

Page 1: DRC Vacation / Agreements - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Sage Hospitality, LLC / Sunil Patel
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	10901 Pine Lodge Trail, Davie FL 33328
E-mail Address	Sunny35@bellsouth.net
Phone Number	863-228-2772
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Synalovski Romanik Saye , LLC/ Steven Hatzidakis
Applicant / Agent's Signature	
Address, City, State, Zip	1800 Eller Drive, Fort Lauderdale Florida 33316
E-mail Address	Shatzidakis@Synalovski.com
Phone Number	954-961-6806
Letter of Consent Submitted	

Development / Project Name	Holiday Inn Express	
Development / Project Address	<u>Existing:</u> 1500 SE 17th street	<u>New:</u> Same
Legal Description	PARCEL "A", "ZIMMERMAN", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 158, PAGE 42, PUBLIC RECORDS OF BROWARD CO	
Tax ID Folio Numbers (For all parcels in development)	504214450010	
Request / Description of Project	Expansion to the existing Hotel	
Applicable ULDR Sections		
Total Estimated Cost of Project	\$ 8,000,000.00 (Including land costs)	

Current Land Use Designation	Commercial
Current Zoning Designation	B-1
Current Use of Property	Hotel no change

Additional property owners who wish to be included in the request, if applicable. Use additional sheets if necessary.				
Name and Signature	Folio Number	Subdivision	Block	Lot

NOTE: Applicant must indicate if/how the following provisions are met:

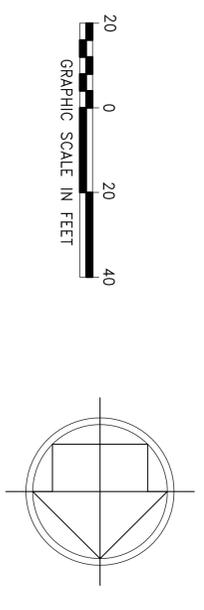
- All utilities (list below) located within the easement and/or right-of-way must be relocated pursuant to a relocation plan; and
- The owner of the utility facilities must consent to the vacation; or
- A utilities easement must be retained over the area or portion thereof; or
- An easement in a different location must be provided for the utility facilities by the owner to the satisfaction of the City; or
- Any combination of same and utilities maintenance are not disrupted.
- Applicants shall satisfactorily support vacation requests by addressing each point listed in Sections 47-24.6 and 47-24.7 of the city's Unified Land Development Regulations (ULDR) as applicable.

TECO, Peoples Gas
 5101 NW 21st Avenue
 Fort Lauderdale, FL 33309
 (954) 453-0817, (954) 453-0804 fax

Florida Power and Light
 Service Planning
 3020 N.W. 19 St.
 Fort Lauderdale, FL 33311
 (954) 717-2057, (954) 717-2118 fax

BellSouth
 8601 W. Sunrise Blvd., 2nd Floor
 Plantation, FL 33322
 (954) 476-2909

Comcast, Inc.
 2501 SW 145 Ave, Suite 200
 Miramar, FL 33027
 (954) 534-7417, (954) 534-7083 fax



ALTA/ACSM LAND TITLE SURVEY

- LEGEND:
- CHKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FLD/PG FIELD BOOK AND PAGE
 - SIR SET 5/8" IRON ROD & CAP #6448
 - SNC SET NAIL AND CAP #6448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - CR CABLE RISER
 - FPL FLORIDA POWER & LIGHT
 - FNC FOUND NAIL AND CAP
 - FND FOUND NAIL & DISC
 - P.B. PLAT BOOK
 - X- CHAIN LINK / WOOD FENCE
 - CS CONCRETE BLOCK STRUCTURE
 - A/C AIR CONDITIONER
 - PRM PERMANENT REFERENCE MONUMENT
 - ALTA AMERICAN LAND TITLE ASSOCIATION
 - ACSM AMERICAN CONGRESS ON SURVEYING & MAPPING
 - ORB OFFICIAL RECORDS BOOK
 - ORB OFFICIAL RECORDS BOOK
 - EE- OVERHEAD UTILITY LINE
 - CLP CONCRETE LIGHT POLE
 - DDCV DOUBLE DETECTOR CHECK VALVE
 - WPP WOOD POWER POLE
 - SEC SECTION
 - SO.FT. SQUARE FEET
 - (P) PLAT
 - NON-VEHICULAR ACCESS LINE
 - NTS NOT TO SCALE

LAND DESCRIPTION :
 PARCEL "A", "ZIMMERMAN", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 158, PAGE 42, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATION
 I HEREBY CERTIFY TO:

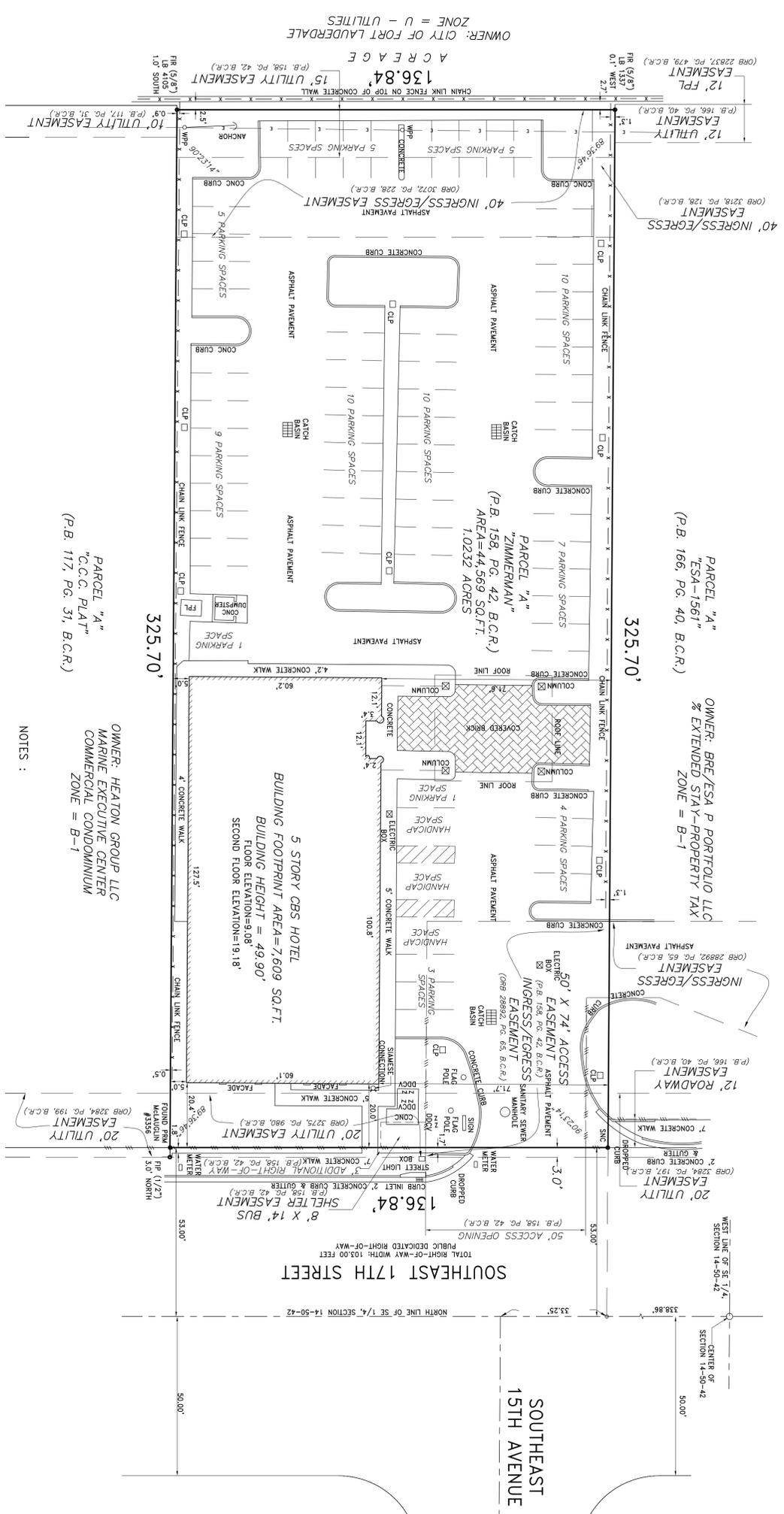
OCEAN BANK, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR SAGE HOSPITALITY, LLC, A FLORIDA LIMITED LIABILITY COMPANY FIDELITY NATIONAL TITLE INSURANCE COMPANY FROMBERG, PERLOW & KORNIK, P.A.

THAT (A) THIS SURVEY WAS PREPARED UNDER MY SUPERVISION; (B) THE LEGAL DESCRIPTION OF THE PROPERTY AS SET FORTH HEREIN, AND THE LOCATION OF ALL IMPROVEMENTS, FENCES, EASEMENTS, ROADWAYS, RIGHTS OF WAY AND SETBACK LINES WHICH ARE EITHER VISIBLE OR OF RECORD IN BROWARD COUNTY, FLORIDA (ACCORDING TO TITLE SEARCH REPORT: COMMITMENT NO.: C-3129550, EFFECTIVE DATE DECEMBER 09, 2008), ARE ACCURATELY REFLECTED HEREON; AND (C) THIS SURVEY ACCURATELY DEPICTS THE STATE OF FACTS AS THEY APPEAR ON THE GROUND, THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2001-1, AND INCLUDES ITEMS 1, 2, 3, 4, 6(G), 7(G), 7(B)(1), 7(G), 8, 9, 11 (G), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF; PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 05/22/13 FOR THE FIRM BY: *Richard E. Cousins*

RICHARD E. COUSINS
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION No. 4188.



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125105
PANEL NUMBER	0219 F
ZONE	AE
BASE FLOOD ELEVATION	7
EFFECTIVE DATE	10/02/97



OWNER: HEATON GROUP LLC
 MARINE EXECUTIVE CENTER
 COMMERCIAL CONDOMINIUM
 ZONE = B-1
 (P.B. 117, PG. 31, B.C.R.)

NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON COMMITMENT FOR TITLE INSURANCE ISSUED BY ATTORNEYS' TITLE INSURANCE COMPANY EFFECTIVE DATE DECEMBER 09, 2008. (COMMITMENT NO.: C-3129550)
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- BENCHMARK DESCRIPTION: ELEVATION ON SOUTHEAST PRM PER PLAT (P.B. 158, PG. 42, B.C.R.) ELEVATION=6.87'
- ZONING : B-1 - BOULEVARD BUSINESS
- SET BACKS REQUIREMENTS:
 MAXIMUM HEIGHT 150 FEET MINIMUM FRONT YARD = 5 FEET
 MINIMUM CORNER YARD = 5 FEET MINIMUM SIDE YARD = NONE
 MINIMUM REAR YARD = NONE
- PARKING SPACES: 3 HANDICAP SPACES
 70 REGULAR SPACES
 73 TOTAL SPACES

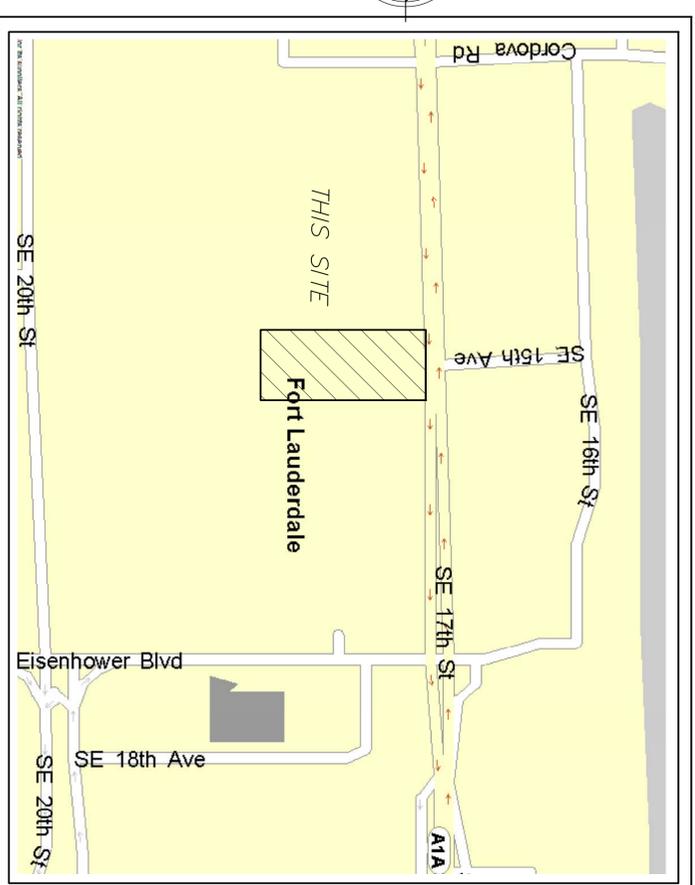
TITLE COMMITMENT REVIEW:

ITEM # 9 - CONDITIONS, EASEMENTS AND RESTRICTIONS PER P.B. 158, PG. 42.; (AFFECTS/PLOTTED)
 AS AFFECTED BY AGREEMENT FOR AMENDMENT OF NOTATION PER ORB 24339, PG. 144. (AFFECTS/NOT PLOTTABLE)

ITEM # 10 - COVENANTS, CONDITIONS AND EASEMENTS PER ORB 3072, PG. 228., ORB 3718, PG. 128. (AFFECTS/PLOTTED)

ITEM # 11 - EASEMENT PER ORB 3275, PG. 980. (AFFECTS/PLOTTED)
 ITEM # 12 - RECIPROCAL INGRESS AND EGRESS EASEMENT AGREEMENT PER ORB (AFFECTS/PLOTTED) 28892, PG. 65.

ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



COUSINS SURVEYORS & ASSOCIATES, INC.
 3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
 SUNNY PATEL

1500 SE 17TH STREET
 FORT LAUDERDALE, FLORIDA 33316

ALTA/ACSM LAND TITLE SURVEY

REVISIONS			
DATE	FB/PG	DWN	CHKD
11/05/08	ORB/ALTA/CDL	AV	REC
12/23/08	---	AV	REC
05/22/13	SKETCH	JB	REC

PROJECT NUMBER : 6201-08
 SCALE : 1" = 20'

SHEET 1 OF 1



CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: September 22, 2015

Project Name: Sage Hospitality, LLC / Holiday Inn Express

Case Number: E15006

Request: 40 foot Ingress / Egress Easement Vacation

Location: 1500 SE 17th Street

Zoning: Boulevard Business (B-1)

Land Use: Commercial

Project Planner: Thomas Lodge

Case Number: E15006

Utility Easement Vacation

1500 SE 17th Street

CASE COMMENTS:

Please provide a response to each of the following comments:

1. Discuss the situation regarding the 40' Ingress/Egress Easement on the adjacent properties to the east. Proper documentation is required that confirms there is egress from the proposed parking garage to the City Right of Way to the east approximately 90'.
2. Approval from Captain Bruce Strandhagen, Fire Plan Review / Fire Investigator is required.
3. Approval from Transportation & Mobility is required prior to moving to the City Attorney's Office.
4. Consider vacation of entire 40' Ingress/Egress Easement and rededication of new Sidewalk Easement through both properties east of the site to the City Right of Way.
5. Coordinate with the City Public Works Department - Utilities, Rick Johnson at RJohnson@fortlauderdale.gov or (954) 828-7809, to determine whether there are any public utilities present within the easement considered for vacation. In addition, full cost of relocation of any utility shall be borne by the Applicant, and the relocation plan shall be reviewed and approved by the City's engineering department prior to the relocation implementation.
6. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date. This requirement applies to any property or properties requesting vacation or dedication.
7. Engineer's certificate required prior to acceptance by the City.
8. Additional comments may be forthcoming upon additional submittal information.

Case Number: E15006

CASE COMMENTS:

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: (<http://www.fortlauderdale.gov/neighborhoods/index.htm>)). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The proposed project requires review and approval by the City Commission. A separate application and fee is required for City Commission review. The application for City Commission can be found on the City website: (<http://www.fortlauderdale.gov/home/showdocument?id=9430>).
- 3) Signoffs from the City Surveyor, the City's Engineering Designee and the City's Transportation and Mobility Department Representative will be required, prior to City Commission submittal. The signoff for the City Surveyor will be routed by the Planning Staff.
- 4) Letters must be provided from Florida Power and Light (FPL), Comcast Cable, AT&T, TECO Gas and the City of Fort Lauderdale Public Works Department, indicating no objections to the vacation. If any easements are required, legal and easement documents must be provided prior to the item being scheduled for City Commission. If any facilities need to be relocated, plans satisfactory to that agency must be approved prior to City Commission submittal.
- 5) Please provide a narrative that explains why a request to vacate the easement is needed. Only a narrative for the Development Review Committee (DRC) project review was provided.
- 6) Pursuant to Chapter 7 of the Florida Building Code (FBC), a five-foot sidewalk easement will be required on the neighboring property to the east, to allow the proposed sidewalk to extend to a right-of-way. This will be a condition of approval of the proposed vacation.
- 7) Indicate the project's compliance with the following Unified Land Development Regulations (ULDR) sections by providing a point-by-point narrative response, on letterhead, with date and author indicated.
 - a) Sec. 47-25.2, Adequacy Requirements; and,
 - b) Sec. 47-24.7.4, Vacation of easement criteria
- 8) The resolution approving the vacation of easement shall be recorded in the public records of Broward County within (30) days after adoption.

GENERAL COMMENTS:

The following easement documents must be reviewed and approved by City Staff, prior to final approval:

- Attorney's Opinion of Title;
- Easement Deed;
- Survey, Sketch and Legal Description; and,
- Joinder, Consent, and Partial Release by Mortgagee/Lien Holder

The instructions and templates for these documents may be found at:

<http://www.fortlauderdale.gov/departments/sustainable-development/building-services/building-permits> listed under the topic "Dedicated Public Rights of Way and Easements." Please submit these documents electronically to Judy Johnson at jjohnson@fortlauderdale.gov.

Case Number: PRW15012

CASE COMMENTS:

Please provide a response to the following:

1. How does this vacation affect the ORB 3218/128 at west end of parcel.
2. Will Exit from back garage end at nearest R/W.
3. If adjacent landowner is used for exiting is there an agreement?

or

NONE – Signature NOT required.

Case Number: E15006

CASE COMMENTS:

1. Please demonstrate that the closure of a right-of-way will not adversely impact pedestrian traffic and that the right-of-way is no longer needed for public purposes, as per section 47-24.6 of the Urban Land Development Regulations.
2. Coordinate with the Transportation and Mobility Department on all ongoing projects & plans in the adjacent area.
3. Additional comments may be provided on further review.
4. Signature Required.

GENERAL COMMENTS:

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval and discussion.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement, electric car charge stations, and installation of multimodal facilities such as bicycle pump stations and bike lockers. For more examples on sustainable and multimodal elements please contact Eric Houston ehouston@fortlauderdale.gov or Alia Awwad aawwad@fortlauderdale.gov.



6
Subject Vacation

SE 15TH AVE

B-1

SE 17TH ST

PARCEL
"A"

PARCEL
"A"

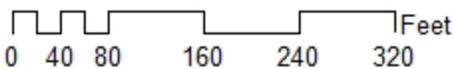
SE 18TH ST

"D"

"GEORGE T. LOHMEYER
REGIONAL WASTEWATER
TREATMENT PLANT"

U

PEDD



E15006