



**DEVELOPMENT REVIEW COMMITTEE (DRC)**  
**Site Plan Application**

- Cover:** Deadline, Notes, and Fees
- Page 1:** Applicant Information Sheet
- Page 2:** Required Documentation / Submittal Checklist
- Page 3:** Technical Specifications for Plan Submittal
- Addendum:** DRC Rezone with Flex Allocation <<if applicable>>
- Addendum:** Parking Reduction Information <<if applicable>>

**DEADLINE:** Submittals must be received by 4:00 PM each business day. Pursuant to Section 47-24.1(1), the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via email, if plans do not meet the submittal requirements and if changes are required.

**NOTES:** Prior to formal submittal of applications, applicants are encouraged to schedule an appointment with Urban Design & Planning Division staff to obtain feedback regarding subject proposals, especially rezoning and right-of-way vacation requests, as well as any other considerable development projects. The meetings provide an opportunity for applicants to obtain feedback and general direction, prior to expending significant effort on design and preparation of submittal documents.

Optional 15-minute time slots are available during DRC meetings for scheduling to applicants, to obtain signatures on completed DRC plans (including Pre-Planning and Zoning Board, Pre- City Commission and Final DRC plans) from all representatives at one time, in preference to scheduling individual appointments. Appointments are subject to availability. To make an appointment, please call 954-828-6531 latest by Friday at 12:00 noon prior to the meeting date.

**FEES:** All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

<input type="checkbox"/> Innovative Development (ID)	\$12,760.00
<input type="checkbox"/> Site Plan Level IV	\$ 4,590.00
<input type="checkbox"/> Site Plan Level III	\$ 3,500.00
<input checked="" type="checkbox"/> Site Plan Level II	\$ 2,470.00
<input type="checkbox"/> Site Plan Level II in DRAC/SRAC-SA	\$ 4,290.00
<small>(DRAC – Includes all requests for residential units and/or new construction only; SRAC-SA – Includes all new construction and/or changes to existing structures subject to 47-3.6)</small>	
<input type="checkbox"/> Change of Use Requiring DRC review	\$ 930.00
<input type="checkbox"/> Parking Reduction <small>(In addition to above site plan fee)</small>	\$ 970.00
<input type="checkbox"/> Request for Flexibility Units/ Acreage <small>(In addition to above site plan fee)</small>	\$ 60.00

## Page 1: DRC Site Plan - Applicant Information Sheet

**INSTRUCTIONS:** The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	1201 East Broward, LLC (John O'Donnell)
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	866 NE 20th Ave, Fort Lauderdale, FL 33304
E-mail Address	billstorr@bellsouth.net (Bill Storrs)
Phone Number	954.525.0089
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	Sarah Owen DelNegri/Flynn Engineering Services, PA
Applicant / Agent's Signature	
Address, City, State, Zip	241 Commercial Blvd, LBTS, FL 33308
E-mail Address	sarah@flynnengineering.com
Letter of Consent Submitted	see attached

Development / Project Name	1201 E. Broward Blvd.
Development / Project Address	<u>Existing:</u> 1201 E. Broward Blvd. <u>New:</u> 1201 E. Broward Blvd.
Legal Description	DAMES & YOUNG RE-SUBDIVISION BLK C, FRANK STRANAHAN'S SUBDIVISION 2-63 D, S2-T50-R42, LOT 1, BLK C
Tax ID Folio Numbers (For all parcels in development)	5042 02 08 0010
Request / Description of Project	1,750sf Professional Office Building (2 story)
Total Estimated Cost of Project	\$ (Including land costs)

Current Land Use Designation	COMMERCIAL
Proposed Land Use Designation	COMMERCIAL
Current Zoning Designation	RO
Proposed Zoning Designation	RO
Current Use of Property	OFFICE
Number of Residential Units	0
Non-Residential SF (and Type)	1,750sf (OFFICE)
Total Bldg. SF (include structured parking)	1,750sf
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)	6,119 sf / 0.1404 ac	6,119 sf / 0.1404 ac
Lot Density	N/A	N/A
Lot Width	45' X 126'	45' X 126'
Building Height (Feet / Levels)	22' (30' with 11' setback)	22'
Structure Length		19' X 84.25'
Floor Area Ratio		0.28
Lot Coverage	Max 40%	1,407 sf / 6,120 sf = 23%
Open Space		4,135 = 67.6%
Landscape Area		2,991 sf = 48.9%
Parking Spaces	7	7

Setbacks (Indicate direction N,S,E,W)	Required	Proposed
Front [S ]	25'	25'
Side [E ]	10'	11'
Side [W ]	15' (CORNER STREET)	15'
Rear [N ]	20'	26.75'

## Page 2: Required Documentation / Submittal Checklist

### One (1) copy of the following documents:

- Completed application (all pages filled out as applicable)
- Proof of ownership (warranty deed or tax record), including corporation documents if applicable
- Property owners signature and/or agent letter signed by the property owner.
- Address verification letter (954-828-5233)
- Traffic study for projects that trigger vehicular trip threshold (See ULDR Sec. 47-24, contact Engineering Rep re: methodology) **N/A**
- Color photographs of the property and surrounding properties, dated, labeled and identified as to orientation, may be submitted by applicant to aid in project analysis.

### The following number of Plans:

- One (1) original set, signed and sealed at 24" x 36"
- Three (3) copy sets, with plans at 24" x 36"
- Five (5) copy sets, with plans at 11" x 17"
- One (1) electronic version of complete application and plans in PDF format

**NOTE:** For initial submittal one signed and sealed set is required. Copied sets will be requested after review for completion. If the development site is separated by a public right-of-way, including alley or alley reservations, a separate application must be completed for each parcel.

### Plan sets should include the following:

- Narrative** describing project specifics, to include: architectural style and important design elements, trash disposal system, security/gating system, hours of operation, etc. Narrative response referencing all applicable sections of the ULDR, with point-by-point responses of how project complies with criteria. Narratives must be on letterhead, dated, and with author indicated.
- Cover sheet** including project name and table of contents.
- Land Use and Zoning maps** indicating all properties within 700 ft. of the subject property. These should be obtained from Urban Design & Planning Division. Site should be highlighted or clearly marked to identify the parcel(s) under consideration on all sets.
- Current survey(s)** of property, signed and sealed, showing existing conditions. The survey should consist of the proposed project site alone excluding adjacent properties or portions of lands not included in the proposal.
- Most **current recorded plat** including amendments, with site highlighted. This may be obtained from Broward County Public Records at 115 S. Andrews Ave. *Note: Not required for Change of Use applications.*
- Aerial photo** indicating all properties within 700 ft. of the subject property. Must be clear and current with site highlighted.
- Plans "A" thru "H"** with all elements as listed under Technical Specifications.
 

A. Site Plan	E. Additional Renderings*
B. Details*	F. Landscape Plans*
C. Floor Plans (typical floor plan may be submitted for like floors)	G. Photometric Diagram*
D. Building Elevations*	H. Engineering Plans*

*\*Only required for Change of Use applications if proposed changes affect the plans, otherwise latest approved plans from Property Records may be submitted if showing current conditions.*

### NOTES:

- All plans and documents must be bound, stapled and folded to 8 1/2" x 11";
- All copy sets must be clear and legible and should include any graphic material in color;
- For examples of project narratives, site plan data tables, and renderings required as part of the application, please refer to the "Submittal Reference Book" available at the Urban Design & Planning office or on the City's website: [http://www.fortlauderdale.gov/planning\\_zoning/dev\\_applications.htm](http://www.fortlauderdale.gov/planning_zoning/dev_applications.htm);
- **Civil Engineering plans are only required at Final-DRC sign-off. Contact DRC Engineering Representative for details;**
- If proposing residential, public School Concurrency Verification Letter from the Broward County School Board (754-321-8350) will be required prior to Planning & Zoning Board, City Commission or final DRC submittal.

<p><b>Applicant's Affidavit</b></p> <p>I acknowledge that the Required Documentation and Technical Specifications of the application are met:</p> <p>Print Name <u>Sarah Owen DelNegri</u></p> <p>Signature </p> <p>Date <u>May 6, 2016</u></p>	<p><b>Staff Intake Review</b></p> <p>For Urban Design &amp; Planning Division use only:</p> <p>Date _____</p> <p>Received By _____</p> <p>Tech. Specs Reviewed By _____</p> <p>Case No. _____</p>
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## Page 3: Technical Specifications For Plan Submittal

### A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
  - Current use of property and intensity
  - Land Use designation
  - Zoning designation
  - Water/wastewater service provider
  - Site area (sq. ft. and acres)
  - Building footprint coverage
  - Residential development: number of dwelling units, type, floor area(s), site density (gross and net)
  - Non-residential development: uses, gross floor area
  - Parking data: parking required (#), parking provided (#), loading zones (if applicable), ADA spaces
  - Floor Area Ratio (FAR) (total building square footage, including structured parking, divided by site area)
  - Building height (expressed in feet above grade)
  - Structure length
  - Number of stories
  - Setback table (required vs. provided)
  - Open space
  - Vehicular use area (as defined by Sec. 47-58.2, in sq. ft.)
  - Open space (in sq. ft.)
  - Landscape area (in sq. ft.)
  - Linear feet of sidewalk proposed
8. Site Plan Features (graphically indicated)
  - Municipal boundaries (as applicable)
  - Zoning designation of adjacent properties with current use listed
  - Adjacent rights-of-way to opposite property lines (indicate all nearby curb cuts)
  - Waterway width, if applicable
  - Outline of adjacent buildings (indicate height in stories and approximate feet)
  - Property lines (dimensioned)
  - Building outlines of all proposed structures (dimensioned)
  - Ground floor plan
  - Dimension of grade at center line of road, at curb, and finished floor elevation
  - Dimension for all site plan features (i.e. sidewalks, building lengths and widths, balconies, parking spaces, street widths, etc.)
  - Mechanical equipment dimensioned from property lines
  - Setbacks and building separations (dimensioned)
  - Driveways, parking areas, pavement markings (including parking spaces delineated and dimensioned as well as handicapped spaces as applicable)
  - On-site light fixtures
  - Proposed ROW improvements (i.e. bus stops, curbs, tree plantings, etc.)
  - Pedestrian walkways (including public sidewalks and on-site pedestrian paths), Project signage
  - Traffic control signage
  - Catch basins or other drainage control devices
  - Fire hydrants (including on-site and adjacent hydrants)
  - Easements (as applicable)

### B. DETAILS

1. Provide details of the following (Scale  $\frac{1}{4}$ " = 1' min.)
  - Ground floor elevation
  - Storefronts, awnings, entryway features, doors, windows
  - Fences/walls
  - Dumpster
  - Light fixtures
  - Balconies, railings
  - Trash receptacles, benches, other street furniture
  - Pavers, concrete, hardscape ground cover material

### C. FLOOR PLANS

1. Delineate and dimension, indicating use of spaces
2. Show property lines and setbacks on all plans
3. Typical floor plan for multi-level structure
4. Floor plan for every level of parking garage
5. Roof plan

### D. BUILDING ELEVATIONS

1. All building facades with directional labels (i.e. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required stepbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Indicate architectural elements, materials and colors
6. Include proposed signage

### E. ADDITIONAL RENDERINGS (as applicable)

For projects subject to Sec. 47-25.3 Neighborhood Compatibility, and/or new buildings 55' or five stories or more in height, the following are required:

- Street-level perspective renderings of project in context of surroundings, as viewed from a pedestrian level, with ground elements and references to depict and determine appropriate scale of project
- Oblique aerial perspectives from opposing views, which indicate the mass outline of all proposed structures, including the outlines of adjacent existing structures
- Context site plan indicating proposed development and outline of nearby properties with uses and height labeled

### F. LANDSCAPE PLAN

1. Site Plan information (in tabular form on plans)
2. Title block including project name and design professional's address and phone number
3. Scale (1" = 30' min, must be engineer's scale)
4. North indicator
5. Drawing and revision dates, as applicable
6. Landscape Plan Information (in tabular form on plans)
  - Site area (sq. ft. and acres)
  - Vehicular use area (as defined by Sec. 47-58.2, in sq. ft.)
  - VUA landscape area (minimum 20% of VUA – in sq. ft. and percentage of VUA)
  - Perimeter landscape area (including buffers adjacent to ROW)
  - Interior landscape area (30 sq.ft. per space)
  - Total trees required/provided (1 per 1,000 sq.ft. net lot area)
  - VUA trees required/provided (1 per 1,000 sq.ft. VUA)
  - VUA shade trees required/provided (3" caliper)
  - VUA shade trees required/provided (2-3" caliper)
  - VUA flowering trees required/provided
  - VUA palms required/provided
  - VUA shrubs required/provided (6 per 1,000 sq.ft. VUA)
  - Bufferyard trees (if applicable)
7. Landscape Plan Features (graphically indicated)
  - Property lines
  - Easements (as applicable)
  - Landscape areas with dimensions
  - Existing trees and palms, their names and sizes (indicate whether they are to remain, be relocated, or removed)
  - Names and locations for all proposed trees, shrubs and groundcover, with quantities noted at each location
  - Plant list (note species, sizes, quantities and any appropriate specifications)
  - Site elements (buildings, parking areas, sidewalks, signs, fire hydrants, light fixtures, drainage structures, curbing, all utilities both above and below ground)
  - Grading (swales, retention areas, berms, etc.)

### G. PHOTOMETRIC DIAGRAM

Foot-candle readings must extend to all property lines

PROJECT:

# 1201 E. BROWARD BLVD. SITE PLAN LEVEL II - DRC# R1600

PROJECT TEAM:

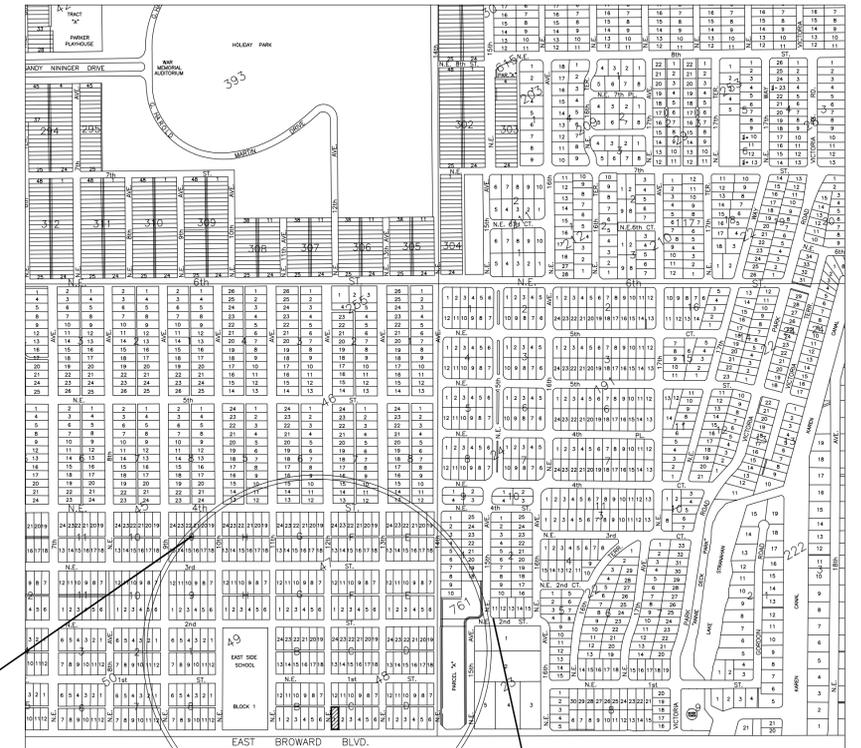
ARCHITECT  
STORRS ARCHITECT, PA  
1888 SE 3rd Ave, Ft. Lauderdale, FL

CIVIL ENGINEER  
FLYNN ENGINEERING SERVICES, PA  
241 Commercial Blvd., LBTs, FL  
954.522.1004

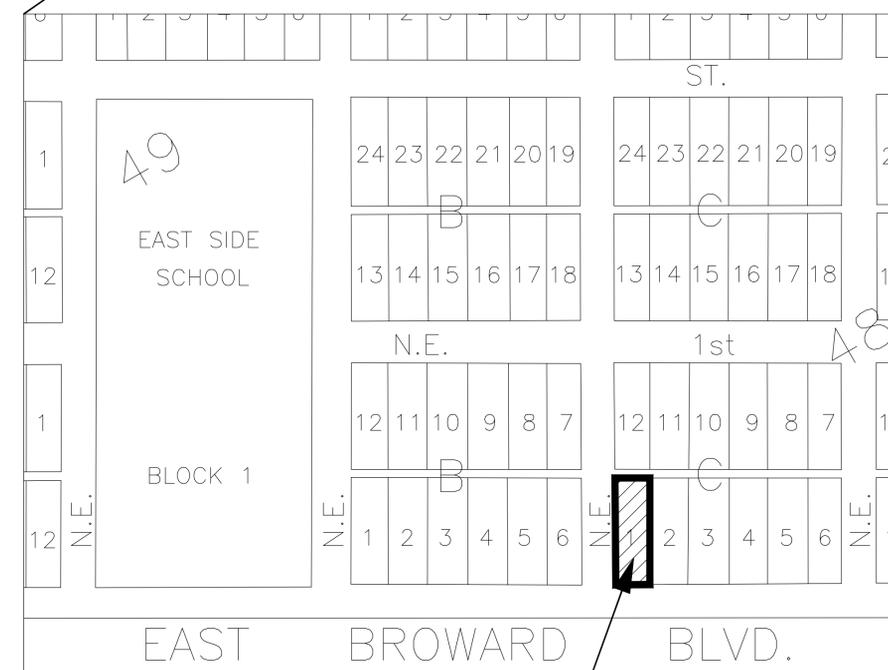
LANDSCAPE ARCHITECT  
AGTLAND  
132 North Swinton Ave., Delray Beach, FL  
561.276.5050

DRC SHEET INDEX:

SURVEY	
PLAT	
AERIAL	
C1	SITE PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	ROOF PLAN
A-5	DOOR & WINDOW DETAILS
A-6	ELEVATIONS-SOUTH, NORTH & WEST
A-7	ELEVATION-EAST
TR-1	LANDSCAPE DISPOSITION PLAN
LP-1	LANDSCAPE PLAN
LP-2	LANDSCAPE NOTES AND DETAILS
LTG-1	LIGHTING SITE/PHOTOMETRIC PLAN
C-2	SIGNAGE AND MARKING PLAN
C-3	PAVING, GRADING AND DRAINAGE PLAN
C-4	WATER AND SEWER PLAN
ESC	EROSION & SEDIMENT CONTROL PLAN



LOCATION SKETCH  
NO SCALE



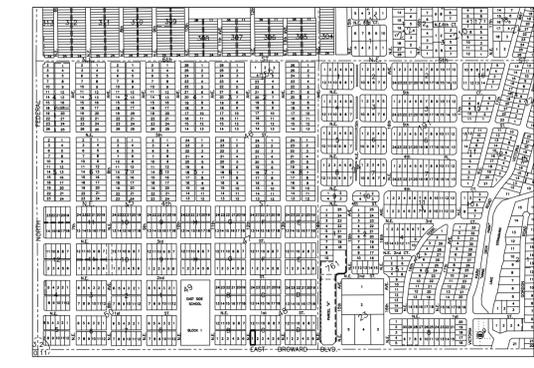
PROJECT SITE

ENLARGEMENT  
NO SCALE



PREPARED FOR:  
1201 EAST BROWARD BLVD, LLC

 <b>FLYNN ENGINEERING SERVICES, P.A.</b> CIVIL ENGINEERS	Job No. 15-1300.00
	Plot Date 05/06/16
	Drawn by FES
	Proj. Engr. FES
	Appr. by JMF
241 COMMERCIAL BLVD. LAUDERDALE-BY-SEA, FL 33308 PHONE: (954) 522-1004 FAX: (954) 522-7630 www.flynnengineering.com EB# 6578	COVER



**LOCATION SKETCH**  
SCALE: 1" = 50'

**LAND DESCRIPTION:**

LOT 1, BLOCK "C", DAMES & YOUNG RE-SUBDIVISION in the South one-half (S. 1/2) of FRANK STRANAHAN'S SUBDIVISION of the Southeast one-quarter (S.E. 1/4), of the Southwest one-quarter (S.W. 1/4), of Section 2, Township 50 South, Range 42 East, according to the plat thereof, as recorded in Plat Book 2, Page 63, of the public records of Dade County, Florida.

Said lands situate, lying and being in the City of Fort Lauderdale, Broward County, Florida and containing 6,119 square feet or 0.1404 acres, more or less.

**SITE PLAN INFORMATION**

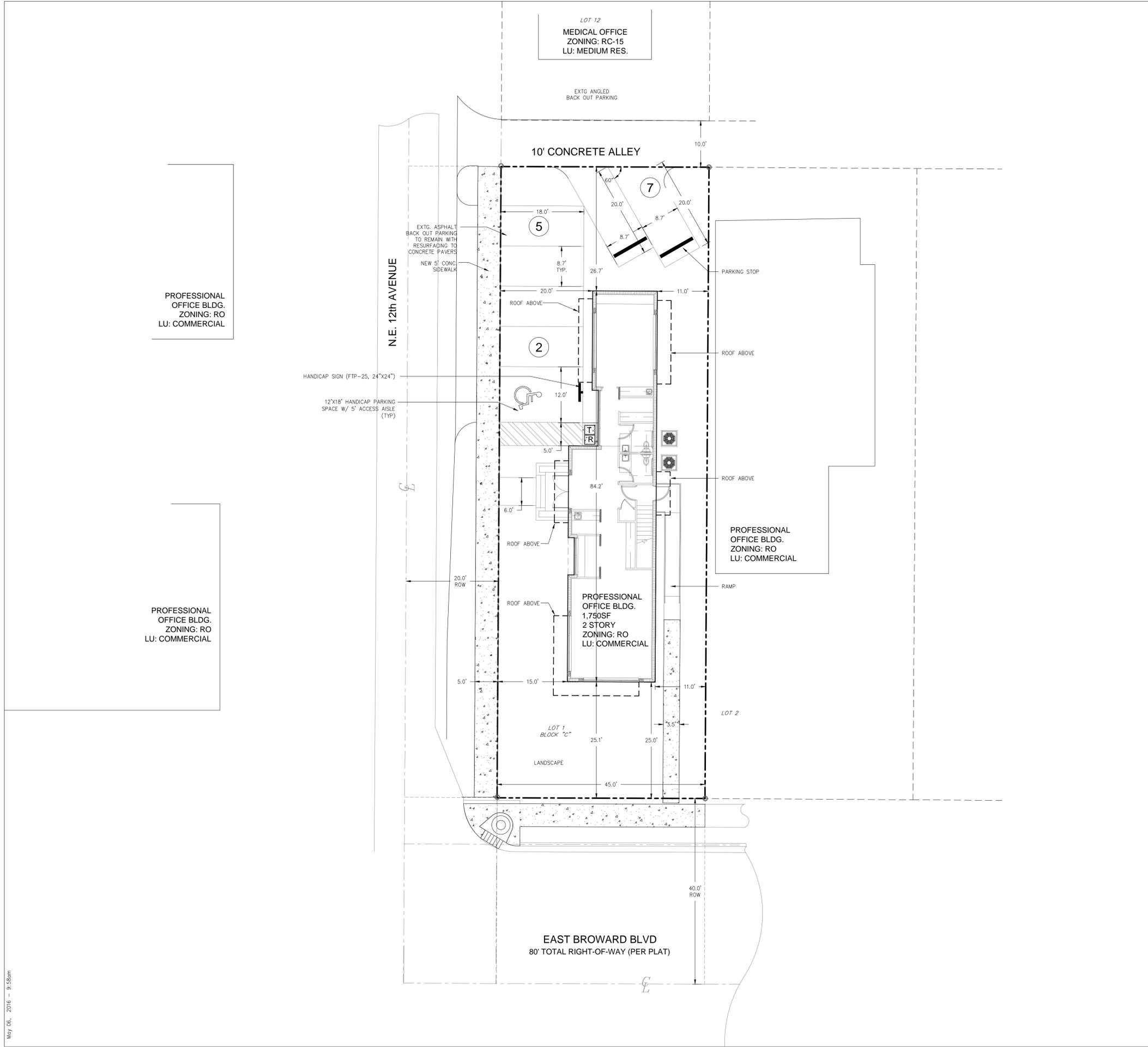
CURRENT USE OF PROPERTY	PROFESSIONAL OFFICE
CURRENT LAND USE DESIGNATION	COMMERCIAL
PROPOSED LAND USE DESIGNATION	COMMERCIAL
CURRENT ZONING DESIGNATION	RO
PROPOSED ZONING DESIGNATION	RO
ADJACENT ZONING DESIGNATION	RO / RC-15
TOTAL SITE AREA	±0.14 ACRES TOTAL/±6,119 S.F.
TOTAL PERVIOUS EXISTING (LANDSCAPE)	4,330 S.F. 70.6%
TOTAL PERVIOUS PROPOSED (LANDSCAPE)	9,267 S.F. 25.1%
TOTAL IMPERVIOUS EXISTING	1,093 S.F. 17.9%
TOTAL IMPERVIOUS PROPOSED	3,129 S.F. 8.4%
TOTAL BUILDING FOOT PRINTS EXISTING	706 S.F. 11.5%
TOTAL BUILDING FOOT PRINT PROPOSED	1,450 S.F. 66.5%
WATER/ WASTE WATER SERV. PROVIDER	CITY OF FORT LAUDERDALE
TOTAL BUILDING SQUARE FOOTAGE	1,750 G.S.F.
FLOOR AREA RATIO (F.A.R.)	1,750 / 6,119 = .28
BUILDING HEIGHT-BLDG	22'
NUMBER OF STORES-BLDG	2 STORES
BUILDING WIDTH & LENGTH-BLDG	84.25' x 19' (varies)
PEDESTRIAN WALKS & PLAZAS	1,144 S.F. 18.7%
VJA AREA	1,278 S.F. 20.9%
OPEN SPACE	4,135 S.F. 67.6%
LANDSCAPE	2,991 S.F. 48.9%
LOT COVERAGE	1,407 S.F. 23.0%

PARKING DATA:		REQUIRED	PROVIDED
PROFESSIONAL OFFICE	SF 1,750 RATIO 1/250SF	7.0	7.0
TOTAL PARKING REQUIRED		7.0	
TOTAL PARKING		7	
TOTAL BIKE PARKING		1 HC SPACE INCL.	1

SETBACK TABLE	REQUIRED	PROVIDED
FRONT YARD (SOUTH) - BROWARD BLVD.	25'	25'
SIDE YARD (EAST)	10'	11'
SIDE YARD (WEST)	15'	15'
REAR YARD (NORTH)	20'	26.75'

**SANITATION NOTES:**

TRASH/RECYCLING WILL BE SERVICES WILL REMAIN FROM NE 12th AVE. THERE WILL BE (1) 65G TRASH CONTAINERS SERVICED 2X/WEEK OR AS NEEDED. THERE WILL BE (1) 65G RECYCLE CONTAINER SERVICED 1X/WEEK OR AS NEEDED. TRASH/RECYCLING CONTAINERS WILL COMPLY WITH ULDC SEC 47-19.4.



PROFESSIONAL OFFICE BLDG.  
ZONING: RO  
LU: COMMERCIAL

PROFESSIONAL OFFICE BLDG.  
ZONING: RO  
LU: COMMERCIAL

PROFESSIONAL OFFICE BLDG.  
ZONING: RO  
LU: COMMERCIAL

LOT 12  
MEDICAL OFFICE  
ZONING: RC-15  
LU: MEDIUM RES.

5/11/16  
 AA # F000085  
 AR # 0010871

TEL: (954) 525-0888  
 FAX: (954) 525-0108  
 E-MAIL: storrsarchitect@bellsouth.net

**STORRS ARCHITECT, P.A.**  
 1888 SOUTH-EAST THIRD AVENUE FORT LAUDERDALE, FLORIDA

**NEW OFFICE BUILDING for IN MUSIC**  
 1201 East Broward Boulevard  
 Fort Lauderdale, Florida



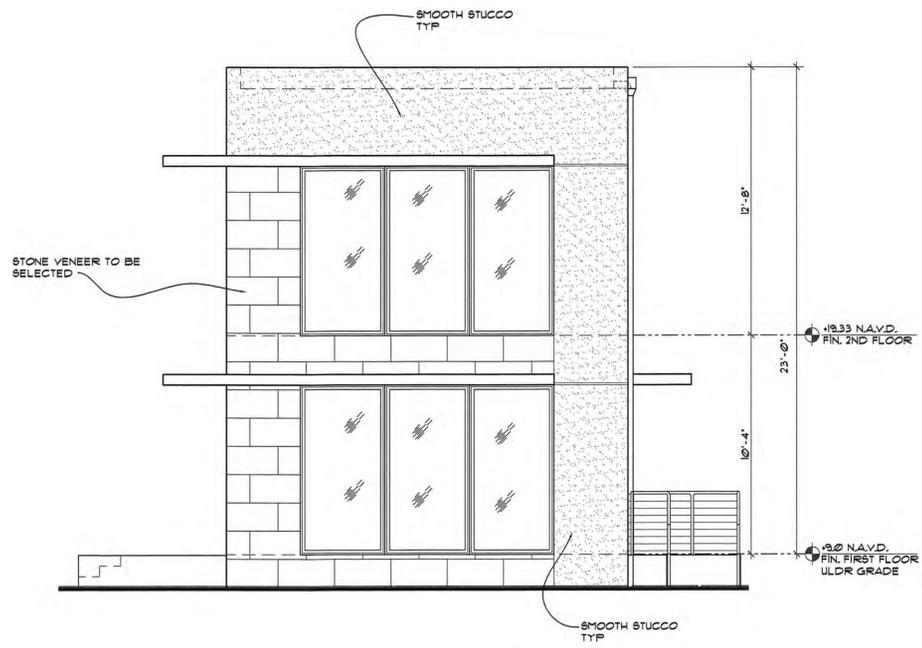
SHEET  
**A-6**

REVISIONS:

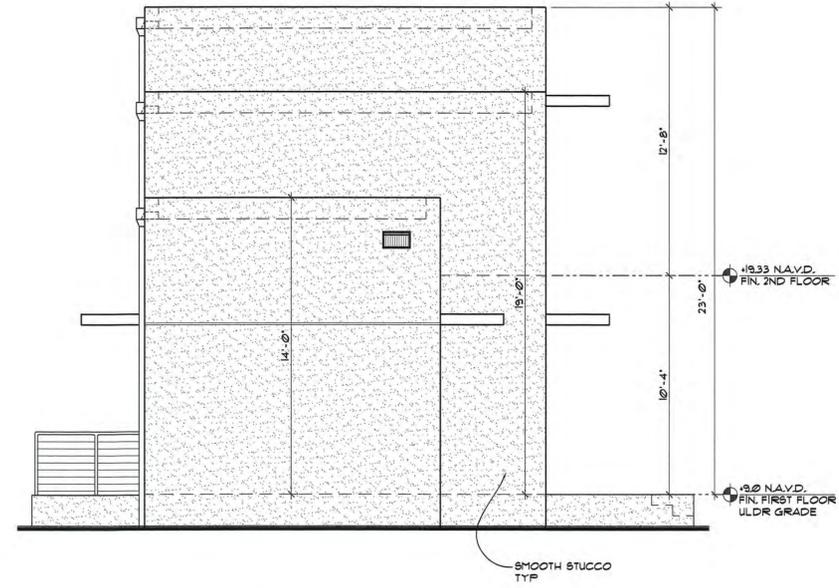
PROJECT #  
**16-6**

DRAWN BY: E.J.H.  
 DATE: 05-May-2016

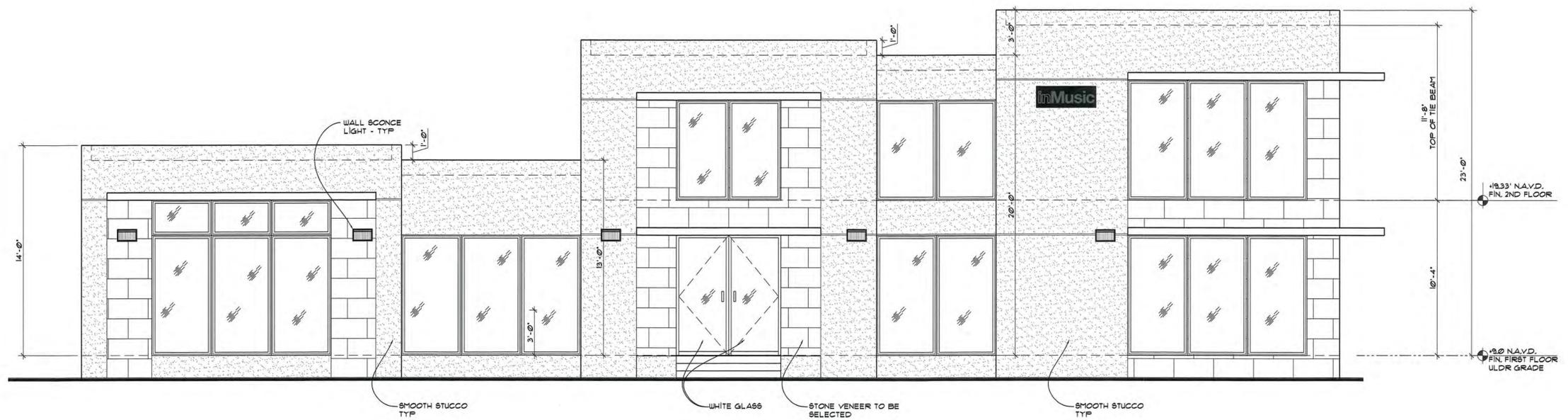
CHECKED BY: W.S.S.



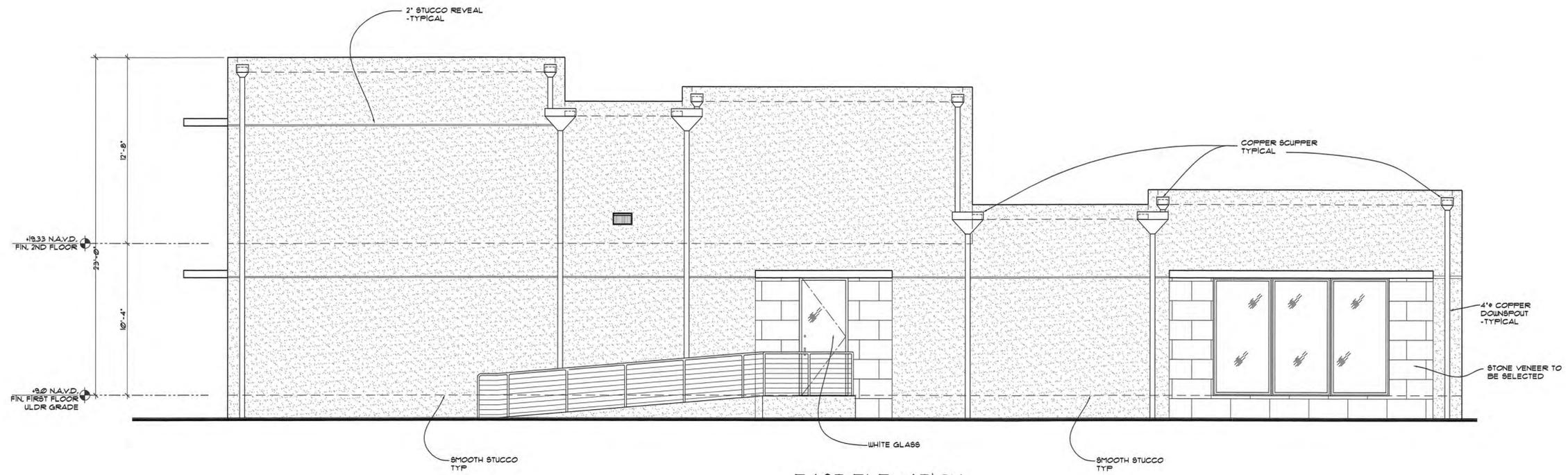
**SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

SK/11/12  
AA # F000085  
AR # 0010871

TEL: (954) 525-0089  
FAX: (954) 525-0108  
EMAIL: storrsarchitect@bellsouth.net

**STORRS ARCHITECT, P.A.**  
1888 SOUTH-EAST THIRD AVENUE FORT LAUDERDALE, FLORIDA

**NEW OFFICE BUILDING for IN MUSIC**  
Fort Lauderdale, Florida  
1201 East Broward Boulevard



PROJECT #	16-6	SHEET	A-7
DRAWN BY:	E.J.H.	REVISIONS:	
DATE:	08-May-2016		
CHECKED BY:	W.S.S.		



# **DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT**

**Meeting Date:**

**Applicant/  
Project**

**Case  
Number:**

**Request:**

**Location:**

**Zoning**

**Land Use:**

**Case  
Planner:**

**Case Number:**  
R16022\_Airport

**CASE COMMENTS:**

Please provide a response to the following:

1. NONE – Signature NOT required

**Case Number:** R16022

**CASE COMMENTS:**

NONE – Signature NOT required.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. Florida Building Code Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
  - a. [https://www.municode.com/library/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5<sup>th</sup> Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
  - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
  - c. [https://floridabuilding.org/dca/dca\\_fbc\\_default.aspx](https://floridabuilding.org/dca/dca_fbc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>

**Case Number: R16022**

1201 E Broward Blvd –  
1,750 SF Office Use within  
100' of Residential Property

**1201 E Broward Boulevard**

**RIGHT OF WAY / EASEMENT DEDICATIONS REQUIRED PER ULDR SECTION 47-25.2.M.5:**

- a. 25' corner chord Right-of-Way dedication on northeast corner of E Broward Boulevard & NE 12<sup>th</sup> Avenue intersection (coordinate with BCHECD) per ULDR Section 47-24.5.D.p; show linework in the plans and on easement exhibit
- b. 5' Right-of-Way Easement dedication along east side of NE 12<sup>th</sup> Avenue for 5' (min.) pedestrian access, to complete half of 50' Right-of-Way section; show linework in the plans and on easement exhibit

**CASE COMMENTS:**

**A. Prior to Final DRC Engineering review and sign-off, please provide a written response to the following Comments 1 through 25:**

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Daniel Lizarazo at 954-828-6982 or [dliizarazo@fortlauderdale.gov](mailto:dliizarazo@fortlauderdale.gov).
  - b. Coordinate all transportation related requirements with Alia Awwad, P.E. at (954) 828-6078 or [aawwad@fortlauderdale.gov](mailto:aawwad@fortlauderdale.gov) with the Transportation & Mobility Department to meet the Transportation aspect of the Adequacy requirements.
2. Please be advised that all proposed improvements within or adjacent to the Florida Department of Transportation (FDOT), Broward County (BCHECD) and City Right of Way are subject to issuance of a Right of Way permit from the authority having jurisdiction. This shall include the execution of an agreement that authorizes those entities the authority to remove improvements for any public purpose in the future.

Please coordinate and provide approval from the following agencies for the improvements along:

- a. E Broward Boulevard – Broward County Highway Engineering & Construction Division (BCHECD)
3. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting / re-platting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
4. Provide updated Topographic / Boundary Survey for property.
5. Sheet C1: Discuss shifting ADA parking stall to be accessed from Alley (along north property boundary), and providing ADA accessibility from that stall to the proposed building, instead of from E Broward Boulevard.

6. Sheet C1: Dimension and verify that length of proposed 60 degree parking stalls conform to the minimum standards set forth in ULDR Section 47-20.11.
7. Sheet C2, Section A-A: Type 'F' Curb & Gutter doesn't match corresponding plan (show and callout roadside swale instead, per City standards).
8. Provide ADA accessibility for proposed sidewalk along NE 12<sup>th</sup> Avenue, to connect with existing curb ramp located on northeast corner of E Broward Boulevard & NE 12<sup>th</sup> Avenue intersection.
9. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets (measured from pavement edges), alleys with alleys (measured from property lines extended), alleys with streets (measured from property lines extended), and streets with streets (measured from property lines extended). Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in [ULDR Section 47-35](#).
10. Verify with Broward County Highway Engineering & Construction Division (BCHECD), their requirements for milling and asphalt pavement restoration in the vicinity of proposed road cuts for utilities and/or curb cuts within County Right-of-Way jurisdiction.
11. Coordinate with Stephanie McCutcheon at (954) 828-5054 or [smccutcheon@fortlauderdale.gov](mailto:smccutcheon@fortlauderdale.gov) regarding trash and solid waste disposal, dumpsters, and recycling; please note that per ULDR Section 47-19.4.D.7, dumpsters serving restaurants require grease traps, oil / sand separators, and drains connecting to sanitary sewer.
12. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
13. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
  - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure. Please be advised that all storm drains shall be constructed with RCP piping in the City Right-Of-Way.
  - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water mains shall be constructed with DIP piping in the City Right-Of-Way.
  - c. Erosion and Sediment Control Plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
  - d. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the paving and grading plan.
  - e. Signing and Marking Plan, including the radii all landscaping and pavement areas.
14. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. **Any site that goes through DRC must store at least the 25-year 3-day event onsite with NO EXCEPTIONS.** In addition, please note that the City does not allow connecting

the on-site stormwater drainage system with those in the City's Right-of-Way. Fill requirements per City's Code of Ordinances Chapter 14 – Floodplain Management, including [Ord. No. C-14-26](#).

15. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
16. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons" and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
17. Show utilities on the landscaping plans for potential conflict.
18. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
19. Discuss if pedestrian lighting is proposed; if not, discuss the possibility of the addition of pedestrian lighting along City Right-of-Way, which requires perpetual maintenance by the Applicant via a Maintenance Agreement executed with the City. Please contact the Case Planner for details to match the area.
20. Be advised that any road cuts for utilities or curb cuts within in the City Right-Of-Way shall be restored to full lane width for 50' minimum length, per City Code of Ordinances Section 25-108.
21. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of low impact (cisterns, pervious pavers, bioswales, raingardens, etc.) uses for landscaping along the streetscape.
22. Prepare a preliminary staging storage plan, which includes phasing and information regarding the site layout of the temporary construction measures; the purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses.
23. Please prepare and submit the following exhibits which clearly define the following (as applicable):
  - a. Construction Phasing Exhibit
  - b. Right-of-Way / Easement Dedication / Vacation Exhibit
  - c. Maintenance Agreement Area Exhibit
  - d. Revocable License Area Exhibit
24. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
25. Prior to Final DRC sign-off, document with digital photos (including Key Map) and/or videos of the existing condition of the City's Right-of-Way adjacent to the proposed development. Photos and/or videos should include vantage points of the entire City Right-of-Way frontage adjacent to the proposed development, from both directions along City roadways and/or alleys, as well as of any other notable existing features.

**B. Prior to Engineering Permit Approval, please respond to Comments 26 through 38:**

26. Submit the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge

indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.

27. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a Maintenance Declaration shall be executed with the City acknowledging that the Applicant will maintain all improvements in the City Right-Of-Way, including but not limited to lighting, landscaping, special paving and stormwater improvements.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.

28. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or [ekalus@broward.org](mailto:ekalus@broward.org) at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dougniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
29. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
30. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
31. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
  - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
    - 1) Include a narrative for each phase along with roadways utilized for materials delivery
    - 2) Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
    - 3) Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
    - 4) Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
    - 5) Show location and type of construction crane(s), including span radius
    - 6) Indicate location and number of portable rest rooms, dumpsters, and trash chutes
    - 7) Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
    - 8) Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code

- 9) Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
  - 10) Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
  - 11) Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
  - 12) Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
  - 13) Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
  - 14) Indicate where and how concrete trucks will stage during multiple yardage pours
  - 15) Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
  - 16) Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
  - 17) Show locations of truck wash-off area and procedures, including tires and concrete chutes
  - 18) Indicate schedule for street sweeping of periphery of construction site
  - 19) Indicate if dewatering is proposed.
32. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham ([dvanlandingham@broward.org](mailto:dvanlandingham@broward.org) or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at [http://www.broward.org/pprd/cs\\_dewatering.htm](http://www.broward.org/pprd/cs_dewatering.htm).
33. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg ([smemberg@sfwmd.gov](mailto:smemberg@sfwmd.gov)).
34. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dougniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
35. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
36. Please note that any lighting within the City's Right-of-Way, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a Revocable License agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in

or near the Right-of-Way. Please contact the Facilities Maintenance office, David Smith at 954-828-6560, for information concerning the lighting within the City's Right-Of-Way.

37. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
38. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at [rjohnson@fortlauderdale.gov](mailto:rjohnson@fortlauderdale.gov) or 954-828-7809, as well as proposed methods of noise, vibration, and odor mitigation.

**Case Number:**

**CASE COMMENTS:** R16022

Please provide a response to the following:

1. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This basically means that plant material must be grouped together based on watering needs, and turf areas must be limited and/or consolidated. The planting areas are to be irrigated on a separate zone than the turf areas. Once plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Please visit MuniCode to view the updated Landscape & Tree Preservation ordinance including native, pervious, and turf required percentages  
[https://www.municode.com/library/fl/fort\\_lauderdale/codes/unified\\_land\\_development\\_code?nodet=UNLADERE\\_CH47UNLADERE\\_ARTIIDERE\\_S47-21LATRPRE](https://www.municode.com/library/fl/fort_lauderdale/codes/unified_land_development_code?nodet=UNLADERE_CH47UNLADERE_ARTIIDERE_S47-21LATRPRE)
2. Provide street trees in the right of way swale area, as per ULDR 47-21.13.B.16. Street trees are to be a minimum of 12 feet tall and provided at a ratio of one street tree per forty feet of street frontage or greater fraction thereof not subtracting ingress and egress dimensions. When overhead utilities exist, required street trees may be small trees provided at a minimum of a ratio of one street tree per twenty feet frontage or greater fraction thereof not subtracting ingress and egress dimensions.
3. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil is to be provided within a minimum of 8' radii to the tree trunk for all proposed street trees. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil>
4. Consider tree preservation for trees 1,8 and 12 as they appear to be in acceptable condition and provide valuable tree canopy to the surrounding neighborhood.
5. Provide alternate species for Ilex attenuata, East Palatka Holly.

**GENERAL COMMENTS:**

Please consider the following prior to submittal for Building Permit:

6. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Please visit the City's website to download required document packet <http://www.fortlauderdale.gov/home/showdocument?id=6372>
7. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
8. A separate sub-permit application for General Landscaping is required at time of master permit submittal.
9. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6.A.11 and 47-21.10.
10. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.

**Case Number: R16022**

**CASE COMMENTS:**

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighbors/civic-associations>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination of consistency with the City's Comprehensive Plan Goals, Objectives and Policies.
- 3) Provide documentation from the Broward County Planning Council verifying that the site does not require platting or replatting. If replatting or platting is not required, contact the Development Review Services Section of the Planning and Environmental Regulation Division of Broward County at (954) 357-6637 to ensure that proposed project is consistent with the latest recorded plat restriction.
- 4) Indicate the project's compliance with the following ULDR sections by providing a point-by-point narrative response, on letterhead, with date and author indicated.
  - a. Sec. 47-25.2, Adequacy Requirements
  - b. Sec. 47-25.3, Neighborhood Compatibility Review
- 5) Provide the following changes on site plan:
  - a. Provide a new sidewalk 7 ft. wide along N.E. 12<sup>th</sup> Avenue and Broward Boulevard in order to promote a safe, continuous and comfortable pedestrian environment;
  - b. Per Sec. 47-20.15.5.h., Backout parking, brick decorative pavers or similar paving material covering one hundred (100) percent of the parking surface shall be installed; and
  - c. Relocate the ADA parking to the north side of the parcel, next to the alley, and create a pedestrian/ADA connection along the east side of the building to the entrance.
- 6) Provide the following changes on elevations:
  - a. Improve the architectural treatment of the East and North façades to protect the character of the residential neighborhood, by using architectural elements, such as: fenestration, awnings, color and material banding; and
  - b. Consider angled elements to the elevations such as angled roofline.
- 7) Provide roof plan for all structures indicating the location of all mechanical equipment. This plan shall include spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening and to illustrate how equipment will be screened or shielded from view. In addition, indicate all mechanical equipment within the subject site on the site plan and elevations where applicable.
- 8) Provide legible photometric plan for the entire site. Extend values on photometric plans to all property lines. Show values pursuant to the Unified and Land Development Regulations ("ULDR"), Section 47-25.3.A.3.a and 47-20.14. Indicate lighting poles on site plan and landscape plan, and provide detail with dimensions.
- 9) In order to most effectively animate the pedestrian environment, ensure ground floor windows are of clearest glass allowed by Building Code.

- 10) It is recommended the following pedestrian and bicycle-related comments be addressed:
- a. Per Sec. 47-25.2.M.6. (Adequacy requirements / Transportation / Pedestrian facilities): Sidewalks pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties.
  - b. Site plan design indicates pedestrian/vehicle conflict areas along N.E 12<sup>th</sup> Avenue. Accommodate safe pedestrian access, particular to/from public sidewalks, vehicle parking areas and building entrances.
  - c. Provide bicycle parking in visible, well-lit areas as close as possible to pedestrian entryways/doors.

**GENERAL COMMENTS**

- 11) Consider employing green building practices throughout the project including, but not limited to charging stations, tankless water heaters, rain collection systems, pervious pavers, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.
- 12) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 13) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Pre-PZ and/or Final DRC sign-off, please schedule an appointment with the project planner (call 954-828-5193) to review project revisions and/or to obtain a signature routing stamp.
- 14) For additional information regarding incorporation of wireless capabilities into the project in initial planning stages, please contact the applicable utility provider.
- 15) Additional comments may be forthcoming at the DRC meeting. Please provide a written response to all DRC comments within 180 days.

 **CITY OF FORT LAUDERDALE**  
**DRC COMMENT REPORT**

**Division:** POLICE  
**Member:** Detective C. Colon  
[ccolon@fortlauderdale.gov](mailto:ccolon@fortlauderdale.gov)  
954-828-4964

June 14, 2016

**Case Number: R16022 1201 E. Broward  
1201 E. Broward Blvd.**

**CASE COMMENTS:**

Please provide a response to the following:

1. All entry and exit doors should be solid, impact resistant or metal and be equipped with a secondary deadbolt locking system.
2. All entry and exit doors, including the back exterior doors, should provide a view of the exterior or be equipped with a 180 degree viewport or peephole for security.
3. All glazing should be impact resistant.
4. The business should be equipped with a Closed Circuit TV (CCTV) system that covers the entry and exit points, lobby, any cash management or storage area and the parking lot.
5. The business should be equipped with a safe that is bolted to the floor and located in a secured and access controlled room or office.
6. Air conditioning equipment located on the exterior of the building should be equipped with tamper and theft resistant features such as security cages.
7. The business should be equipped with an intrusion alarm system that provides cellular and battery back up features.
8. Appropriate security lighting should be utilized throughout the site for safety.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

**Case Number: ZR16002**

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Solid Waste Collection shall be on private property container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Provide on the site plan a garbage truck turning radii for City review. Indicate how truck will circulate within property.
8. Commercial – Strip stores shall share bulk container to avoid each tenant having a dumpster.
9. Solid Waste transport to trash rooms or to primary waste container shall be performed inside building using interior service corridor (Retail, Office, Condo, Hotel).
10. Containers: must comply with 47-19.4
11. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strength apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
12. Draw equipment on plan to show it will fit in trash room.
13. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
14. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - o This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to [smccutcheon@fortlauderdale.gov](mailto:smccutcheon@fortlauderdale.gov) . Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
  - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

**GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

None

**Case Number:**

**R16022**

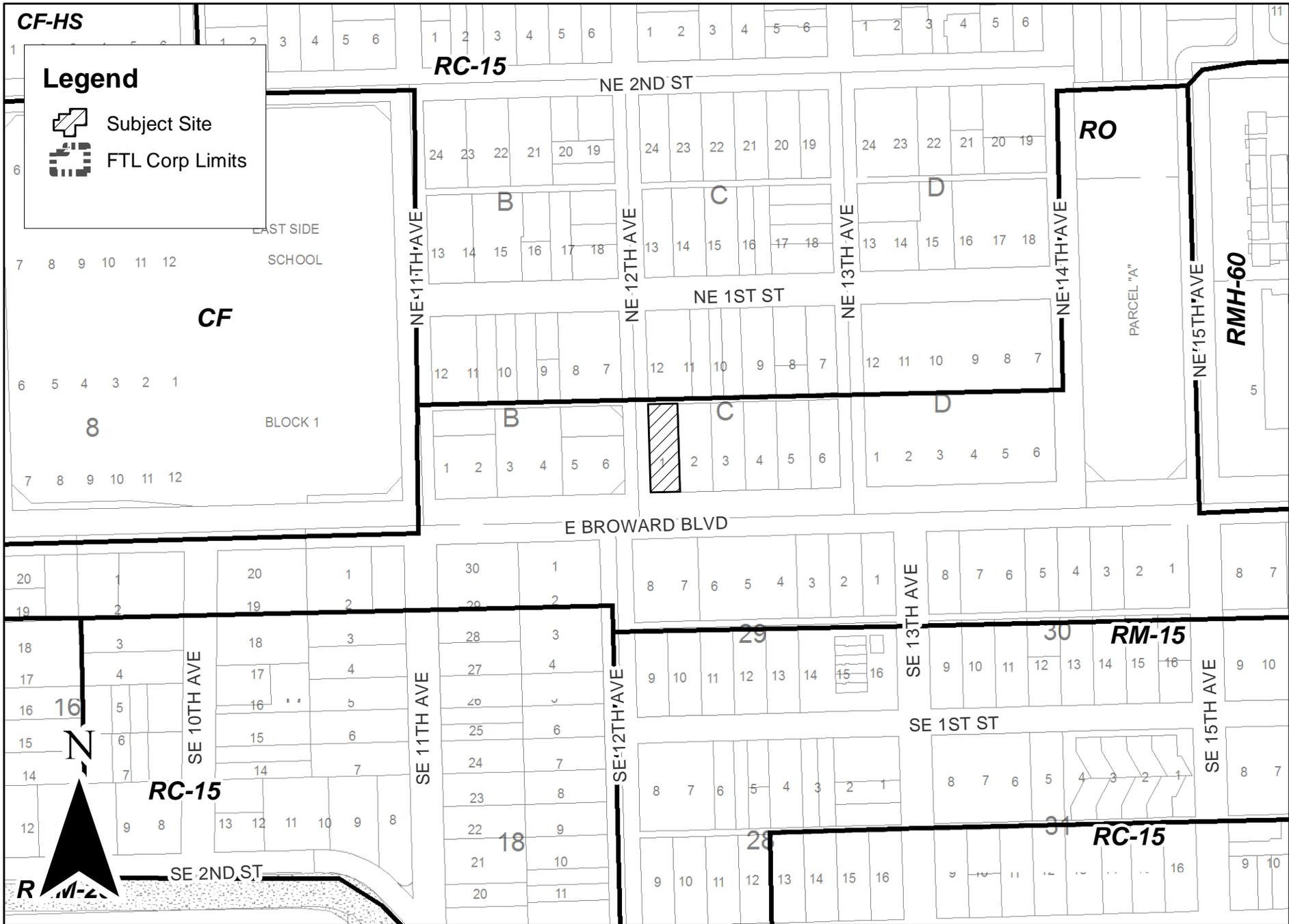
**CASE COMMENTS:**

1. Bicycle parking is strongly encouraged, covered if possible with a bike pump. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide the minimum long term and short term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet.
2. Please show all sidewalk dimensions including pinch points on the site plan ensuring a 7' minimum width is maintained along E Broward Blvd and NE 12<sup>th</sup> Ave.
3. Please consider providing public seating along the sidewalks, public interactive art works, as well as a bicycle pump and repair station for both public and private use along E Broward Blvd.
4. Provide sufficient landscape buffer to discourage misguided crossings and enhance the pedestrian environment along E Broward Blvd.
5. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan.
6. Additional comments may be provided upon further review.
7. Signature required.

**GENERAL COMMENTS:**

Please address comments below where applicable.

1. Contact Alia Awwad at 954-828-6078 or [aawwad@fortlauderdale.gov](mailto:aawwad@fortlauderdale.gov) to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



R16022

