where possible, locate bicycle parking facilities in an area that is sheltered/covered.
  - 6. Provide bike storage lockers with air pumps for residents. Send email to Karen Mendrala at [kmendrala@fortlauderdale.gov](mailto:kmendrala@fortlauderdale.gov) for information on bicycle parking standards and to obtain a copy of the Assoc. of Pedestrian and Bicycle Professionals [APBP] Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facility Guide.
- 12) Consider employing green building practices throughout the project including, but not limited to electric vehicle charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs. At DRC Meeting discuss project's sustainable design features.
- 13) Clarify parking requirements. If applicant proposes a parking reduction, please coordinate with Transportation and Mobility.

- 14) Extend values on photometric plans to all property lines. Show values as pursuant to Sec. 47-25.3.A.3.a and 47-20.14. Indicate lighting poles on site plan and landscape plan, and provide dimensions and detail. Garage internal lighting fixtures and glare cannot be visible from neighboring properties.
- 15) Please be aware the proposed development may be required to meet the elevation standards of the American Society of Civil Engineers/Structural Engineering Institute (ASCE/SEI) for Design Flood Elevation (DFE) and in conformance with Section 1612.4, *Design and Construction* of the Florida Building Code. All applicants are encouraged to discuss these requirements in detail with the City's Chief Building Official or his/her designee. Prior to Final DRC sign-off, applicant is required to submit two signed/sealed originals of the "Flood Zone Data" form along with all other submittal requirements.
- 16) This project is subject to the requirements of Broward County Public School Concurrency. The City will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board must be provided to the project planner. In addition, no residential development application shall receive final DRC approval without proof and confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied.
- 17) The City's Comprehensive Plan and ULDR, in compliance with state concurrency laws, requires developments that may impact mass transit services to be evaluated by the provider of those services. The applicant is advised to meet with Broward County Transit to verify availability of service, or to obtain information on any needed enhancements to assure service. Contact Noemi Hew, Broward County Transit at 954-357-8380, and provide documentation of the result of this consultation.
- 18) In regard to physical communication and radar obstructions, the FAA requires a review for interference by the proposed construction. Provide a letter from the FAA indicating that such review has been performed. FAA approval must be obtained prior to Final-DRC sign-off unless otherwise deemed unnecessary by the City Airport Manager or designee.

#### General Comments

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

- 19) All construction activity must comply with Sec. 24-11, Construction sites. Contact John Madden, Chief Building Inspector, at 828-5202 to obtain his signature on the final DRC plans.
- 20) Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: [http://ci.ftlaud.fl.us/building\\_services/park\\_impact\\_fee\\_calc.htm](http://ci.ftlaud.fl.us/building_services/park_impact_fee_calc.htm).
- 21) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner (954-828-5265) to review project revisions and/or to obtain a signature routing stamp.
- 22) Provide a written response to all DRC comments within 180 days.

Please consider the following prior to submittal for Building Permit:

- 23) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on an additional site plan, to avoid additional review in the future. Ensure details and location receives approval from the Building Service Department's DRC Representative.

# CITY OF FORT LAUDERDALE DOWNTOWN MASTER PLAN DESIGN GUIDELINES

## Design Review Team (DRT) Comments

**Case Number:** DRT15012  
**Project Name:** 1<sup>st</sup> Avenue Lofts  
**Project Address:** 626-636 NE 1<sup>st</sup> Ave.

**Zoning District:** RAC-UV  
**Character Area:** Urban Neighborhood  
**Date of Review:** 11-16-15

PRINCIPLES OF STREET DESIGN		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
S1	Maintain fine-grained street grid: discourage vacations.			√	
S2	Utilize Traffic Calming rather than blocking streets.			√	
S3	Maximize on-street parking except on major arterials. <b>Provide dimensions for on-street parking spaces.</b>				√
S4	Provide adequate bike lanes in a planned network (next to on street parking: 5ft; next to travel lane: 4ft). <b>Coordinate with Transportation and Mobility Department</b>				√
S5	Maximize street trees on all Downtown Streets. <b>Follow Local Street Section, provide dimensions.</b>				√
S6	Encourage location of primary row of street trees between sidewalk and street. <b>Follow Local Street Section, provide dimensions.</b>				√
S7	Maximum spacing for street trees: Palms -22ft.; Shade trees - 30 ft.				√
S8	Minimum horizontal clearance (from building face) for trees: Palms - 6ft; Shade trees - 12ft.				√
S9	Encourage shade trees along streets, palm trees to mark intersections. <b>Provide Landscape Plan.</b>				√
S10	Eliminate County "corner chord" requirement not compatible with urban areas.			√	
S11	Encourage curb radius reduction to a preferred maximum 15ft; 20ft for major arterials. <b>Provide dimensions.</b>				√
S12	Discourage curb cuts on "primary" streets. <b>To be less impactful on the public realm, consolidate two ingress and two egress driveways into four.</b>		√		
S13	Encourage reduced lane widths on all streets. <b>Follow Local Street Section, provide dimensions.</b>				√
S14	Encourage reduced design speeds on all RAC streets (15 - 40 mph). <b>Follow Local Street Section, provide dimensions.</b>				√
S15	Encourage fixed Rights-of-Way and setbacks for all Downtown streets (to eliminate uncoordinated City setback and County easement requirements). Note: Downtown local streets have varying ROW's and section design may need to be flexible to respond to the specific ROW conditions. <b>Follow Local Street Section, provide dimensions.</b>				√
S16	Bury all power lines in the Downtown Area. <b>Provide documentation.</b>				√
PRINCIPLES OF BUILDING DESIGN		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
B1	Framing the street: building "streetwall" should generally meet setback line (within a percentage).		√		

B2	Framing the street: encourage open space site requirements for use as pedestrian public space instead of unusable, leftover 'green perimeter'.		✓		
	<b>Dimensions and quality of open space at ground floor are unclear.</b>				
B3	Framing the street: minimum and maximum building 'streetwall' heights (see character area guidelines for specifics).	✓			✓
B4	Framing the street: encourage maximum building 'streetwall' length of 300ft.	✓			
B5	Preferred maximum 'floorplate' area for towers (see character area guidelines for specifics). <b>In order to bring floorplate size into compliance consider a taller tower or two towers.</b>		✓		
B6	Where towers are located on Primary (>60ft wide) and Secondary (< or = 60ft wide) Streets, the towers are encouraged to orient towards the Primary Street.			✓	
B7	Where towers are located on streets < or = 60ft, increased setbacks from the 'shoulder' are encouraged to reduce the impact on the street.	✓			
B8	Surface parking: discourage frontage and access along 'primary' street.	✓			
B9	Parking garages: encourage access from secondary streets and alleys.			✓	
	Encourage street level activities and minimize visual exposure of parking, with active space on the ground floor of a parking garage. <b>Minimize impact of four-lane driveway on streetscape.</b>				✓
	Upper floors of a parking garage should not be visible along primary streets, waterways, and parks. Active spaces on the upper floors are encouraged as a preferred design.	✓			
B10	Encourage main pedestrian entrance to face street. Re-evaluate relationship of lobby entrance to driveways.		✓		
B11	Maximize active uses and 'extroverted' ground floors with retail in strategic locations.			✓	
B12	Encourage pedestrian shading devices of various types.		✓		
B13	Encourage balconies and bay windows to animate residential building facades. <b>Improve north and south facades with balconies and bay windows.</b>				✓
B14	In residential buildings encourage individual entrances to ground floor units (particularly in the Urban Neighborhood Character Area).	✓			
B15	High rises to maximize active lower floor uses and pedestrian-oriented design at ground floor.	✓			
B16	Building Design guidelines do not apply to Civic Buildings and Cultural Facilities.			✓	
B17	Discourage development above right-of-way (air rights).			✓	
B18	Mitigate light pollution.				✓



B19	Mitigate noise pollution.				√
B20	Vertical open space between towers on adjacent lots: Towers are encouraged to maintain vertical open space alongside and rear lot lines: minimum horizontal distance of 30 ft (abutting property owners can coordinate tower placement as long as maintain 60 ft clearance).			√	
B21	Vertical open space between multiple towers on a single development site: no less than 60 ft apart.			√	
B22	Residential: Encourage minimum ground floor elevation of 2 ft above public sidewalk level for individual ground floor entrances to private units. <b>Provide section detail of relationship of townhouses to sidewalk and dimension.</b>				√
B23	Avoid drive thrus in the wrong places.			√	
B24	The Fifth Façade: Encourage green roofs as visual amenities that provide a combination of usable, landscaped spaces (recreation & open space benefits) and sustainable roof treatments (environmental benefits). <b>Provide landscape design for pool area.</b>				√
<b>QUALITY OF ARCHITECTURE</b>		<b>Meets Intent</b>	<b>Doesn't Meet Intent</b>	<b>N/A</b>	<b>More Information Needed</b>
Q1	Skyline Drama: Encourage towers to contribute to the overall skyline composition.			√	
Q2	Expressive Tops: Encourage expressive tops for tall buildings above 37 stories in Near Downtown and Downtown Core.			√	
Q3	Durability and Quality of Materials: Encourage high quality materials for the entire building, with special emphasis on detailing and durability for the first 2 floors. <b>Provide photographic details of cladding materials.</b>				√
Q4	Respect for Historic Buildings.			√	
Q5	Parking Podium Façades: Where structured parking must be exposed to the street, exceptionally creative solutions should be explored. <b>Provide visual interest to north, east and south facades of parking garage.</b>				√
Q6	Response to Natural Environment: Encourage architecture to respond to the unique nature of the south Florida environment (solar orientation, wind direction, rain). Examples: Open breezeway corridors oriented toward prevailing winds; energy efficient glazing; above ground stormwater capture and re-use through bio-swales and rain gardens; solar roof panes/awnings. <b>Provide landscape design for pool area.</b>				
Q7	Creative Façade Composition: Encourage a rich layering of architectural elements throughout the building, with special attention to facades below the shoulder level. <b>Provide more articulation and architectural variation especially on ground floor and townhouses.</b>		√		
Q8	Original, Self-Confident Design: Encourage a range of architectural styles that each create a strong identity, strive for the highest quality expression of its chosen architectural vocabulary. <b>Provide more articulation and architectural variation especially on ground floor and townhouses.</b>				√
<b>STORE FRONTS</b>		<b>Meets Intent</b>	<b>Doesn't Meet</b>	<b>N/A</b>	<b>More Information</b>

			Intent	Needed
SF1	Retail Location Strategy: Encourage ground floor retail in preferred locations.			√
SF2	Encourage a combination of storefront styles and types in adjacent buildings, or within single buildings, to create variety and visual interest at the street level.			√
SF3	Encourage durable materials for ground floor retail and cultural uses.			√
SF4	Encourage 15 ft minimum floor-to-floor height and encourage interior ground floor flush with adjacent public sidewalk.			√
SF5	Encourage significant glass coverage for transparency and views. Encourage restaurants to provide clear visual and physical connections to outdoor seating.			√
SF6	Encourage pedestrian shading devices of various types (min 5 ft depth).			√
SF7	Encourage multi-level storefront displays to disguise unfriendly uses or blank walls.			√
SF8	Encourage well-designed night lighting solutions.			√

CHARACTER AREAS		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
<b>Downtown Core</b>					
1A	Frame the street with appropriate streetwall heights: Shoulder: 3-9 floors, Towers: no max.			✓	
1B	Signature Tower: Special architectural design encouraged for buildings over 37 floors.			✓	
1C	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below.			✓	
Tower guidelines: <i>Non-residential:</i> preferred 32,000GSF floorplate max. <i>Residential:</i> Buildings up to 15 floors: preferred 18,000GSF floorplate max. <i>Residential:</i> Buildings over 15 floors: preferred 12,500GSF floorplate max.				✓	
<b>Near Downtown</b>					
2A	Frame the street with appropriate streetwall heights: Shoulder: 3-7 floors, Non-tower option: 9 floors max with min 15ft stepback on portion over 7 floors. No max floorplate up to 9 floors.			✓	
2B	Encourage maximum building height of 30 floors.			✓	
2C	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below.			✓	
Tower guidelines: <i>Non-residential:</i> preferred 32,000GSF floorplate max. <i>Residential:</i> Buildings up to 15 floors: preferred 18,000GSF floorplate max. <i>Residential:</i> Buildings up to 30 floors: preferred 12,500GSF floorplate max.				✓	
<b>Urban Neighborhood</b>					
3A	Frame the street with appropriate streetwall heights: 2 to 6 floors.	✓			
3B	Townhouses are a suitable option, especially on alley blocks.	✓			
3C	Encourage neighborhood-scaled streetscapes. Building Shoulder: 2 to 6 floors	✓			
Tower Guidelines: <i>Non-residential:</i> 8 floors max with a min 12ft stepback on portion over 6 floors: preferred 16,000 GSF floorplate max. <i>Residential:</i> 12 floors max with a min 12ft stepback on portion over 6 floors: preferred 10,000 GSF floorplate max. <b>In order to bring floorplate size into compliance consider a taller tower or two towers.</b>			✓		

<b>TOD Guidelines</b> ( T1 Refers to Applicability to Regional Activity Center.)	Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
T2 Discourage land uses that are incompatible with transit and walkability. (Refer to Sec. 47-13, Land Development Regulations.)	√			
T3 Encourage pedestrian connections to transit stops and bike parking. <b>Coordinate with Transportation and Mobility Department.</b>				√
T4 Encourage bike connections to transit stops and bike parking. <b>Coordinate with Transportation and Mobility Department.</b>				√
T5 Parking consistent with TOD Principles.				
<ul style="list-style-type: none"> <li>Encourage structured parking with screening or liner building if parking provided.</li> </ul>	√			
<ul style="list-style-type: none"> <li>Surface parking should be configured into smaller lots rather than one large lot.</li> </ul>			√	
<ul style="list-style-type: none"> <li>Surface parking discouraged except pick up/drop off within 200 feet of a Gateway Hub transit station.</li> </ul>			√	
<ul style="list-style-type: none"> <li>Parking should not face onto plaza or park space of any transit station.</li> </ul>			√	
<ul style="list-style-type: none"> <li>Include parking for mopeds, scooters, motorcycles, and other similar vehicles.</li> </ul> <b>Show parking spaces for mopeds, scooters, motorcycles and other similar vehicles.</b>				√
T6 Incorporate Transportation Demand Management (TDM).				
<ul style="list-style-type: none"> <li>Encourage carpooling or vanpooling.</li> </ul>			√	
<ul style="list-style-type: none"> <li>Encourage car or bike sharing.</li> </ul>			√	
<ul style="list-style-type: none"> <li>Offer flexible hours.</li> </ul>			√	
<ul style="list-style-type: none"> <li>Provide shared parking.</li> </ul>			√	
T7 Reduce parking to eliminate excess pavement and promote highest and best use of land within the station area. (Refer to Sec. 47-20, Land Development Regulations.)			√	
T8 Encourage green buildings, green site design and green infrastructure. <b>Provide description of the building's green features.</b>				√
T9 Create attractive, active and safe multimodal systems.			√	
<b>COMMENTS</b>				
1 Show alley reservation on site plan				
2 Site plan does not indicate doorways at ground level.				
3 Reduce vehicular access along front façade and emphasize pedestrian entrance. Adjust building design to maximize quality of public realm.				
4. Dimension street section showing relationship of building to street.				
5. Confirm slope is correct on garage ramp.				
6. Ground floor plan needs redesign and reevaluation.				

**Case Number: R16010**

Flagler 626

**CASE COMMENTS:**

Please provide a response to the following:

1. Signage should be used to direct visitors to lobby.
2. The residential lobby should provide a video call box for visitors.
3. Stairwells should egress only first floor
4. Easily identifiable and accessible emergency communication devices should be placed in the parking garage
5. Light reflection type paint should be considered to increase ability to observe movement in the garage
6. Consider how separation of parking will be handled (resident vs. guest) to keep unwanted pedestrian activity from entering restricted areas
7. Elevators should be access controlled
8. All doors should be impact, metal, or solid core. Secondary locks should be provided along with an 180 degree view finder on solid doors
9. Consider pre-wiring units for alarm systems
10. Consider the use of CCTV at all entrance/exit points of the buildings including the parking garage; all lobby areas, all stairwells, all elevators, strategically placed throughout parking garage, and common areas. CCTV should be monitored and recorded to a remote location.
11. The emergency exit hallway next to the lobby should provide viewing from the lobby as this hallway provides access from stairwells and parking garage.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Noted: Ground floor access control will be used.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

**Case Number: R16010**

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be included in monthly maintenance fee as prescribed in owner's association documents (Multi-family).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Solid Waste Collection shall be on private property container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Provide on the site plan a garbage truck turning radii for City review. Indicate how truck will circulate within property.
8. Commercial – Strip stores shall share bulk container to avoid each tenant having a dumpster.
9. Solid waste collection shall be from a private loading dock.
10. Solid Waste transport to trash rooms or to primary waste container shall be performed inside building using interior service corridor (Retail, Office, Condo, Hotel).
11. Containers: must comply with 47-19.4
12. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strength apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
13. Provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building.
14. Recommend trash chute accommodate recycling.
15. Draw equipment on plan to show it will fit in trash room.
16. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
17. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - o This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to [smccutcheon@fortlauderdale.gov](mailto:smccutcheon@fortlauderdale.gov). Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
  - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

**GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building.

**Case Number: R16010**

**CASE COMMENTS:**

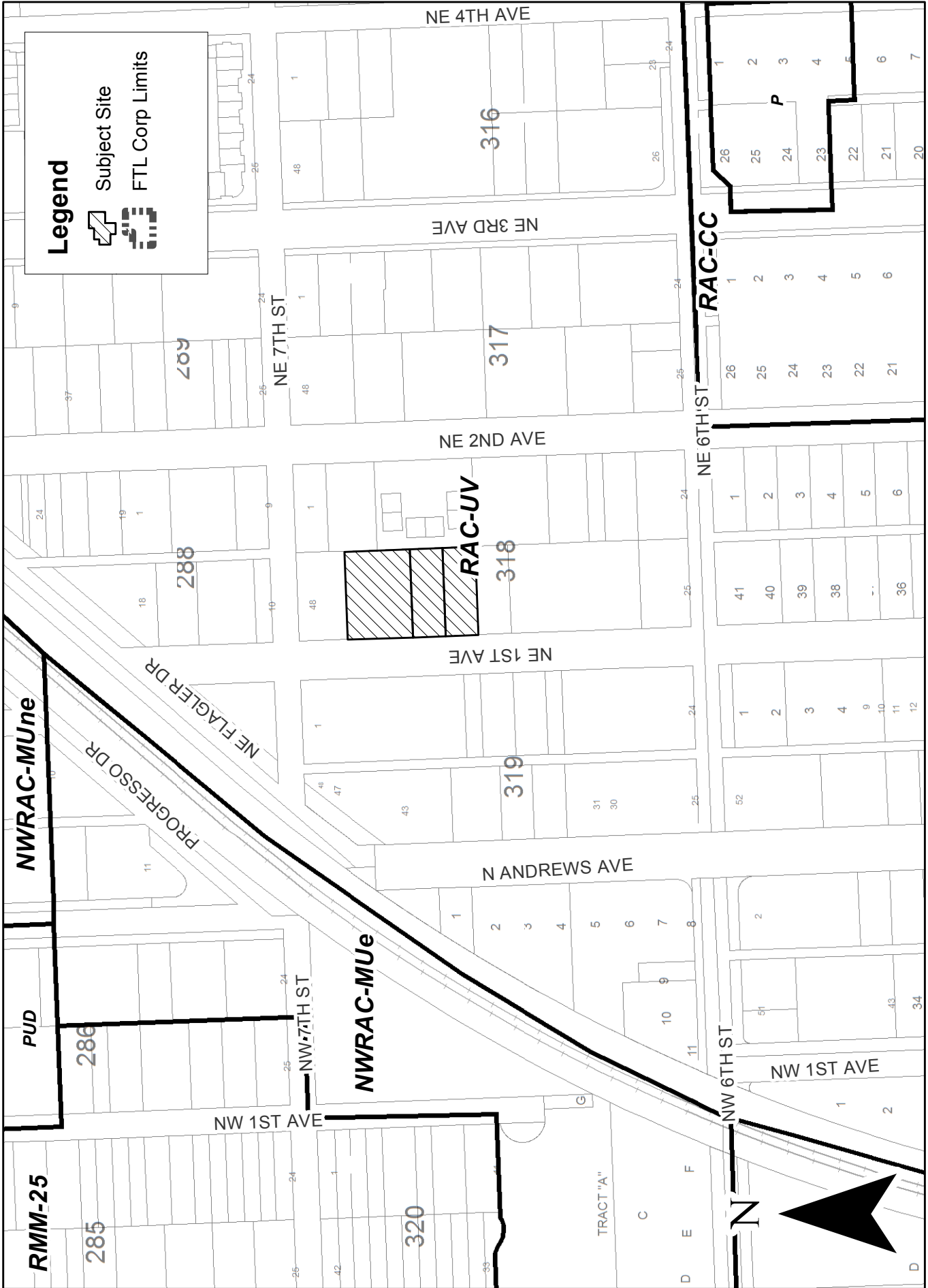
1. Submit a traffic impact statement and coordinate with the Transportation and Mobility Department regarding traffic calming, a parking reduction, and a traffic impact study if needed. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks.
2. Bicycle parking is strongly encouraged, covered if possible with a bike pump. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide the minimum long term and short term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet.
3. Please provide the total number of all on street parking spaces in the parking data table.
4. Please remove entry sidewalk strip on NE 1<sup>st</sup> Ave. Consider adding an additional on-street parking space in lieu of the sidewalk strip.
5. Please coordinate the relocation of the FPL vault to ensure it is in a suitable location for both the City and FPL.
6. Ensure adequate ADA parking spaces are provided onsite.
7. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan.
8. Additional comments may be provided upon further review.
9. Signature required.

**GENERAL COMMENTS:**

Please address comments below where applicable.

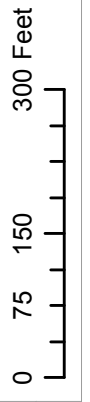
1. Contact Eric Houston at 954-828-5216 or [ehouston@fortlauderdale.gov](mailto:ehouston@fortlauderdale.gov) to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.





**Legend**

-  Subject Site
-  FTL Corp Limits



Graphic Scale

**R16010**

Path: J:\DSD\DRCLocation\Maps\_16\_RM\ArcMap\NewDRC20160322R\16010LocMap.mxd