



BOARD OF ADJUSTMENT NOTICE

January 27, 2020

A Public Hearing will be held before the Board of Adjustment on: Wednesday, February 12, 2020 at 6:30 P.M.

In the City Commission Chambers, City Hall, 1st Floor, 100 North Andrews Avenue, to determine whether the following application should be granted:

CASE:	PLN-BOA-19110005
OWNER:	PIERO L. DESIDERIO
AGENT:	CORWIN GUZMAN
ADDRESS:	3025 NE 21 STREET, FORT LAUDERDALE FL., 33305
LEGAL DESCRIPTION:	LAUDERDALE BEACH EXT 27-48 B LOT 3 BLK 11
ZONING:	RS-8
COMMISSION DISTRICT:	2
REQUESTING:	Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district. (Note A).

Requesting a variance from the 25 feet minimum front yard requirement of Sec. 47-5.31 Table of Dimensional Requirements to allow the construction of a new carport with a front yard of 17.88 feet, a total variance request of 7.12 feet.

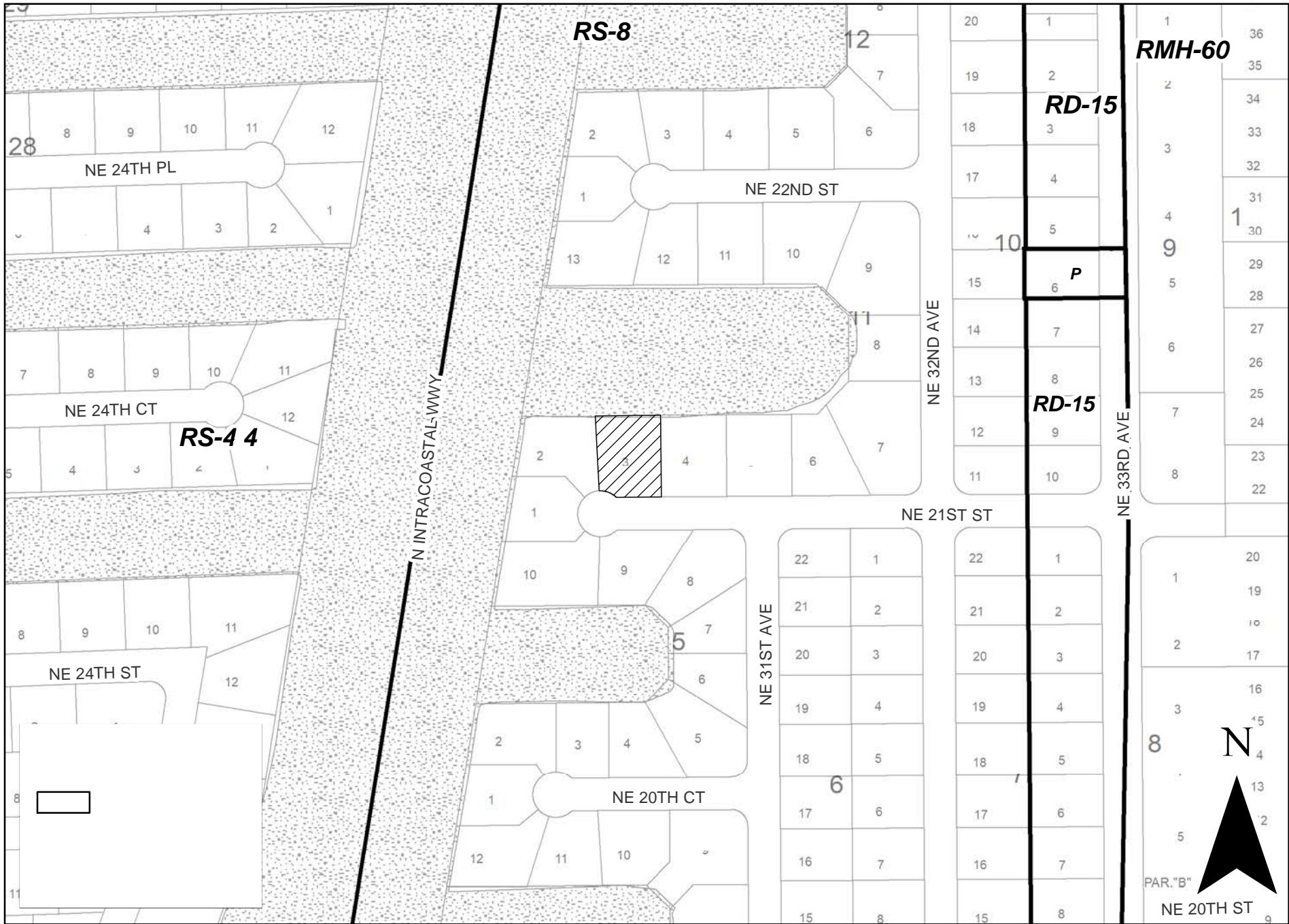
If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

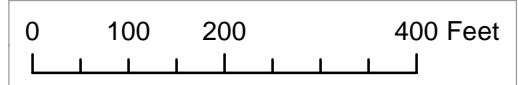
NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.



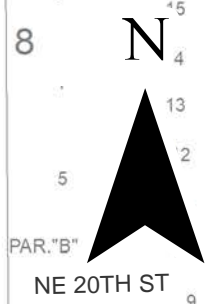


PLN-BOA-19110005

Path: J:\DSD\DRCLocationMaps_16_RM\Exports\BOA20200212\PLN-BOA-19110005LocMap.mxd



Graphic Scale



PAR. "B"

NE 20TH ST



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENTS MEETING

DATE: FEBRUARY 12, 2020

TIME: 6:30 PM

CASE: PLN-BOA-19110005

Section 47-5.31. - Table of dimensional requirements for the RS-8 district.
(Note A)

Requesting a variance from the 25 feet minimum front yard requirement to allow the construction of a new carport with a front yard of 17.88 feet, a total variance request of 7.12 feet.

LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE

INFORMATION: CONTACT (954) 828-6506
<http://www.fortlauderdale.gov>

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	PLN-BOA-19116005
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Piero & Debra Desiderio
Property Owner's Signature	<i>[Signature]</i>
Address, City, State, Zip	3025 NE 21st St. Fort Lauderdale FL, 33305
E-mail Address	PDesiderio@stearsweaver.com
Phone Number	
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Corwin Guzman
Applicant / Agent's Signature	<i>[Signature]</i>
Address, City, State, Zip	1380 SW 82nd Ter Plantation FL, 33324
E-mail Address	
Phone Number	561.899.9888
Letter of Consent Submitted	

Development / Project Name	Desiderio
Existing / New	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: 3025 NE 21st St
Legal Description	Lauderdale beach ext 27-48 B LOT 3 B1K11
Tax ID Folio Numbers (For all parcels in development)	494330021200
Request / Description of Project	Setbacks
Applicable ULDR Sections	47-19.01 47-5.31

Current Land Use Designation	home
Current Zoning Designation	RSB Residential single family home low
Current Use of Property	home
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front [N]	25 ft	
Side [E]	5 ft	
Side [W]	5 ft	
Rear [S]	25ft	7'.22"

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

This page must be filled in. An attached narrative may be included if additional space is required.

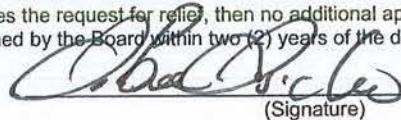
SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12.A.4,

- a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and
- b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:
- c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and
- d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and
- e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

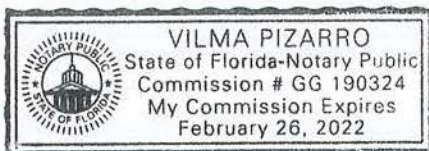
AFFIDAVIT: I, Debra Desiderio the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.


(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 17 day of January, 2020

(SEAL)




NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

This page must be filled in. An attached narrative may be included if additional space is required.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12.A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

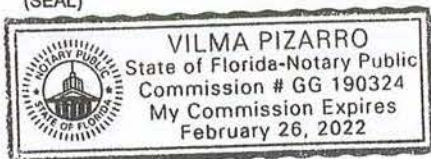
AFFIDAVIT: I, Carmen Lourenco the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Carmen Lourenco
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 10 day of January, 2020

(SEAL)



[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES:

3

This Instrument Was Prepared By:

Record and Return To:

Peter L. Desiderio, Esq.
Stearns Weaver Miller Weissler
Alhadeff & Sitterson, P.A.
200 East Broward Boulevard
Suite 1900
Fort Lauderdale, Florida 33301

Property Appraiser
Identification No.
494330021200

WARRANTY DEED
(F.S. §689.02)

This indenture, made this 31st day of January, 2005, between G.T.P. LAND, INC., a Florida corporation, whose post office address is 3275 West Hillsboro Blvd., #207, Deerfield Beach, of the County of Broward, in the State of Florida 33442, party of the first part, and PIERO L. DESIDERIO and DEBRA F. YAP, his wife, whose post office address is 954 Lake Wyman Road, Boca Raton, of the County of Palm Beach, in the State of Florida 33431, party of the second part.

WITNESSETH:

That the said party of the first part, for and in consideration of the sum of TEN DOLLARS (\$10.00) to it in hand paid by the said party of the second part, the receipt and sufficiency whereof is hereby acknowledged, has granted, bargained and sold to the said party of the second part, their heirs, successors and assigns forever, the following described land and property, to wit:

Lot 3, Block 11, of "LAUDERDALE BEACH EXTENSION", according to the Plat thereof, as recorded in Plat Book 27, Page 48, of the Public Records of BROWARD County, Florida.

Subject to zoning, restrictions, prohibitions and other requirements imposed by governmental authority and easements appearing on the plat or otherwise common to the subdivision; public utility easements of record; and taxes for 2005 and subsequent years; provided nothing contained herein shall act to reimpose same.

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

(Execution and Acknowledgment Appear on Following Page)

(2)

WITNESSES:

Laraine C. Weiss
Witness Signature
Print: LARAINÉ C. WEISS

[Signature]
Witness Signature
Print: ESTI KADOSH

G.T.P. LAND, INC., a Florida corporation

By: [Signature]
John Francavilla, President
Party of the First Part

STATE OF FLORIDA)
) SS:
COUNTY OF BROWARD)

The foregoing instrument was acknowledged before me this 31st day of January, 2005, by John Francavilla, as President of G.T.P. Land, Inc., a Florida corporation, on behalf of the corporation. He/She is personally known to me or presented a Florida driver's license as identification.

My Commission Expires:

Laraine C. Weiss
Notary Public
State of Florida at Large

OFFICIAL NOTARY SEAL
LARAINÉ C WEISS
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. DD093448
MY COMMISSION EXP. MAR. 5, 2006

Print or Stamp Name of Notary Public



MARTY KIARD
BROWARD COUNTY
 PROPERTY APPRAISER

Site Address	3025 NE 21 STREET, FORT LAUDERDALE FL 33305	ID #	4943 30 02 1200
Property Owner	DESIDERIO, PIERO L & YAP, DEBRA F	Millage	0312
Mailing Address	3025 NE 21 ST FORT LAUDERDALE FL 33305	Use	01
Abbr Legal Description	LAUDERDALE BEACH EXT 27-48 B LOT 3 BLK 11		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2020	\$647,410	\$1,199,490	\$1,846,900	\$1,205,440	
2019	\$647,410	\$1,199,490	\$1,846,900	\$1,178,340	\$21,449.35
2018	\$647,410	\$1,137,630	\$1,785,040	\$1,156,370	\$20,501.66

2020 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,846,900	\$1,846,900	\$1,846,900	\$1,846,900
Portability	0	0	0	0
Assessed/SOH 08	\$1,205,440	\$1,205,440	\$1,205,440	\$1,205,440
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$1,155,440	\$1,180,440	\$1,155,440	\$1,155,440

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
1/31/2005	WD	\$1,256,700	38982 / 654	\$54.00	11,989	SF
5/24/2004	WD	\$1,250,000	37725 / 473			
5/5/2003	WD	\$1,025,000	35138 / 266			
4/18/1997	WD	\$550,000	26376 / 563			
9/1/1989	WD	\$395,000	16747 / 173			
				Adj. Bldg. S.F. (Card, Sketch)		3728
				Units		1
				Eff./Act. Year Built: 2000/1953		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03								
R								
1								

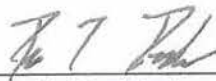
ABSOLUTE ALUMINUM

1220 Ogden RD Venice Fl 34285

561-899-9888

To: City of Fort Lauderdale Building Department,

I, Piero L. Desiderio, allow Corwin Guzman from Absolute Aluminum & Construction Co to submit all paperwork for the administrative variance. The variance is for the following address, 3025 NE 21st Street. Fort Lauderdale, FL 33305 that relates to the carport installed by Absolute Aluminum.



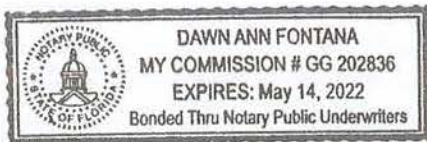
Piero L. Desiderio
Date: November 6, 2019


STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 6th day of November, 2019 by PIERO L. DESIDERIO who is:

Personally known by me, OR
 Produced a Driver's License as identification.

Dated: this 6 day of November, 2019.





Print Name: Dawn Ann Fontana
Notary Public, State of Florida
Commission number _____
Commission expires _____

ABSOLUTE ALUMINUM

1220 Ogden Rd Venice, Fl 34285

561-899-9888

I Debra Desiderio allow Corwin Guzman from Absolute Aluminum & Construction Co to submit all paperwork for the administrative variance. The variance is for the following address, 3025 NE 21 St Fort Lauderdale Fl, 33305



Debra Desiderio

Date Jan 17, 2020

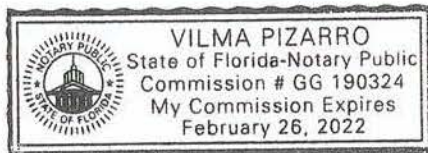
STATE OF FLORIDA

COUNTY OF BROWARD

The foregoing instrument was acknowledged before me on this 20 day of January 2020 by Vilma Pizarro who is:

- Personally, known by me, OR
 Produced a Driver's License as identification

Dated: this ___ day of _____ 2020



Print Name Vilma Pizarro

Notary Public State of Florida

RE: Application for variance
Owner Piero Desiderio
Address: 3025 NE 21st St
Fort Lauderdale, FL 33305

Narrative:

This application is to request a variance for the 25' front setback ULDR code 47-5.31

The existing unit encroaches into the front property setback. The hardship is we proposed 17'.88" and the city requires 25 feet. Both the plan and survey show us in 17'.88" from setback. The current owner wishes to keep the look and general layout of the house. The owner wanted the carport at the location it was installed at so that his vehicles had less sun exposure.

The house was permitted and built in 1953 other additions and work has been done to the property over the years. We are not looking to exceed to far into the setback we just ask that the city grants us the extra 7'.22" incursion into the front of the setback for the carport



CITY OF FORT LAUDERDALE

DEPARTMENT OF SUSTAINABLE DEVELOPMENT • BUILDING SERVICES DIVISION

ADDRESS VERIFICATION

CONTACT: Devon Anderson
Phone: 954-828-5233
Email: DAnderson@fortlauderdale.gov

PROJECT ADDRESS: 3025 NE 21 ST, 33305

PREVIOUS ADDRESS: 3025 NE 21 ST, 33305

NOTES: VARIANCE

ZONING: RS-8

FOLIO #: 494330021200

LEGAL DESCRIPTION: LAUDERDALE BEACH EXT 27-48 B LOT 3 BLK 11

DRC #: _____

AUTHORIZED SIGNATURE: 

DATE: 11/06/2019



MECHANICAL EQUIPMENT CERTIFICATE

Rev: 1.1 | Revision Date: 11/3/2017 | I.D. Number: FM.MEC1.1

This Mechanical Equipment Certificate is required to verify the elevation of standalone new mechanical equipment installs. This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.

Permit Number	19031333	Address: 3025 NE 21 ST STREET, FORT LAUDERDALE, FL 33305
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Scope of Work	GENERATOR INSTALLATION
----------------------	------------------------

NFIP Community Name and Number	FORT LAUDERDALE 125105		
Map/Panel Number	12011C0388		
Flood Zone: AE	BFE:	5'NAVD	Depth Number: N/A

Benchmark Utilized	BCBM#3816, EL: 9.84'NAVD
Type of Equipment	GENERATOR
Elevation of Equipment (NAVD 88)	5.25'NAVD

I certify that the information on this Certificate represents my best efforts to interpret the data available.

Certifier's Name	License Number: 3869	
ROBERT L. THOMPSON		
Title		<i>Please Seal Here</i>
PROFESSIONAL SURVEYOR & MAPPER		
Company		
ACCURATE LAND SURVEYORS		
Address		
1150 E ATLANTIC BOULEVARD		
City	Zip Code	Telephone
POMPANO BEACH	33060	954-782-1441
Signature	Date:	
	4/25/19	

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name PETER DESIDERIO & DRBRA YAP				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 3025 NE 21 STREET				Company NAIC Number:	
City FORT LAUDERDALE		State Florida		ZIP Code 33305	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LAUDERDALE BEACH EXT 27-48 B LOT 3 BLOCK 11 TID# 4943-30-02-1200					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>26°09'21.12"N</u> Long. <u>80°06'15.67"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1B</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>442.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number FORT LAUDERDALE 125105			B2. County Name BROWARD		B3. State Florida
B4. Map/Panel Number 12011C0388	B5. Suffix H	B6. FIRM Index Date 08-18-2014	B7. FIRM Panel Effective/ Revised Date 08-18-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 5'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

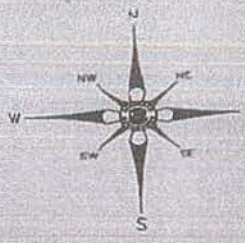
1150 E. ATLANTIC BLVD.
POMPANO BEACH
FLORIDA 33060

ACCURATE LAND SURVEYORS, INC.
L.R. #3635

TEL. (954) 782-1441
FAX. (954) 782-1442

SHEET 2 OF 2

LAKE ALBACORE
100.00'



115.14' RADIAL

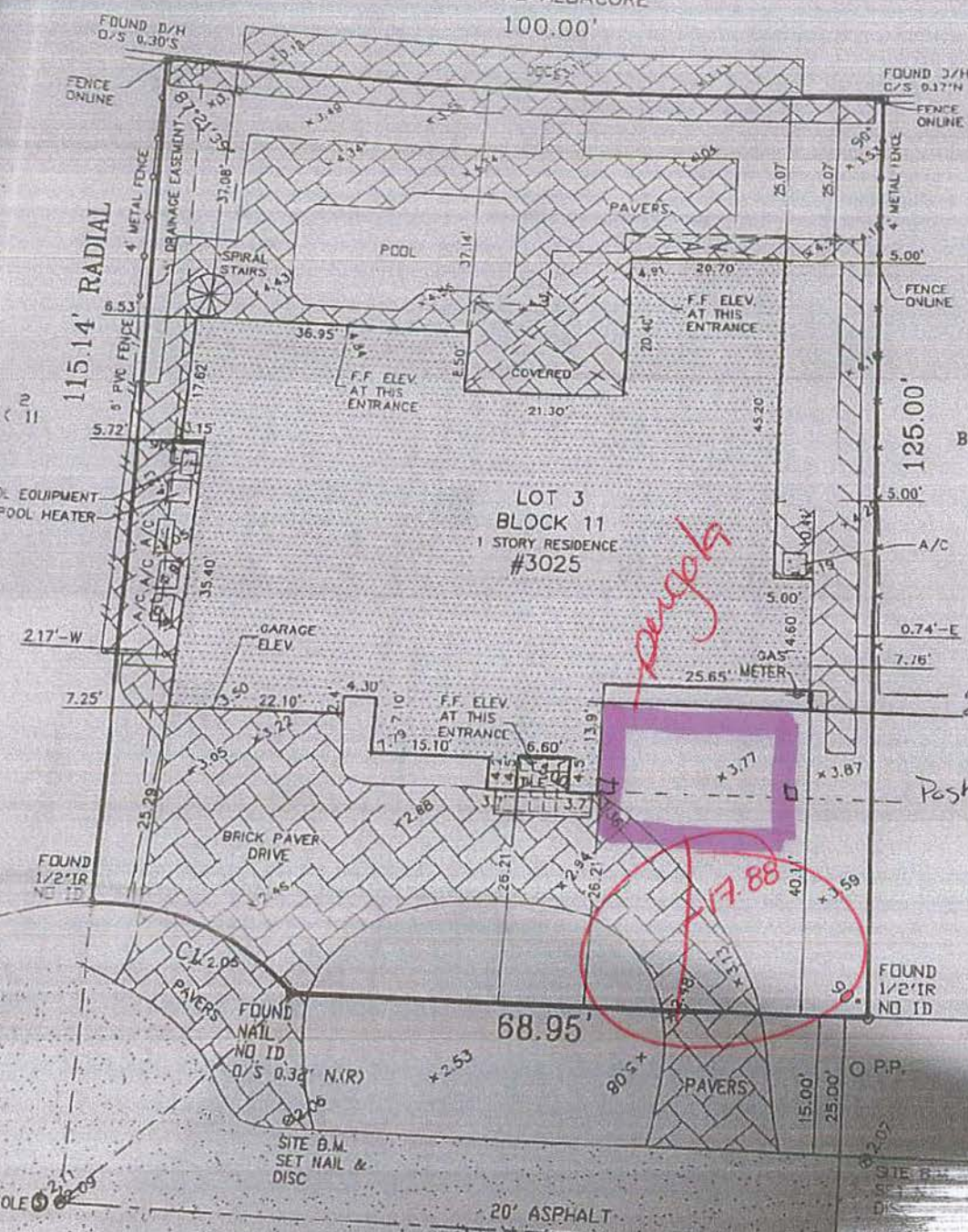
LOT 4
BLOCK 11

LOT 3
BLOCK 11
1 STORY RESIDENCE
#3025

Post face flush with House

Handwritten red notes:
"Paved" (written vertically)
"17.88" (circled in red)

Handwritten notes on the left margin:
"Beam"
"Cover Color"
"Paved Zone"
"dia Att. ASIA"
"3"
"Y. 5"
"0.4"
"white"
"UTV"



MANHOLE

20' ASPHALT

NE 2100'





IMPORTANT:

If you are looking to purchase this property, the tax amount shown may have no relationship to the taxes you will pay.
 If you are looking to purchase this property and are not using portability to transfer any capped savings, please use our **Tax Estimator** to determine a more likely estimate of your new amount.
 If you own this home and want to purchase a new home in Florida, try our **Portability Estimator** to see how portability and the additional homestead exemption can help you.
 If you own a home in Florida, and want to see how much portability will save you, try our **Portability Estimator**.

- [PREVIOUS](#)
[NEXT](#)
[VIEW MAP](#)
[PRINT](#)
[NEW SEARCH](#)
[PHOTOGRAPHS](#)
[BCPA HOME](#)

[Click here to display your 2019 Tax Bill.](#)

Site Address	3025 NE 21 STREET, FORT LAUDERDALE FL 33305	ID #	4943 30 02 1200
Property Owner	DESIDERIO, PIERO L & YAP, DEBRA F	Millage	0312
Mailing Address	3025 NE 21 ST FORT LAUDERDALE FL 33305	Use	01

Abbreviated Legal Description	LAUDERDALE BEACH EXT 27-48 B LOT 3 BLK 11
--------------------------------------	---

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

Property Assessment Values					
Click here to see 2019 Exemptions and Taxable Values as reflected on the Nov. 1, 2019 tax bill.					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2020	\$647,410	\$1,199,490	\$1,846,900	\$1,178,340	
2019	\$647,410	\$1,199,490	\$1,846,900	\$1,178,340	\$21,449.35
2018	\$647,410	\$1,137,630	\$1,785,040	\$1,156,370	\$20,501.66

IMPORTANT: The 2020 values currently shown are "roll over" values from 2019. These numbers will change frequently online as we make various adjustments until they are finalized on June 1. Please check back here AFTER June 1, 2020, to see the actual proposed 2020 assessments and portability values.

2020 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,846,900	\$1,846,900	\$1,846,900	\$1,846,900
Portability	0	0	0	0
Assessed/SOH 08	\$1,178,340	\$1,178,340	\$1,178,340	\$1,178,340
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$1,128,340	\$1,153,340	\$1,128,340	\$1,128,340

Sales History -- Search Subdivision Sales				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
1/31/2005	WD	\$1,256,700	38982 / 654	\$54.00	11,989	SF

5/24/2004	WD	\$1,250,000	37725 / 473			
5/5/2003	WD	\$1,025,000	35138 / 266			
4/18/1997	WD	\$550,000	26376 / 563			
9/1/1989	WD	\$395,000	16747 / 173	Adj. Bldg. S.F. (Card, Sketch)		3728
Units						1
Eff./Act. Year Built: 2000/1953						

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03								
R								
1								

[If you see a factual error on this page, please click here to notify us.](#)

BOARD OF ADJUSTMENT

April 8, 2020

3025 NE 21st Street

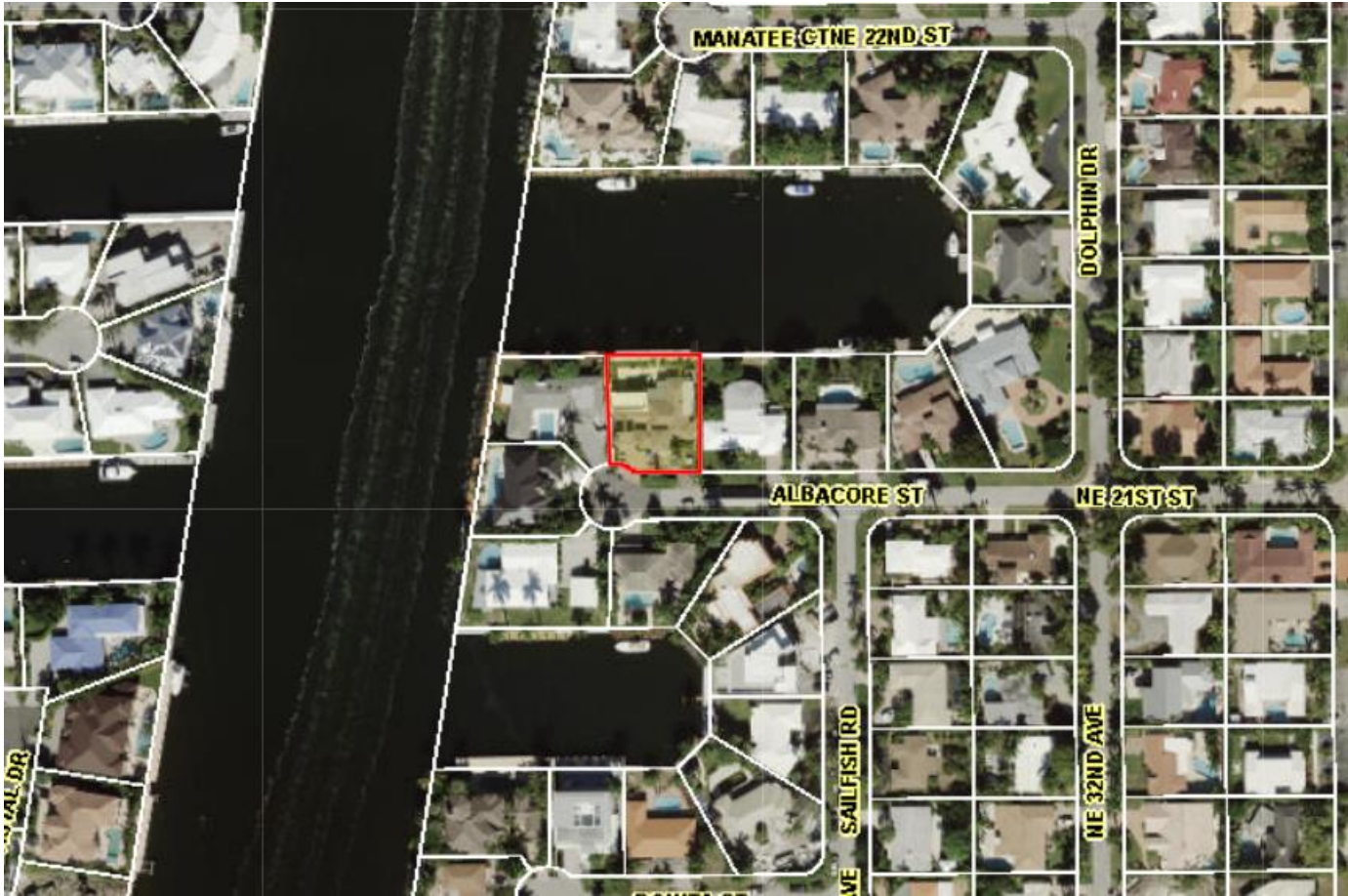
Variance from ULDR Section 47-19.2.B

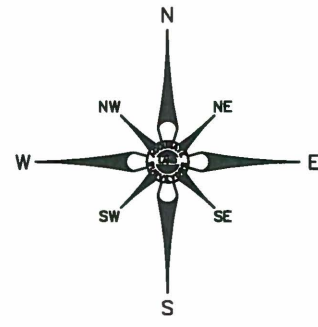
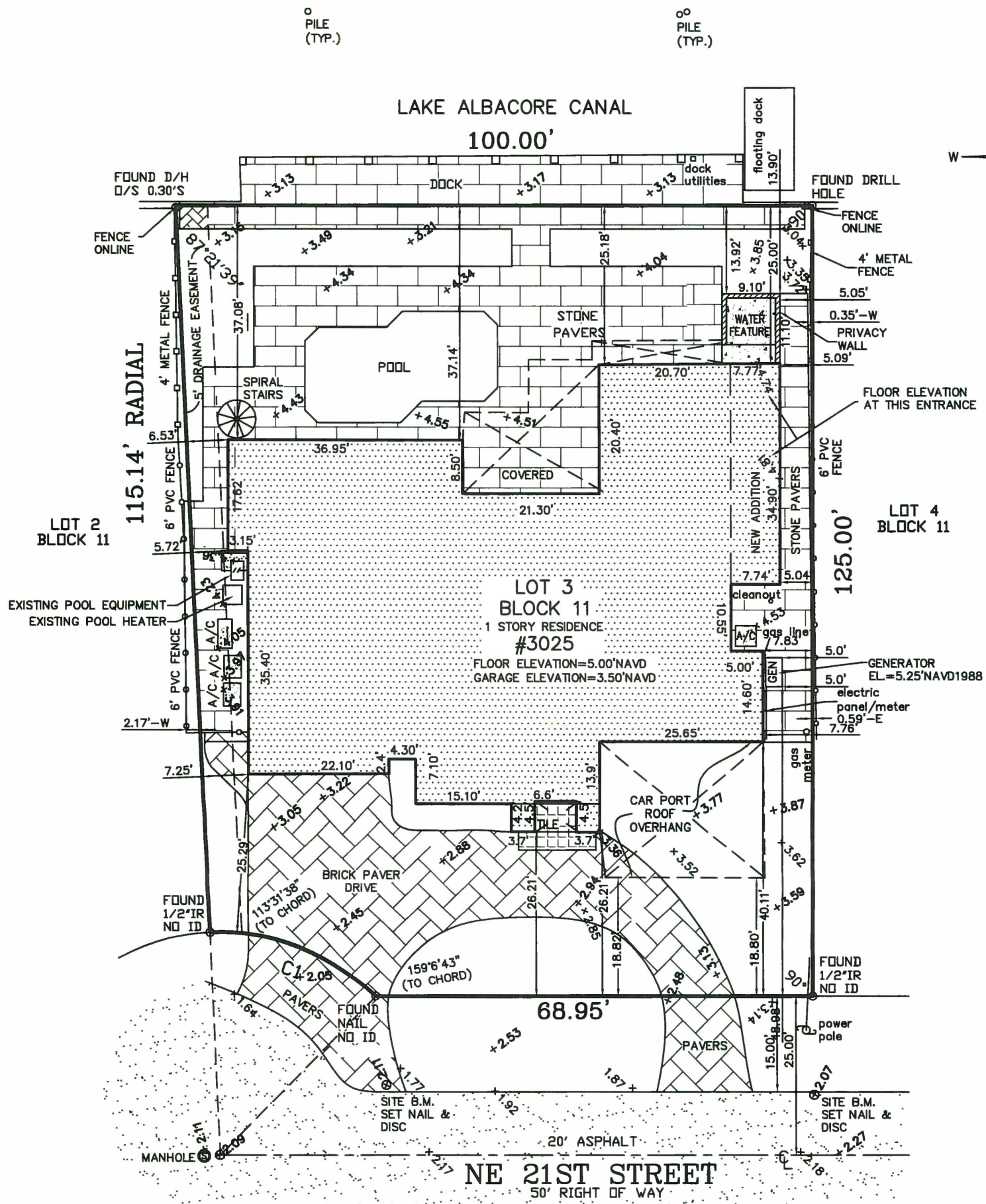
Sheet Index

1 – Cover Sheet

2 – Aerial

3 – As-built Survey





x 5.18 DENOTES ELEVATIONS BASED ON N.A.V.D.

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1(P)	28.66	35.00	46°55'01"
(C)	28.74	35.00	47°03'16"

REVISIONS	DATE	BY
UPDATE SURVEY SU-19-1015	04-25-19	AL/RLT
UPDATE SURVEY SU-19-0665	03-28-19	AL/RLT
SPOT SURVEY 18-3355	10-25-18	MLW
FORMBOARD LOCATIONS 18-3097	09-28-18	MLW
S/O ADDITION 18-2901	09-10-18	MLW
DELETE FRONT ADDITION SU-16-4270	12/15/16	JMS
UPDATE/TOPO/SHOW PROPOSED NEW ADDITION SU-16-3933	11/21/16	AL/JMS
REVISE SKETCH	01-28-10	MLW
FINAL SURVEY SU-10-0007	01-05-10	AL/MLW
SPOT SURVEY SU-09-2036	09-08-09	AL/MLW
FORMBOARD SURVEY 09-1917	09-02-09	MLW
PERVIOUS CALCS. 09-1063	05-19-09	MLW
ADD ADDITIONAL INFORMATION SU-07-3434	8-17-07	RNB/JMS
FINAL SURVEY SU-07-2976	6-29-07	RNB/JMS
DATE OF SURVEY 04-28-03	DRAWN BY O.I.W.	CHECKED BY MS

NOTES:

- UNLESS OTHERWISE NOTED FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
- BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N/A.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS, OR OTHER MATTERS OF RECORDS BY ACCURATE LAND SURVEYORS, INC.
- OWNERSHIP OF FENCES AND WALLS IF ANY NOT DETERMINED.
- THIS DRAWING IS THE PROPERTY OF ACCURATE LAND SURVEYORS, INC. AND SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- THIS SURVEY CONSISTS OF A MAP AND TEXT REPORT. ONE IS NOT VALID WITHOUT THE OTHER.
- THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON, TO BE VALID ONE YEAR FROM THE DATE OF SURVEY AS SHOWN.
- THE FLOOD ZONE INFORMATION SHOWN HEREON IS FOR THE DWELLABLE STRUCTURE ONLY UNLESS OTHERWISE INDICATED.
- THE LOCATION OF OVERHEAD UTILITY LINES ARE APPROXIMATE IN NATURE DUE TO THEIR PROXIMITY ABOVE GROUND. SIZE, TYPE & QUANTITY MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.

CERTIFICATION:

THIS IS TO CERTIFY THAT THIS ABOVE GROUND SKETCH OF BOUNDARY SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SKETCH MEETS THE CURRENT STANDARDS OF PRACTICE, ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Robert L. Thompson 2-17-20

ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA

SCALE 1"=20'

SEAL
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

SKETCH NUMBER SU-03-2605

MECHANICALLY OPENING LOUVERED ROOF

FOUNDATION & SLAB ON GRADE NOTES (AS APPLICABLE):

- CONTRACTOR SHALL COMPLY WITH RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND ALL ADDEDUMS, LETTER, AND OTHER ASSOCIATED DOCUMENTS:
PROJECT SOIL REPORT NOT PROVIDED
- ALL FOOTING HAVEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 2000 PSI AND A MINIMUM ALLOWABLE LATERAL BEARING PRESSURE OF 100 PCF.
- WHERE STRUCTURAL FILL IS REQUIRED, STRUCTURAL FILL IS TO EXTEND BEYOND PERIMETER OF FOOTING A MINIMUM OF 6" PER 12" OF FILL DEPTH.
- FOOTING SHALL BE LOCATED A MINIMUM OF 12" BELOW THE NEAREST ADJACENT FINAL GRADE. (UNLESS NOTED OTHERWISE)
- CONTRACTOR SHALL ASSURE THAT FOOTINGS ARE PROPERLY DRAINED AND THAT SOIL IS DRY AND THAT BUILDING HORIZONTAL CLEARANCE FROM FOOTINGS TO ASCENDING SLOPES SHALL BE A MINIMUM OF 25 FEET UNLESS APPROVED BY A GEOTECHNICAL ENGINEER. FOOTING EXCAVATIONS TO BE CLEARED OF ALL DELETERIOUS MATERIAL BEFORE CONCRETE IS POURED.
- PROVIDE CRACK CONTROL JOINTS IN SLABS @ 10'-0" O.C. MAX BY SAW CUTTING @ 1/4" WIDE x 1 1/4" DEEP JOINTS SHOULD BE INSTALLED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- CONTRACTOR TO FOLLOW ALL SITE PREPARATION RECOMMENDATIONS FROM SOILS REPORT FOUNDATION STEPS SHALL NOT EXCEED 4 FEET OR 'h' HORIZONTAL DISTANCE BETWEEN STEPS HORIZONTAL REBAR SHALL BE 12" O.C. THROUGH STEP DOWNS AND EXTEND 48 INCHES EITHER SIDE OF STEP.
- CONCRETE SLABS SHALL BE PROTECTED FROM LOSS OF SURFACE MOISTURE FOR NOT LESS THAN 7 DAYS BY USING A CURING COMPOUND CONFORMING TO ASTM C-309 OR BY WET BURLAP OR A PLASTIC MEMBRANE.
- LAP CONTINUOUS REINFORCING BARS WITH CLASS B LAP SPLICE ACCORDING TO CONCRETE LAP SPLICE SCHEDULE UNDER REINFORCED CONCRETE NOTES. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS WITH ACI STANDARD HOOKS. REINFORCING COVER SHALL BE AS FOLLOWS.
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH (EXCEPT SLABS).. 3"
CONCRETE EXPOSED TO EARTH OR WEATHER BUT PLACED IN FORMS 2"
CONCRETE SLABS IN CENTER OF SLAB
- WATERPROOFING SHALL BE PLACED BETWEEN SOIL & CONCRETE WHEREVER SOIL IS USED AS A FORM FOR CONCRETE, EXCEPT FOR FOOTINGS.
- ALL REINFORCING SHOWN TO BE HOOKED SHALL HAVE STANDARD ACI HOOKS.
- PLACE CRACK CONTROL JOINTS BY SAW CUTTING @ 1/4" WIDE x 1 1/4" DEEP WHERE SHOWN. CUTTING TO BE PERFORMED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- CONCRETE SLABS SHALL BE PLACED AND FINISHED WITHIN A TOLERANCE OF 1/8 INCH IN EVERY 10 FEET, AS DETERMINED BY PLACING A 10 FOOT STRAIGHT EDGE ON THE SLAB IN ANY DIRECTION. ANY DEVIATION FROM THIS WHICH REQUIRES ADDITIONAL CUTTING OF OTHER BUILDING COMPONENTS SHALL BE THE RESPONSIBILITY OF THE CONCRETE CONTRACTOR.
- COMPACT CLEAN INTERIOR SAND FILL HAVING LESS THAN FINES TO OF MODIFIED PROCTOR MAXIMUM DRY DENSITY, ASTM D 1557 AT OPTIMUM MOISTURE CONTENT. SOIL COMPACTION SHALL BE FIELD CONTROLLED BY QUALIFIED LABORATORY OR SOILS ENGINEER, APPROVED BY STRUCTURAL ENGINEER
- CAST IN ANCHOR BOLTS AND POST INSTALLED THREADED RODS EPOXIED INTO CONCRETE SHALL BE ASTM F1554.
- ALL LANDSCAPING MUST BE GRADED AWAY FROM THE STRUCTURE AT A MINIMUM GRADE OF 5% FOR THE FIRST 10 FEET OR AS FAR AS POSSIBLE TO MINIMIZE WATER INFILTRATION INTO THE SUBGRADE.

FASTERNER NOTES (AS APPLICABLE):

- ALL TEK SCREWS TO COMPLY WITH GENERAL NOTE 7.

HURRICANE WARNING REQUIREMENT:
LOUVERS SHALL BE ROTATED TO A 90° POSITION DURING ANY NAMED STORM TO PREVENT EXCESSIVE UPLIFT FORCE ON THE ROOF SYSTEM

STRUCTURAL ALUMINUM NOTES:

- ALL STRUCTURAL ALUMINUM COMPONENTS SHALL BE FABRICATED AND ERECTED ACCORDING TO THE GOVERNING BUILDING CODE AND MATERIAL STANDARDS REFERENCED ON THIS SHEET.
- ALL STRUCTURAL ALUMINUM SHALL BE THE FOLLOWING ALLOY AND TEMPER:
- BEAMS, PURLINS, COLUMNS 6063-T6 (UNLESS NOTED OTHERWISE)
- ALL OTHER EXTRUSIONS 6063-T6 (UNLESS NOTED OTHERWISE)
- FASTENERS SS 410
- STRUCTURAL ALUMINUM SHALL BE FRAMED PLUMB AND TRUE AND ADEQUATELY BRACED DURING CONSTRUCTION.
- WHERE ALUMINUM IS IN CONTACT WITH OTHER METALS EXCEPT 300 SERIES STAINLESS STEEL, ZINC OR CADMIUM AND THE FAYING SURFACES ARE EXPOSED TO MOISTURE, THE OTHER METALS SHALL BE PAINTED OR COATED WITH ZINC, CADMIUM, OR ALUMINUM.
- UNCOATED ALUMINUM SHALL NOT BE EXPOSED TO MOISTURE OR RUNOFF THAT HAS COME IN CONTACT WITH OTHER UNCOATED METALS EXCEPT 300 SERIES STAINLESS STEEL, ZINC, OR CADMIUM.
- ALUMINUM SURFACES TO BE PLACED IN CONTACT WITH WOOD, FIBERBOARD, OR OTHER POROUS MATERIAL THAT ABSORBS WATER SHALL BE PAINTED.
- ALUMINUM SURFACES SHALL BE PAINTED IF THEY ARE TO BE PLACED IN CONTACT WITH CONCRETE OR MASONRY UNLESS THE CONCRETE OR MASONRY REMAINS DRY AFTER CURING AND NO CORROSIVE ADDITIVES SUCH AS CHLORIDES ARE USED.
- ALUMINUM SHALL NOT BE EMBEDDED IN CONCRETE WITH CORROSIVE ADDITIVES SUCH AS CHLORIDES IF THE ALUMINUM IS ELECTRICALLY CONNECTED TO STEEL. ALUMINUM EMBEDDED IN CONCRETE SHALL BE WRAPPED WITH 10 M L PIPE WRAP OR PLASTIC TAPE.
- STEEL FASTENERS WITH A SPECIFIED MINIMUM TENSILE STRENGTH GREATER THAN 120 KSI IN THE LOAD BEARING PORT ON OF THE SHANK SHALL NOT BE USED IN CONTACT WITH ALUMINUM. ALL FASTENERS SHALL BE LOCATED AT A SPACING THAT CONFORMS TO A SC STANDARD GAGE AND PITCH.
- AS AN ALTERNATIVE TO THE PREVIOUS REQUIREMENTS FOR ALUMINUM IN CONTACT WITH OTHER MATERIALS, ALUMINUM SHALL BE SEPARATED FROM THE MATERIALS OF THIS SECTION BY A NONPOROUS ISOLATOR COMPATIBLE WITH THE ALUMINUM AND THE DISSIMILAR MATERIAL.
- BOLT HOLES SHALL BE DRILLED THE SAME NOMINAL DIAMETER AS THE BOLT + 1/16"
- FASTENERS SHALL TEK SCREWS. UNLESS OTHERWISE NOTED.

STRUCTURAL WOOD NOTES (AS APPLICABLE):

- ALL DIMENSION LUMBER SHALL BE STRUCTURAL GRADE # 2 SOUTHERN YELLOW PINE OR BETTER MEETING APPLICABLE REQUIREMENTS OF THE SOUTHERN PINE INSPECTION BUREAU (SPIB) AND PRESSURE-IMPREGNATED (PT) BY AN APPROVED PROCESS (ACQ 0.4 PRESSURE TREATED) PRESERVATIVE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE BUILDING CODE AND AMERICAN WOOD PRESERVERS ASSN (AWPA) "BOOK OF STANDARDS" OR 0.55 SPECIFIC GRAVITY MIN.
- WOOD IN CONTACT WITH ALL METAL CONNECTORS USED IN LOCATIONS EXPOSED TO WEATHER SHALL BE GALVANIZED.
- NAILS SHALL PENETRATE THE SECOND MEMBER A DISTANCE EQUAL TO THE THICKNESS OF THE MEMBER BEING NAILED THERETO. THERE SHALL BE NOT LESS THAN 2 NAILS IN ANY CONNECTION.
- MEMBERS SHALL BE FREE OF CRACKS AND KNOTS. MOISTURE CONTENT SHALL BE 19% OR LESS.
- WOOD THAT IS IN CONTACT WITH CONCRETE OR MASONRY, AND AT OTHER LOCATIONS AS SHOWN ON STRUCTURAL DRAWINGS, SHALL BE PROTECTED WITH 30 # FELT (UNLESS NOTED OTHERWISE) OR PRESSURE TREATED IN ACCORDANCE WITH AITC-109. MEMBER SIZE SHOWN ARE NOMINAL UNLESS NOTED OTHERWISE.

EXCLUSIONS

HOST STRUCTURE.
ELECTRICAL, WIRING.

SHEET INDEX

# SHEET	DESCRIPTION
1	Cover Page
2	Plan View/Elevation
3	Details
4	Details
5	Details

DESIGN NOTES:

- FLORIDA BUILDING CODE SIXTH EDITION (2017)
- WIND PRESSURES HAVE BEEN DETERMINED BASED ON ASCE 7-10, ROOF OVER OPEN STRUCTURE, OBSTRUCTED WIND FLOW, DESIGN PRESSURES CONSIDER WIND LOAD FROM Vult=170 MPH 3-SECOND GUST (Vasd EQUIVALENT = 132MPH) IN EXPOSURE 'C' ACTING SIMULTANEOUSLY WITH 20 PSF ROOF LIVE LOAD, DIRECTIONALITY FACTOR Kd=0.85, G=0.85, Kz=0.85, Kzt=1.0, 10' MRH. POROSITY WHEN OPEN 50%
 - SNOW LOAD = N/A
 - SEISMIC PARAMETERS:
DESIGN CATEGORY: A
SITE CLASS: D
RISK CATEGORY: I
IMPORTANCE FACTOR, IC: 1.000
Ss: 0.057
S1: 0.023
SD1: 0.037
SDs: 0.061
L/80
 - DEFLECTION CRITERIA
 - SYSTEM NOT DESIGN TO HANDLE CONCENTRATED LOADS FROM HUMAN ACTIVITY.

GENERAL NOTES:

- THIS STRUCTURE HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH THE STRUCTURAL PROVISIONS OF THE REFERENCED INTERNATIONAL BUILDING CODE. STRUCTURE SHALL BE FABRICATED IN ACCORDANCE WITH ALL GOVERNING CODES. CONTRACTOR SHALL INVESTIGATE AND CONFORM TO ALL LOCAL BUILDING CODE AMENDMENTS WHICH MAY APPLY AND GOVERN. DESIGN CRITERIA OR SPANS BEYOND STATED HEREIN MAY REQUIRE ADDITIONAL SITE SPECIFIC SEALED ENGINEERING.
- THIS ENGINEER HAS NOT VISITED THIS JOBSITE. INFORMATION CONTAINED HEREIN IS BASED ON CONTRACTOR SUPPLIED DATA AND MEASUREMENTS. ENGINEERING EXPRESS SHALL NOT BE HELD RESPONSIBLE OR LIABLE IN ANY WAY FOR ERRONEOUS OR INACCURATE DATA OR MEASUREMENTS. WORK SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THIS ENGINEERING SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO REEVALUATE OUR WORK UPON DISCOVERY OF ANY INACCURATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.
- THE EXISTING HOST STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SYSTEM AS VERIFIED BY THE ENGINEER & OR ARCHITECT OF RECORD, et.al. THE HOST STRUCTURE WHICH IS DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS MUST PROVIDE SUFFICIENT, CAPACITY FOR THIS SPECIFIED DECK SYSTEM. NO WARRANTY OR GUARANTEE TO THESE CONDITIONS, EITHER EXPRESSED OR IMPLIED, IS OFFERED WITH THIS CERTIFICATION.
- THE CONTRACTOR SHALL CAREFULLY CONSIDER POSSIBLE IMPOSING LOADS ON ROOF, INCLUDING BUT NOT LIMITED TO ANY CONCENTRATED LOADS WHICH MAY JUSTIFY GREATER DESIGN CRITERIA.
- LOUVERED ROOF SYSTEM SHALL BE PER MANUFACTURER MAXIMUM SPANS OR BY OTHERS.
- THE INSTALLATION OF ANY ACCESSORIES THAT DO NOT AFFECT THE STRUCTURAL INTEGRITY OF THE STRUCTURE ARE OUTSIDE THE SCOPE OF THIS CERTIFICATION AND NOT REQUIRED TO BE CERTIFIED UNDER THIS STRUCTURAL DRAWING. THEY MAY BE INSTALLED AS DESIRED PER MFR. SPECIFICATIONS.
- ALL FASTENERS TO BE #14 OR GREATER ASTM F593 COLD WORKED 304 STAINLESS STEEL, UNLESS NOTED OTHERWISE. FASTENERS SHALL BE CADMIUM-PLATED OR OTHERWISE CORROSION-RESISTANT MATERIAL AND SHALL COMPLY WITH "SPECIFICATIONS FOR ALUMINUM STRUCTURES" SECTION J.3.7.2 BY THE ALUMINUM ASSOCIATION, INC., & ANY APPLICABLE FEDERAL, STATE, AND/OR LOCAL CODES. Fy= 65 KSI MIN.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. EMBEDMENT SHALL BE AS NOTED HEREIN. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES STUCCO, FOAM, BRICK, AND OTHER WALL FINISHES.
- ALL CONCRETE ANCHORS SHALL BE INSTALLED TO NON-CRACKED CONCRETE ONLY.
- THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.
- ALL LIGHT GAUGE STEEL MEMBERS SHALL CONFORM TO ASTM A36 AND CURRENT EDITION OF AISC WITH MINIMUM Fy = 55KSI.
- ALL CONCRETE AND EPOXY TO REACH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 7 DAYS.
- DIMENSIONS ARE SHOWN TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. THEY MAY VARY SLIGHTLY, BUT SHALL REMAIN IN CONFORMANCE WITH THE LIMITATIONS OF THIS PLAN. THE CONTRACTOR IS TO VERIFY ALL FIELD DIMENSIONS PRIOR TO INSTALLATION, AND VERIFY THAT PROPOSED DIMENSIONS AND FIELD CONDITIONS AGREE WITH THIS PROPOSED PLAN. USE OF THIS DOCUMENT CONSTITUTES ACCEPTANCE OF THE PROPOSED SYSTEM LAYOUT, COMPONENTS SELECTED, AND INSTALLATION. THESE DRAWINGS ARE NOT INTENDED TO BE USED AS FABRICATION OR SHOP DRAWINGS.
- ENGINEER SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR, et. al. INDEMNIFIES & SAVES HARMLESS THIS ENGINEER FOR ALL COST & DAMAGES INCLUDING LEGAL FEES & APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ERECTION, & CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE, & FEDERAL CODES & FROM DEVIATIONS OF THIS PLAN.
- EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.

FRANK L. BENNARDO, P.E.
PE# 0046549

09/06/2019

FRANK L. BENNARDO, P.E.
46549

VALID FOR 1 PERMIT ONLY U.N.O.
VALID ONLY WITH ORIGINAL ENGINEER SEAL

ENGINEERING EXPRESS
CORPORATE OFFICE:
160 SW 12th AVE, SUITE 106
DEERFIELD BEACH, FL 33442
P: (954) 354-0660 F: (954) 354-0443
E: HELLO@ENGINEERINGEXPRESS.COM
ENGINEERINGEXPRESS.COM
CERT OF AUTH #9885

ABSOLUTE ALUMINUM
1220 OGDEN RD.
VENICE, FL
(941) 497-7777

DESIDARIO RES.
3025 NE 21ST
FORT LAUDERDALE, FL

REMARKS	DRWN	CHKD	DATE
INIT ISSUE	JRB	FLB	12/12/17
ADD TREE PROTECTION DTL	JAC	TSB	10/10/18
REV 2 - SUPER GUTTER	JAC	TSB	01/28/19

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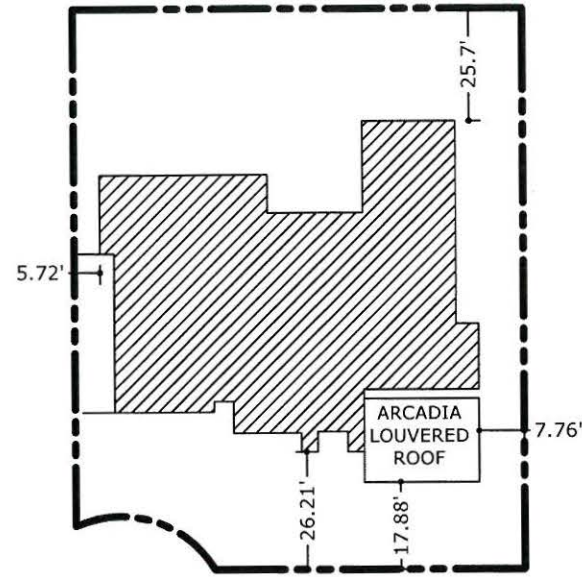
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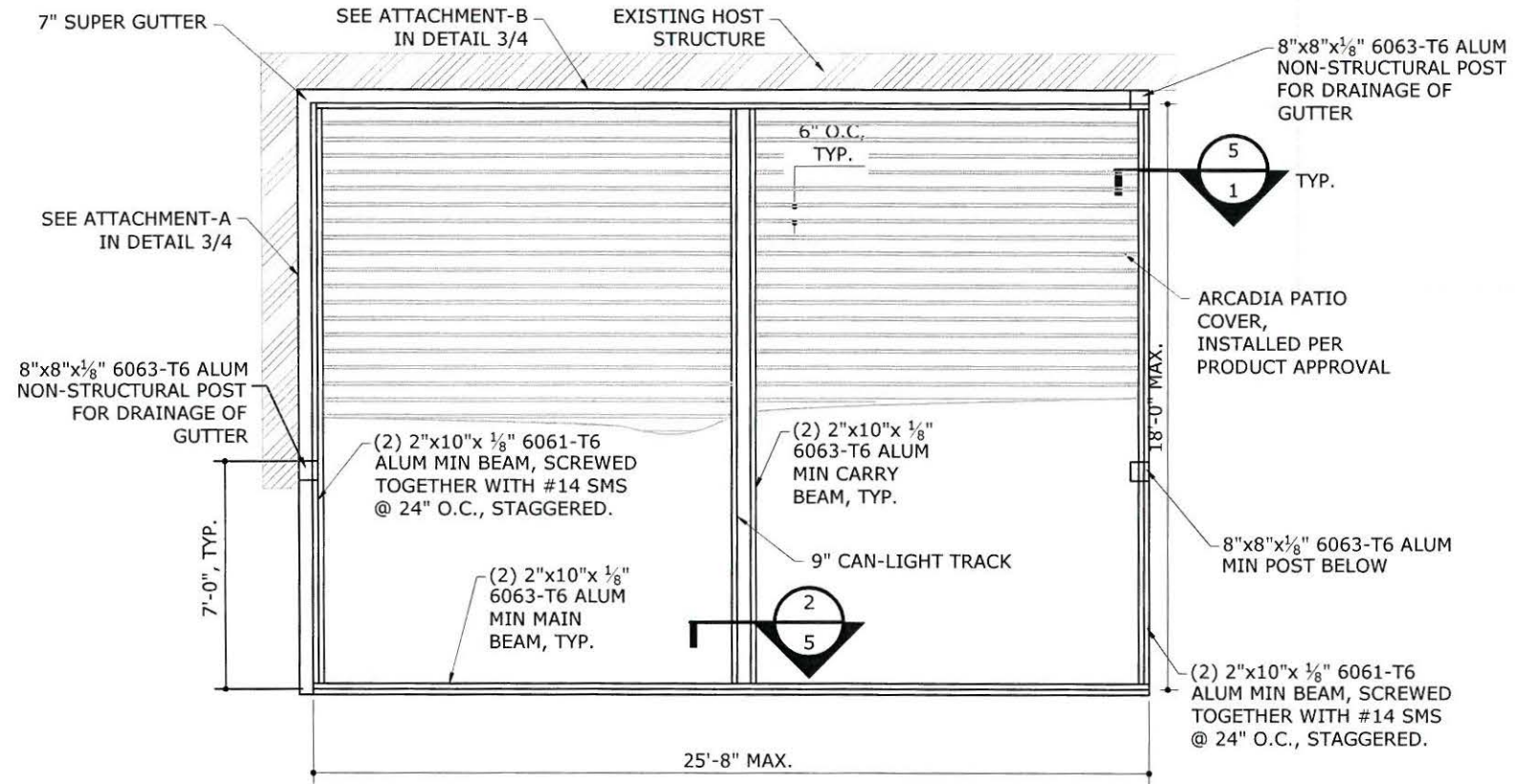
1 OF 5

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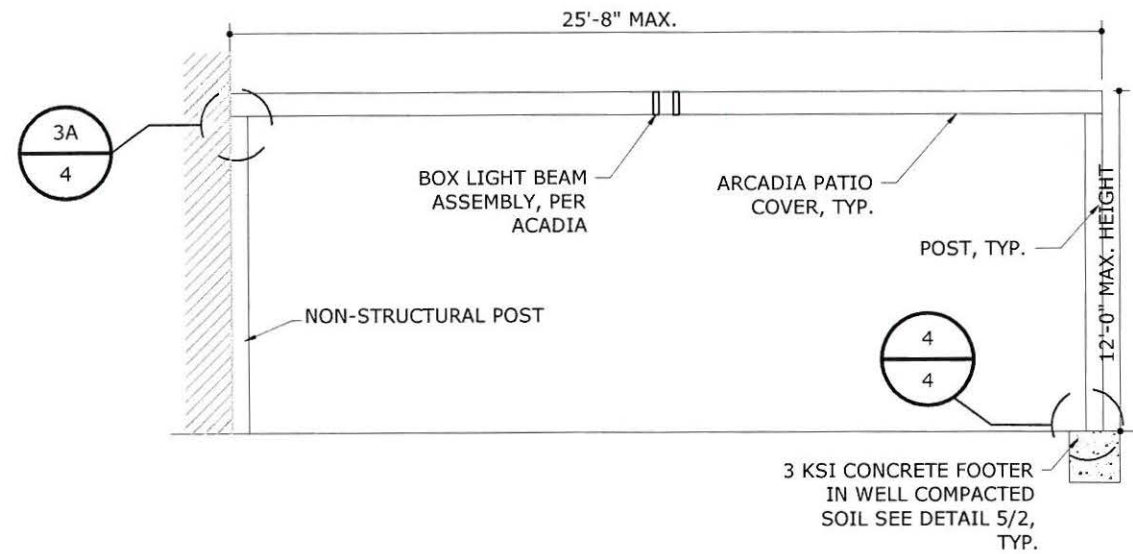
KEY PLAN



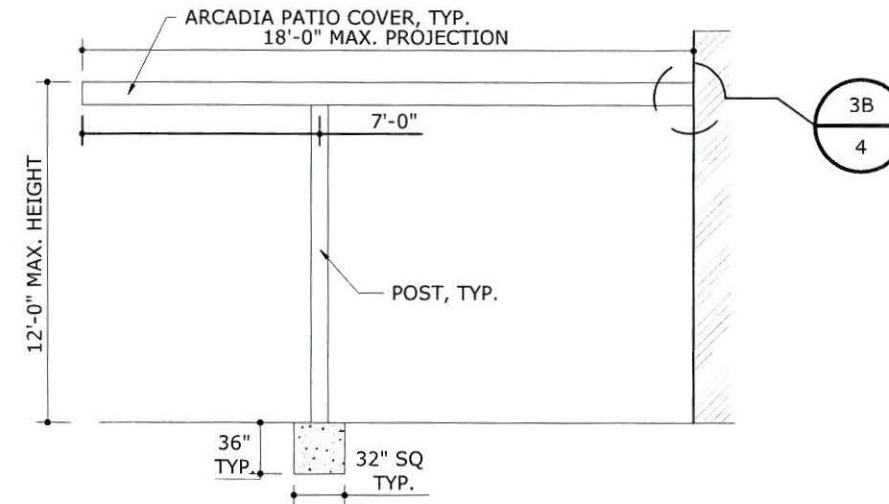
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HOST ATTACHED ARCADIA LOUVERED ROOF
 PLAN VIEW



HOST ATTACHED ARCADIA LOUVERED ROOF
 FRONT ELEVATION



HOST ATTACHED ARCADIA LOUVERED ROOF
 SIDE ELEVATION



FRANK L. BENNARDO, P.E.
 PE# 0046549
 09/06/2019
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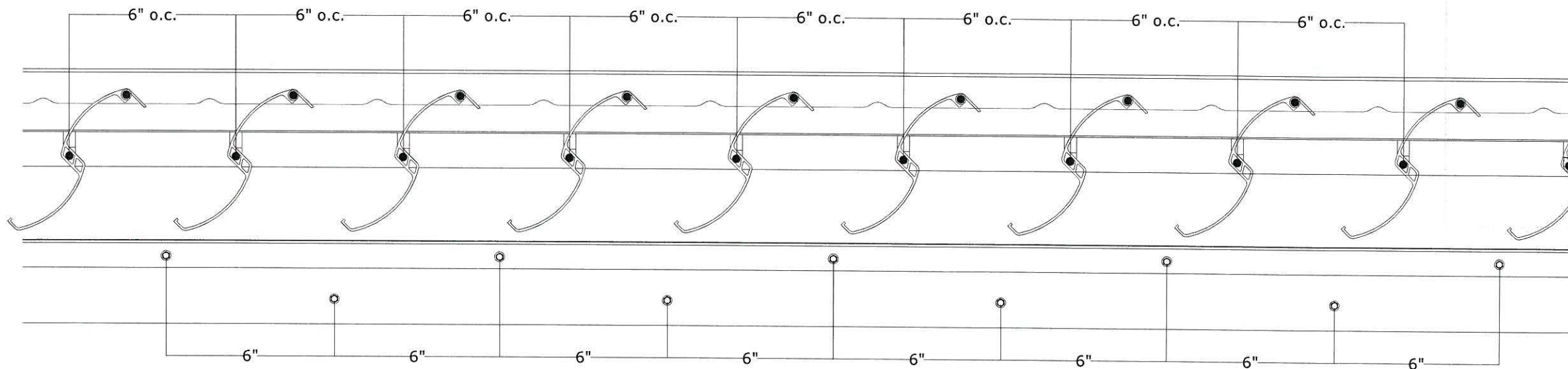
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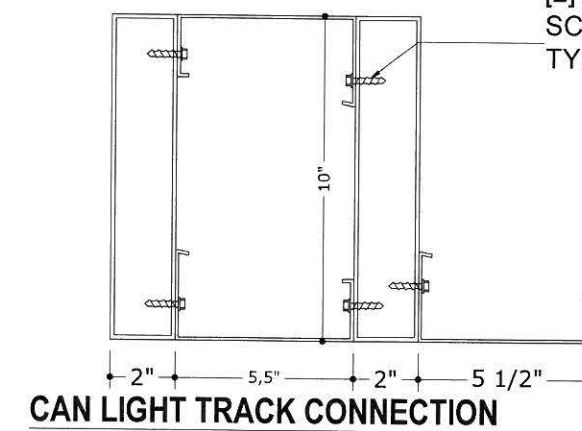
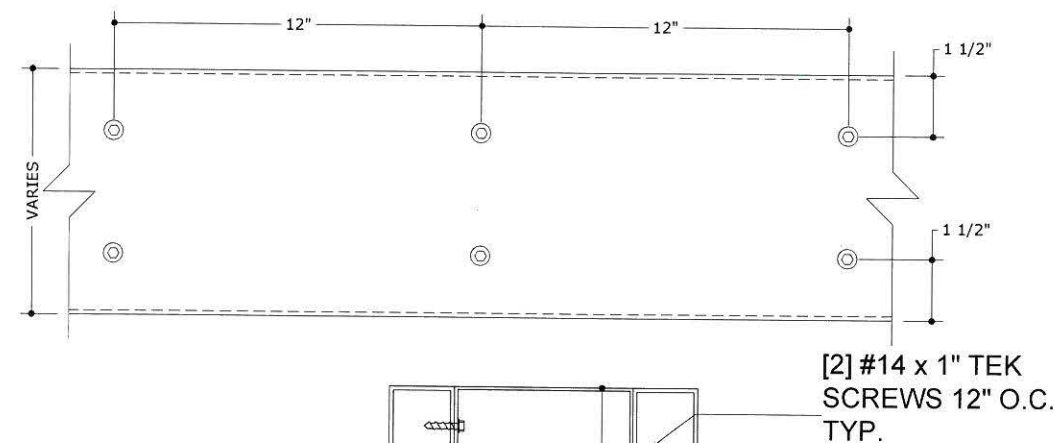
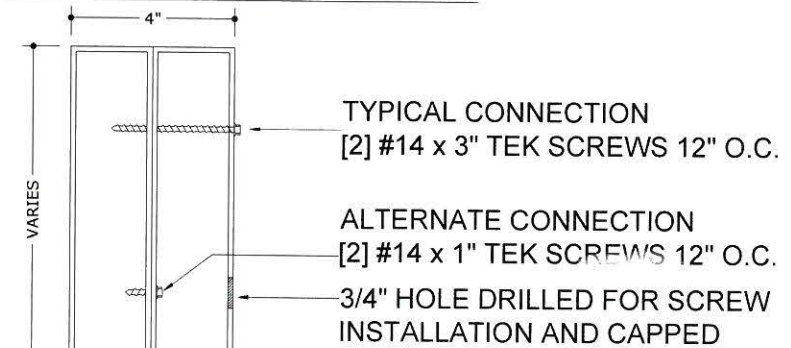
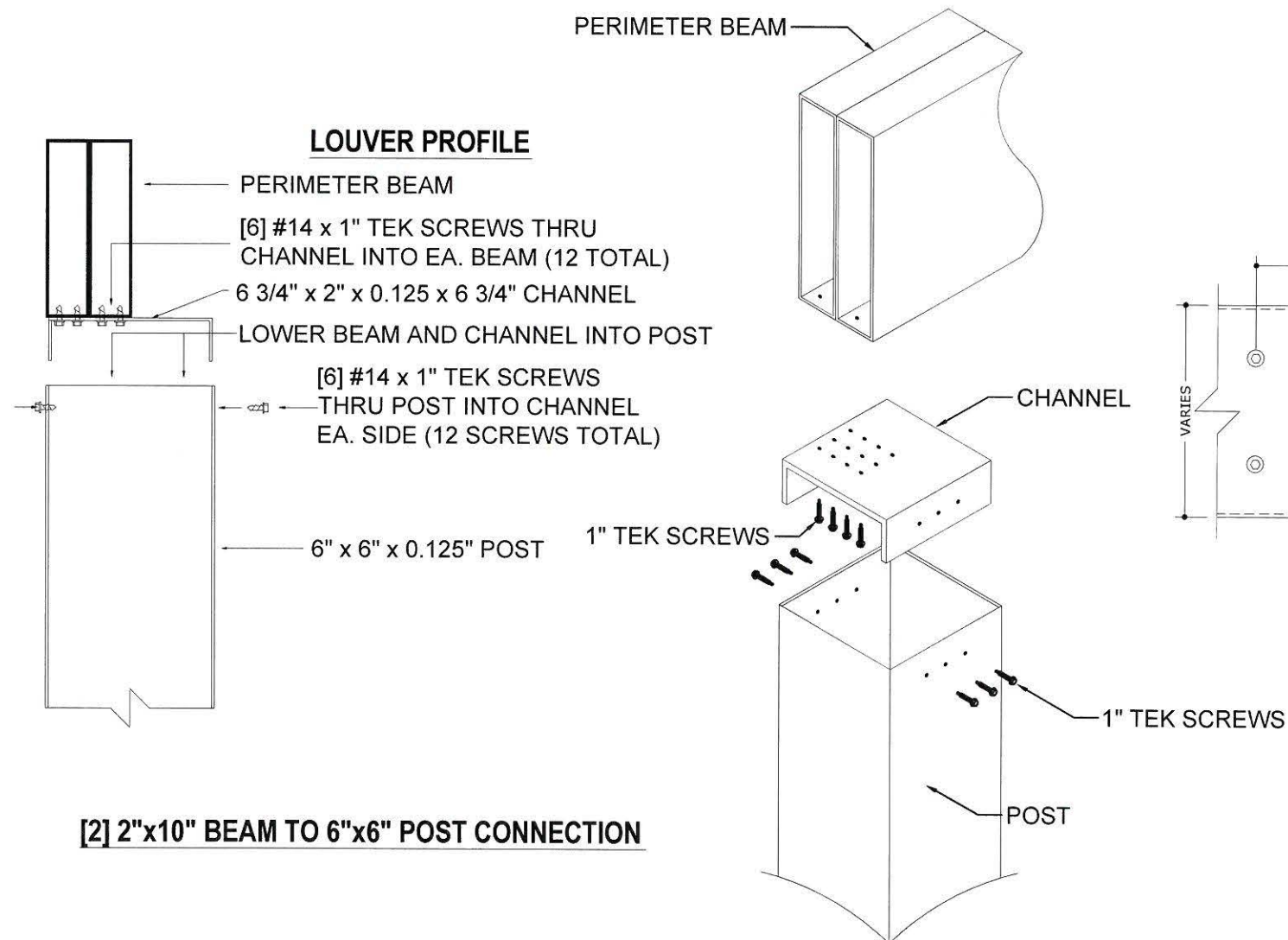
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09/06/2019 - 4:43pm alex V:\projects\17-5423 Desidario Res\WP17-5423g - Desidarios Res.dwg



DOUBLE PERIMETER BEAM CONNECTION



FRANK L. BENNARDO, P.E.
PE# 0046549
09/06/2019
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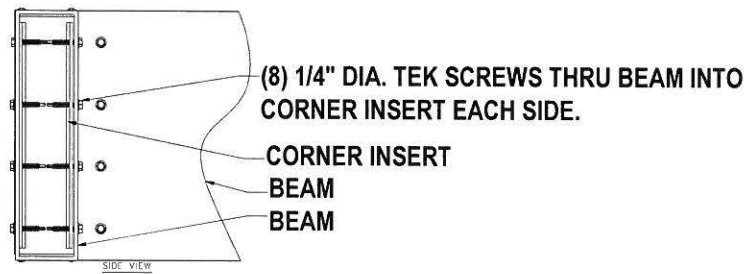
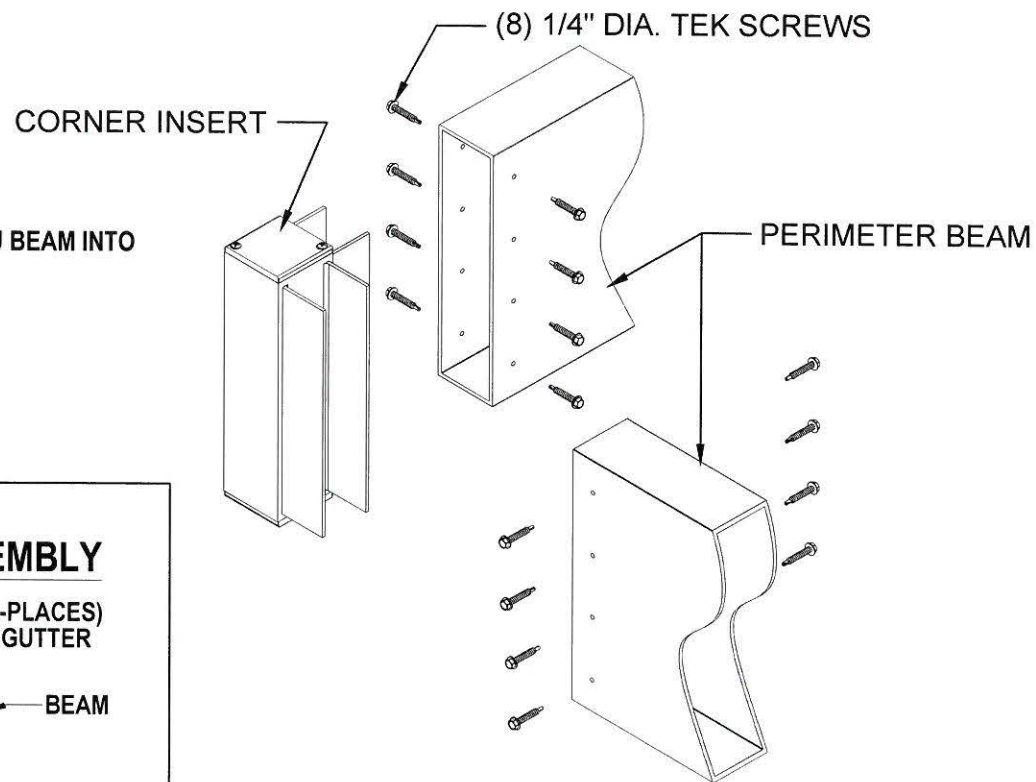
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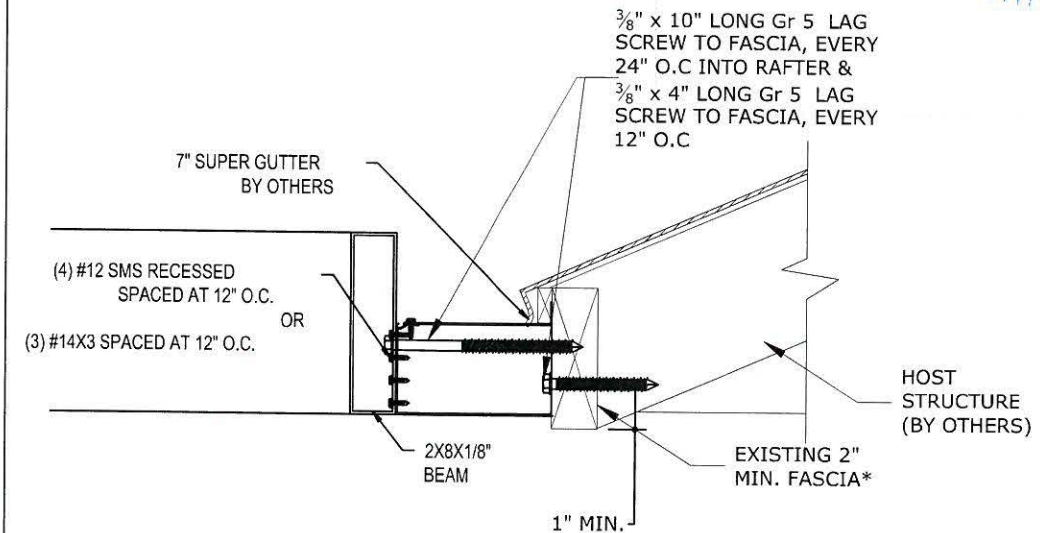
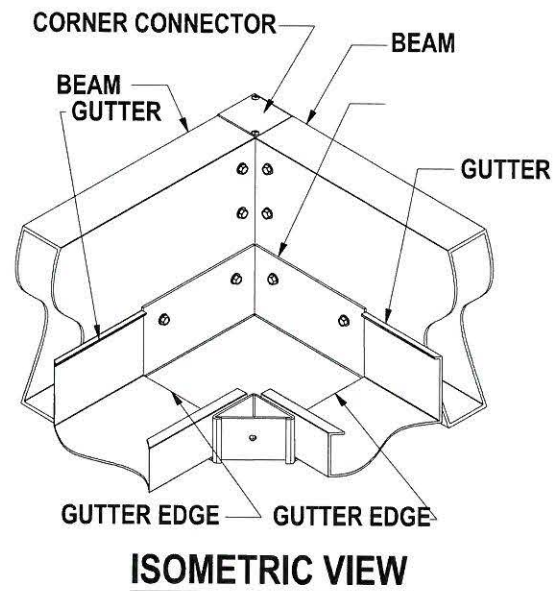
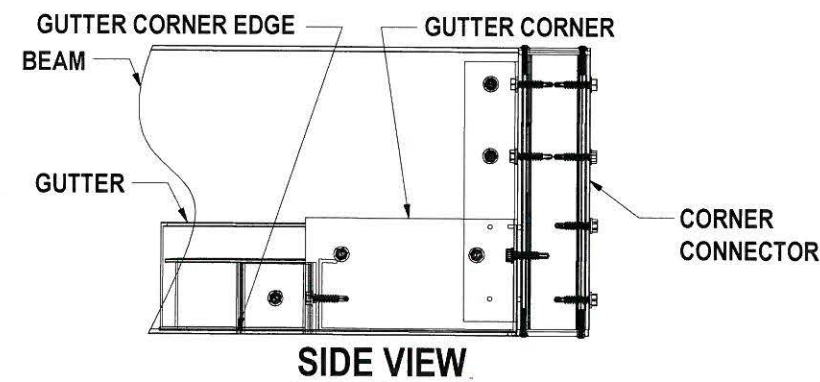
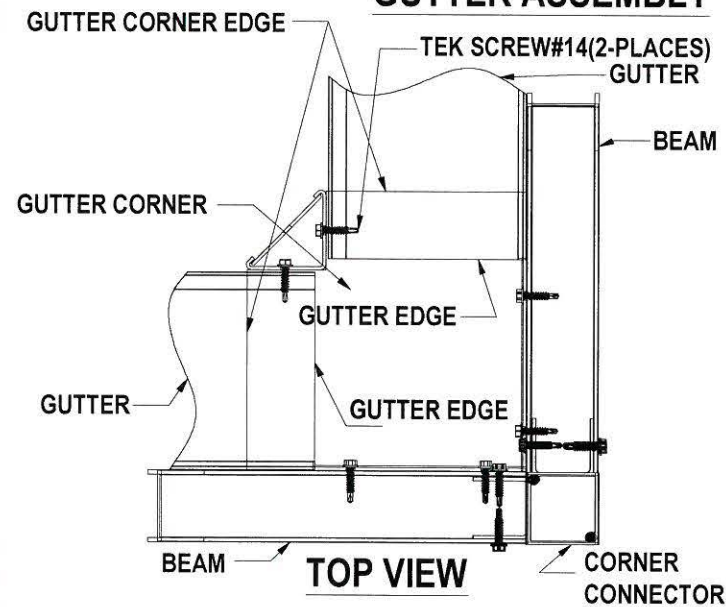
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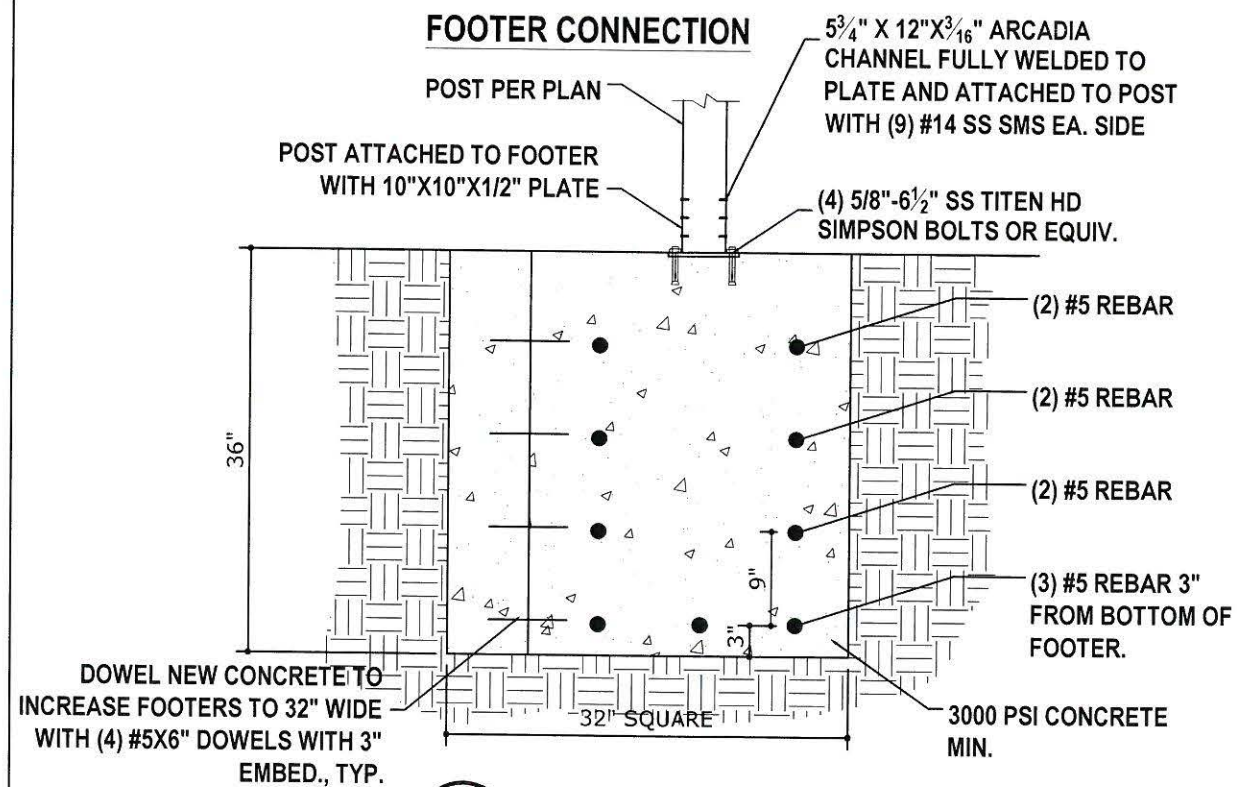


GUTTER ASSEMBLY



3 SUPER GUTTER ATTACHMENT
4
DETAIL VIEW

FOOTER CONNECTION



4 FOOTER CONNECTION
4
DETAIL VIEW



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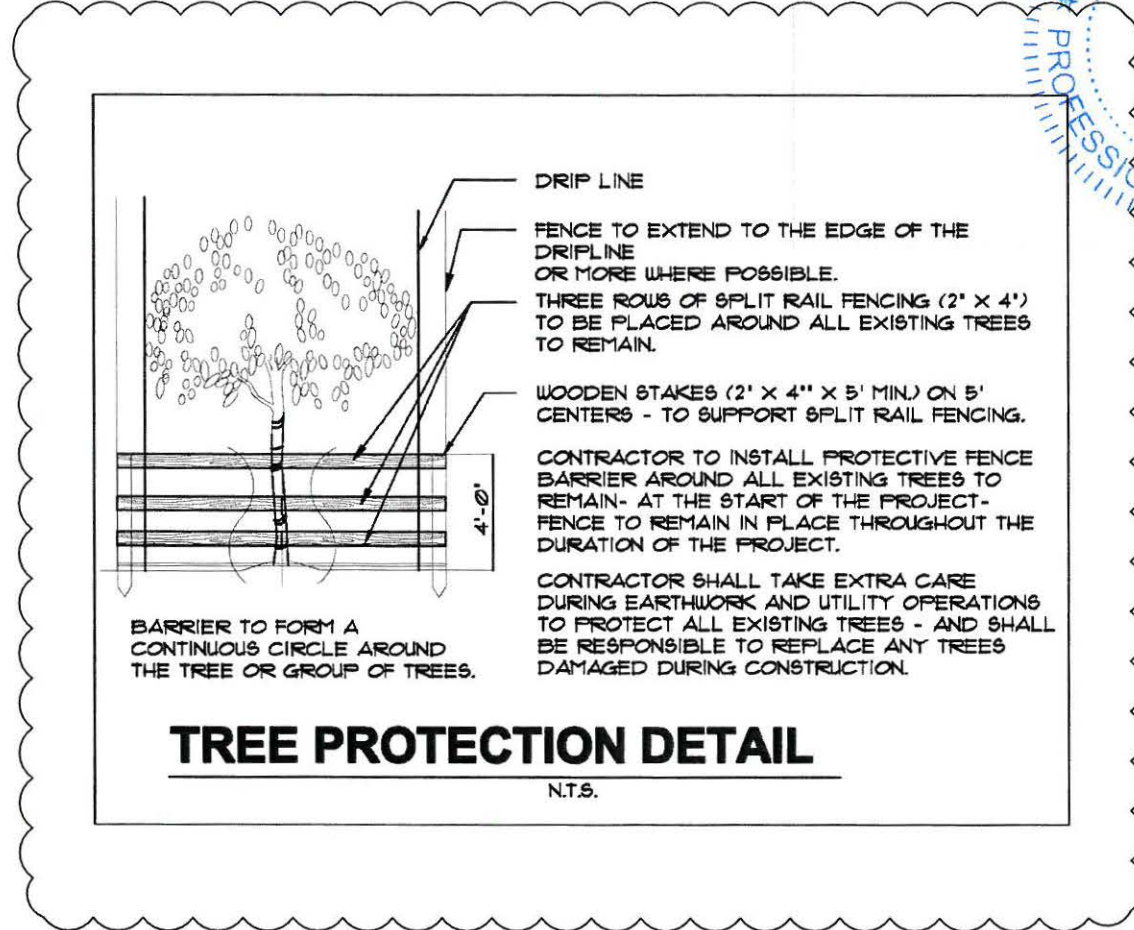
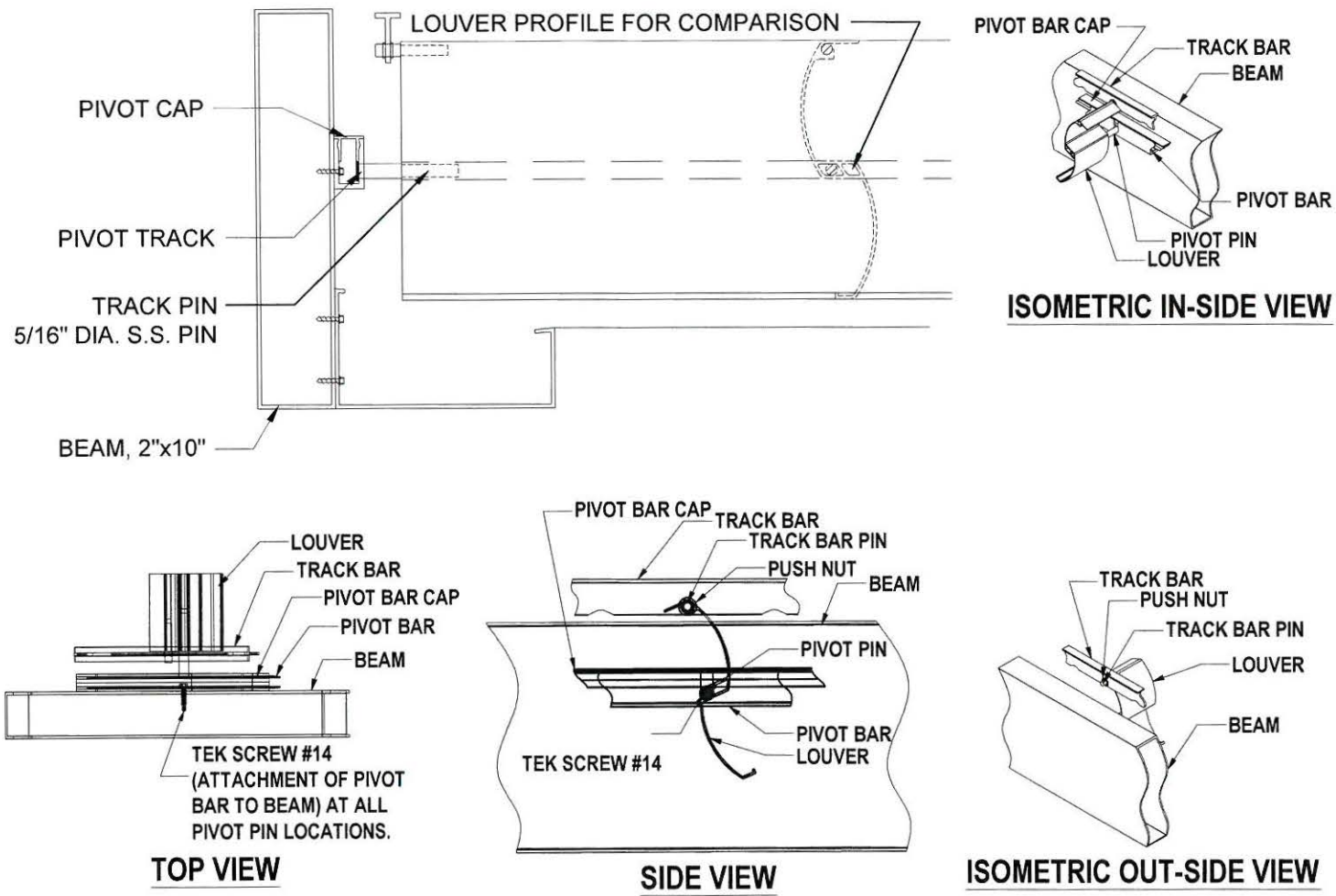
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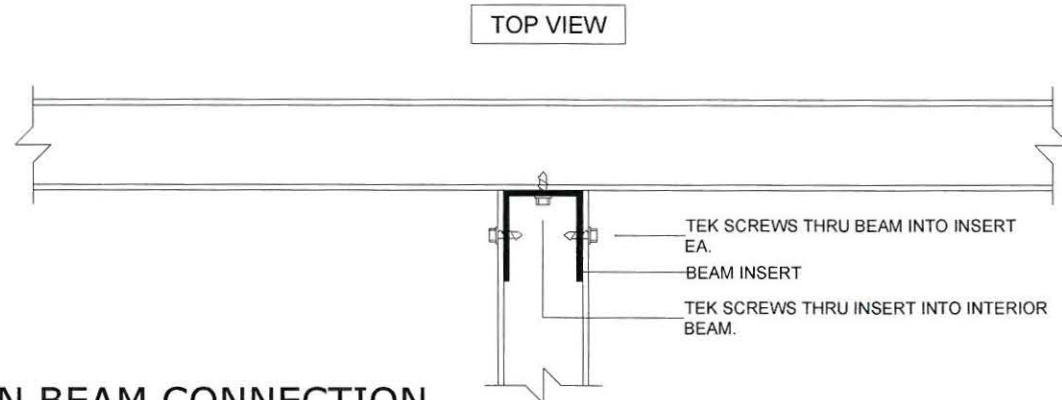
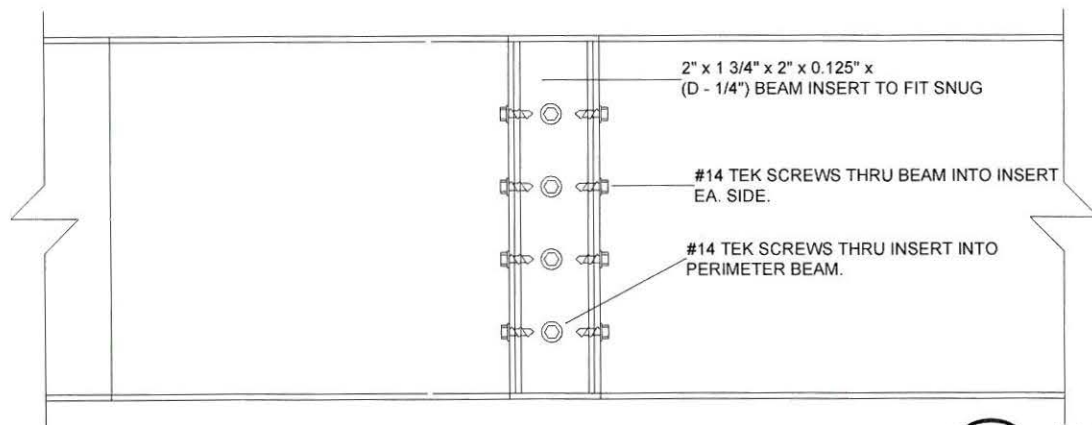
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INTERIOR BEAM TO BEAM CONNECTION



2
5 **PURLIN BEAM CONNECTION**
SECTION VIEW

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5

MECHANICALLY OPENING LOUVERED ROOF

FOUNDATION & SLAB ON GRADE NOTES (AS APPLICABLE):

- CONTRACTOR SHALL COMPLY WITH RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND ALL ADDEDUMS, LETTER, AND OTHER ASSOCIATED DOCUMENTS:
PROJECT SOIL REPORT NOT PROVIDED
- ALL FOOTING HAVEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 2000 PSI AND A MINIMUM ALLOWABLE LATERAL BEARING PRESSURE OF 100 PCF.
- WHERE STRUCTURAL FILL IS REQUIRED, STRUCTURAL FILL IS TO EXTEND BEYOND PERIMETER OF FOOTING A MINIMUM OF 6" PER 12" OF FILL DEPTH.
- FOOTING SHALL BE LOCATED A MINIMUM OF 12" BELOW THE NEAREST ADJACENT FINAL GRADE. (UNLESS NOTED OTHERWISE)
- CONTRACTOR SHALL ASSURE THAT FOOTINGS ARE PROPERLY DRAINED AND THAT SOIL IS DRY AND THAT BUILDING HORIZONTAL CLEARANCE FROM FOOTINGS TO ASCENDING SLOPES SHALL BE A MINIMUM OF 25 FEET UNLESS APPROVED BY A GEOTECHNICAL ENGINEER. FOOTING EXCAVATIONS TO BE CLEARED OF ALL DELETERIOUS MATERIAL BEFORE CONCRETE IS POURED.
- PROVIDE CRACK CONTROL JOINTS IN SLABS @ 10'-0" O.C. MAX BY SAW CUTTING @ 1/4" WIDE x 1 1/4" DEEP JOINTS SHOULD BE INSTALLED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- CONTRACTOR TO FOLLOW ALL SITE PREPARATION RECOMMENDATIONS FROM SOILS REPORT FOUNDATION STEPS SHALL NOT EXCEED 4 FEET OR 'h' HORIZONTAL DISTANCE BETWEEN STEPS HORIZONTAL REBAR SHALL BE 12" O.C. THROUGH STEP DOWNS AND EXTEND 48 INCHES EITHER SIDE OF STEP.
- CONCRETE SLABS SHALL BE PROTECTED FROM LOSS OF SURFACE MOISTURE FOR NOT LESS THAN 7 DAYS BY USING A CURING COMPOUND CONFORMING TO ASTM C-309 OR BY WET BURLAP OR A PLASTIC MEMBRANE.
- LAP CONTINUOUS REINFORCING BARS WITH CLASS B LAP SPLICE ACCORDING TO CONCRETE LAP SPLICE SCHEDULE UNDER REINFORCED CONCRETE NOTES. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS WITH ACI STANDARD HOOKS. REINFORCING COVER SHALL BE AS FOLLOWS.
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH (EXCEPT SLABS).. 3"
CONCRETE EXPOSED TO EARTH OR WEATHER BUT PLACED IN FORMS 2"
CONCRETE SLABS IN CENTER OF SLAB
- WATERPROOFING SHALL BE PLACED BETWEEN SOIL & CONCRETE WHEREVER SOIL IS USED AS A FORM FOR CONCRETE, EXCEPT FOR FOOTINGS.
- ALL REINFORCING SHOWN TO BE HOOKED SHALL HAVE STANDARD ACI HOOKS.
- PLACE CRACK CONTROL JOINTS BY SAW CUTTING @ 1/4" WIDE x 1 1/4" DEEP WHERE SHOWN. CUTTING TO BE PERFORMED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- CONCRETE SLABS SHALL BE PLACED AND FINISHED WITHIN A TOLERANCE OF 1/8 INCH IN EVERY 10 FEET, AS DETERMINED BY PLACING A 10 FOOT STRAIGHT EDGE ON THE SLAB IN ANY DIRECTION. ANY DEVIATION FROM THIS WHICH REQUIRES ADDITIONAL CUTTING OF OTHER BUILDING COMPONENTS SHALL BE THE RESPONSIBILITY OF THE CONCRETE CONTRACTOR.
- COMPACT CLEAN INTERIOR SAND FILL HAVING LESS THAN FINES TO OF MODIFIED PROCTOR MAXIMUM DRY DENSITY, ASTM D 1557 AT OPTIMUM MOISTURE CONTENT. SOIL COMPACTION SHALL BE FIELD CONTROLLED BY QUALIFIED LABORATORY OR SOILS ENGINEER, APPROVED BY STRUCTURAL ENGINEER
- CAST IN ANCHOR BOLTS AND POST INSTALLED THREADED RODS EPOXIED INTO CONCRETE SHALL BE ASTM F1554.
- ALL LANDSCAPING MUST BE GRADED AWAY FROM THE STRUCTURE AT A MINIMUM GRADE OF 5% FOR THE FIRST 10 FEET OR AS FAR AS POSSIBLE TO MINIMIZE WATER INFILTRATION INTO THE SUBGRADE.

FASTERNER NOTES (AS APPLICABLE):

- ALL TEK SCREWS TO COMPLY WITH GENERAL NOTE 7.

HURRICANE WARNING REQUIREMENT:
LOUVERS SHALL BE ROTATED TO A 90° POSITION DURING ANY NAMED STORM TO PREVENT EXCESSIVE UPLIFT FORCE ON THE ROOF SYSTEM

STRUCTURAL ALUMINUM NOTES:

- ALL STRUCTURAL ALUMINUM COMPONENTS SHALL BE FABRICATED AND ERECTED ACCORDING TO THE GOVERNING BUILDING CODE AND MATERIAL STANDARDS REFERENCED ON THIS SHEET.
- ALL STRUCTURAL ALUMINUM SHALL BE THE FOLLOWING ALLOY AND TEMPER:
- BEAMS, PURLINS, COLUMNS 6063-T6 (UNLESS NOTED OTHERWISE)
- ALL OTHER EXTRUSIONS 6063-T6 (UNLESS NOTED OTHERWISE)
- FASTENERS SS 410
- STRUCTURAL ALUMINUM SHALL BE FRAMED PLUMB AND TRUE AND ADEQUATELY BRACED DURING CONSTRUCTION.
- WHERE ALUMINUM IS IN CONTACT WITH OTHER METALS EXCEPT 300 SERIES STAINLESS STEEL, ZINC OR CADMIUM AND THE FAYING SURFACES ARE EXPOSED TO MOISTURE, THE OTHER METALS SHALL BE PAINTED OR COATED WITH ZINC, CADMIUM, OR ALUMINUM.
- UNCOATED ALUMINUM SHALL NOT BE EXPOSED TO MOISTURE OR RUNOFF THAT HAS COME IN CONTACT WITH OTHER UNCOATED METALS EXCEPT 300 SERIES STAINLESS STEEL, ZINC, OR CADMIUM.
- ALUMINUM SURFACES TO BE PLACED IN CONTACT WITH WOOD, FIBERBOARD, OR OTHER POROUS MATERIAL THAT ABSORBS WATER SHALL BE PAINTED.
- ALUMINUM SURFACES SHALL BE PAINTED IF THEY ARE TO BE PLACED IN CONTACT WITH CONCRETE OR MASONRY UNLESS THE CONCRETE OR MASONRY REMAINS DRY AFTER CURING AND NO CORROSIVE ADDITIVES SUCH AS CHLORIDES ARE USED.
- ALUMINUM SHALL NOT BE EMBEDDED IN CONCRETE WITH CORROSIVE ADDITIVES SUCH AS CHLORIDES IF THE ALUMINUM IS ELECTRICALLY CONNECTED TO STEEL. ALUMINUM EMBEDDED IN CONCRETE SHALL BE WRAPPED WITH 10 M L PIPE WRAP OR PLASTIC TAPE.
- STEEL FASTENERS WITH A SPECIFIED MINIMUM TENSILE STRENGTH GREATER THAN 120 KSI IN THE LOAD BEARING PORT ON OF THE SHANK SHALL NOT BE USED IN CONTACT WITH ALUMINUM. ALL FASTENERS SHALL BE LOCATED AT A SPACING THAT CONFORMS TO A SC STANDARD GAGE AND PITCH.
- AS AN ALTERNATIVE TO THE PREVIOUS REQUIREMENTS FOR ALUMINUM IN CONTACT WITH OTHER MATERIALS, ALUMINUM SHALL BE SEPARATED FROM THE MATERIALS OF THIS SECTION BY A NONPOROUS ISOLATOR COMPATIBLE WITH THE ALUMINUM AND THE DISSIMILAR MATERIAL.
- BOLT HOLES SHALL BE DRILLED THE SAME NOMINAL DIAMETER AS THE BOLT + 1/16"
- FASTENERS SHALL TEK SCREWS. UNLESS OTHERWISE NOTED.

STRUCTURAL WOOD NOTES (AS APPLICABLE):

- ALL DIMENSION LUMBER SHALL BE STRUCTURAL GRADE # 2 SOUTHERN YELLOW PINE OR BETTER MEETING APPLICABLE REQUIREMENTS OF THE SOUTHERN PINE INSPECTION BUREAU (SPIB) AND PRESSURE-IMPREGNATED (PT) BY AN APPROVED PROCESS (ACQ 0.4 PRESSURE TREATED) PRESERVATIVE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE BUILDING CODE AND AMERICAN WOOD PRESERVERS ASSN (AWPA) "BOOK OF STANDARDS" OR 0.55 SPECIFIC GRAVITY MIN.
- WOOD IN CONTACT WITH ALL METAL CONNECTORS USED IN LOCATIONS EXPOSED TO WEATHER SHALL BE GALVANIZED.
- NAILS SHALL PENETRATE THE SECOND MEMBER A DISTANCE EQUAL TO THE THICKNESS OF THE MEMBER BEING NAILED THERETO. THERE SHALL BE NOT LESS THAN 2 NAILS IN ANY CONNECTION.
- MEMBERS SHALL BE FREE OF CRACKS AND KNOTS. MOISTURE CONTENT SHALL BE 19% OR LESS.
- WOOD THAT IS IN CONTACT WITH CONCRETE OR MASONRY, AND AT OTHER LOCATIONS AS SHOWN ON STRUCTURAL DRAWINGS, SHALL BE PROTECTED WITH 30 # FELT (UNLESS NOTED OTHERWISE) OR PRESSURE TREATED IN ACCORDANCE WITH AITC-109. MEMBER SIZE SHOWN ARE NOMINAL UNLESS NOTED OTHERWISE.

EXCLUSIONS

HOST STRUCTURE.
ELECTRICAL, WIRING.

SHEET INDEX

# SHEET	DESCRIPTION
1	Cover Page
2	Plan View/Elevation
3	Details
4	Details
5	Details

DESIGN NOTES:

- FLORIDA BUILDING CODE SIXTH EDITION (2017)
- WIND PRESSURES HAVE BEEN DETERMINED BASED ON ASCE 7-10, ROOF OVER OPEN STRUCTURE, OBSTRUCTED WIND FLOW, DESIGN PRESSURES CONSIDER WIND LOAD FROM Vult=170 MPH 3-SECOND GUST (Vasd EQUIVALENT = 132MPH) IN EXPOSURE 'C' ACTING SIMULTANEOUSLY WITH 20 PSF ROOF LIVE LOAD, DIRECTIONALITY FACTOR Kd=0.85, G=0.85, Kz=0.85, Kzt=1.0, 10' MRH. POROSITY WHEN OPEN 50%
 - SNOW LOAD = N/A
 - SEISMIC PARAMETERS:
DESIGN CATEGORY: A
SITE CLASS: D
RISK CATEGORY: I
IMPORTANCE FACTOR, IC: 1.000
Ss: 0.057
S1: 0.023
SD1: 0.037
SDs: 0.061
L/80
 - DEFLECTION CRITERIA
 - SYSTEM NOT DESIGN TO HANDLE CONCENTRATED LOADS FROM HUMAN ACTIVITY.

GENERAL NOTES:

- THIS STRUCTURE HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH THE STRUCTURAL PROVISIONS OF THE REFERENCED INTERNATIONAL BUILDING CODE. STRUCTURE SHALL BE FABRICATED IN ACCORDANCE WITH ALL GOVERNING CODES. CONTRACTOR SHALL INVESTIGATE AND CONFORM TO ALL LOCAL BUILDING CODE AMENDMENTS WHICH MAY APPLY AND GOVERN. DESIGN CRITERIA OR SPANS BEYOND STATED HEREIN MAY REQUIRE ADDITIONAL SITE SPECIFIC SEALED ENGINEERING.
- THIS ENGINEER HAS NOT VISITED THIS JOBSITE. INFORMATION CONTAINED HEREIN IS BASED ON CONTRACTOR SUPPLIED DATA AND MEASUREMENTS. ENGINEERING EXPRESS SHALL NOT BE HELD RESPONSIBLE OR LIABLE IN ANY WAY FOR ERRONEOUS OR INACCURATE DATA OR MEASUREMENTS. WORK SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THIS ENGINEERING SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO REEVALUATE OUR WORK UPON DISCOVERY OF ANY INACCURATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.
- THE EXISTING HOST STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SYSTEM AS VERIFIED BY THE ENGINEER & OR ARCHITECT OF RECORD, et.al. THE HOST STRUCTURE WHICH IS DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS MUST PROVIDE SUFFICIENT, CAPACITY FOR THIS SPECIFIED DECK SYSTEM. NO WARRANTY OR GUARANTEE TO THESE CONDITIONS, EITHER EXPRESSED OR IMPLIED, IS OFFERED WITH THIS CERTIFICATION.
- THE CONTRACTOR SHALL CAREFULLY CONSIDER POSSIBLE IMPOSING LOADS ON ROOF, INCLUDING BUT NOT LIMITED TO ANY CONCENTRATED LOADS WHICH MAY JUSTIFY GREATER DESIGN CRITERIA.
- LOUVERED ROOF SYSTEM SHALL BE PER MANUFACTURER MAXIMUM SPANS OR BY OTHERS.
- THE INSTALLATION OF ANY ACCESSORIES THAT DO NOT AFFECT THE STRUCTURAL INTEGRITY OF THE STRUCTURE ARE OUTSIDE THE SCOPE OF THIS CERTIFICATION AND NOT REQUIRED TO BE CERTIFIED UNDER THIS STRUCTURAL DRAWING. THEY MAY BE INSTALLED AS DESIRED PER MFR. SPECIFICATIONS.
- ALL FASTENERS TO BE #14 OR GREATER ASTM F593 COLD WORKED 304 STAINLESS STEEL, UNLESS NOTED OTHERWISE. FASTENERS SHALL BE CADMIUM-PLATED OR OTHERWISE CORROSION-RESISTANT MATERIAL AND SHALL COMPLY WITH "SPECIFICATIONS FOR ALUMINUM STRUCTURES" SECTION J.3.7.2 BY THE ALUMINUM ASSOCIATION, INC., & ANY APPLICABLE FEDERAL, STATE, AND/OR LOCAL CODES. Fy= 65 KSI MIN.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. EMBEDMENT SHALL BE AS NOTED HEREIN. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES STUCCO, FOAM, BRICK, AND OTHER WALL FINISHES.
- ALL CONCRETE ANCHORS SHALL BE INSTALLED TO NON-CRACKED CONCRETE ONLY.
- THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.
- ALL LIGHT GAUGE STEEL MEMBERS SHALL CONFORM TO ASTM A36 AND CURRENT EDITION OF AISC WITH MINIMUM Fy = 55KSI.
- ALL CONCRETE AND EPOXY TO REACH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 7 DAYS.
- DIMENSIONS ARE SHOWN TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. THEY MAY VARY SLIGHTLY, BUT SHALL REMAIN IN CONFORMANCE WITH THE LIMITATIONS OF THIS PLAN. THE CONTRACTOR IS TO VERIFY ALL FIELD DIMENSIONS PRIOR TO INSTALLATION, AND VERIFY THAT PROPOSED DIMENSIONS AND FIELD CONDITIONS AGREE WITH THIS PROPOSED PLAN. USE OF THIS DOCUMENT CONSTITUTES ACCEPTANCE OF THE PROPOSED SYSTEM LAYOUT, COMPONENTS SELECTED, AND INSTALLATION. THESE DRAWINGS ARE NOT INTENDED TO BE USED AS FABRICATION OR SHOP DRAWINGS.
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- EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.

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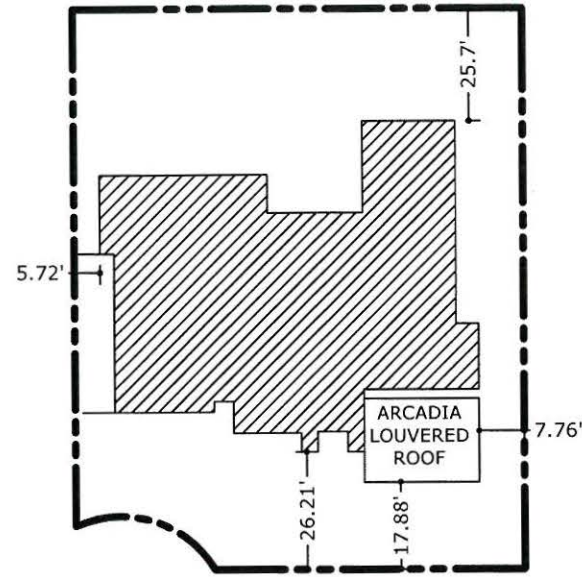
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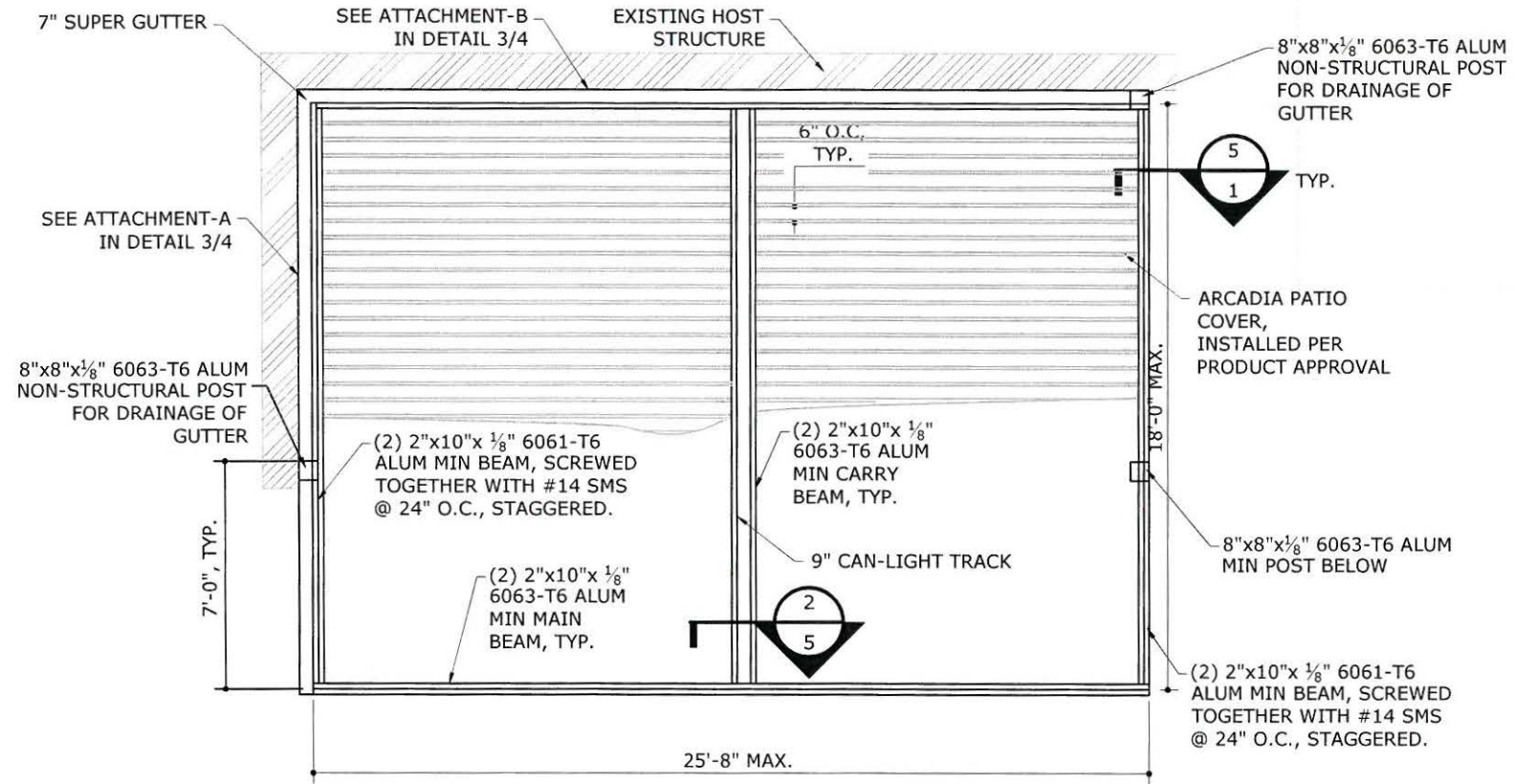
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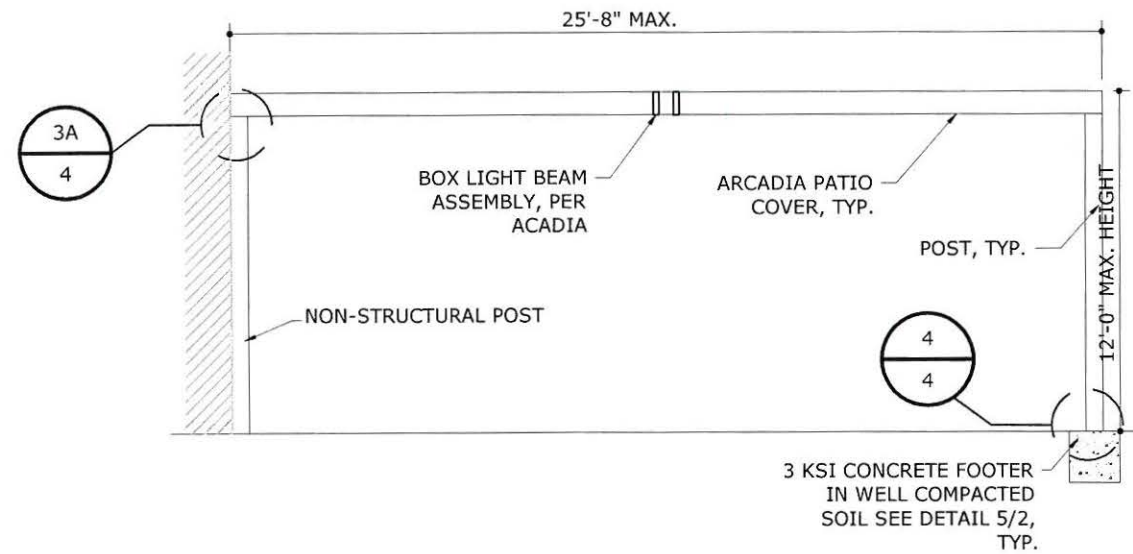
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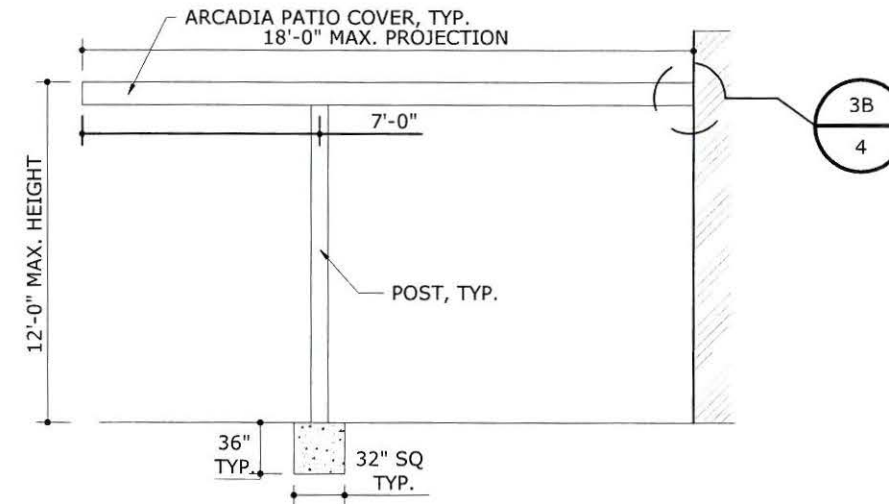
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HOST ATTACHED ARCADIA LOUVERED ROOF
 PLAN VIEW



HOST ATTACHED ARCADIA LOUVERED ROOF
 FRONT ELEVATION



HOST ATTACHED ARCADIA LOUVERED ROOF
 SIDE ELEVATION



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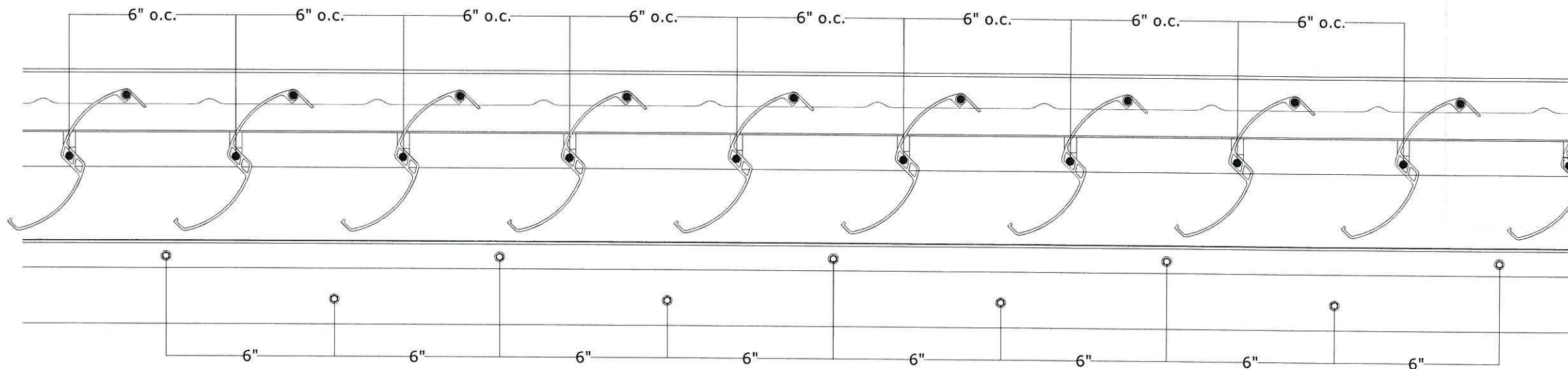
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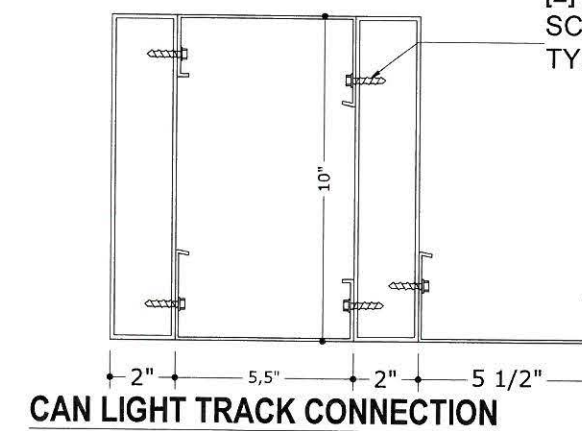
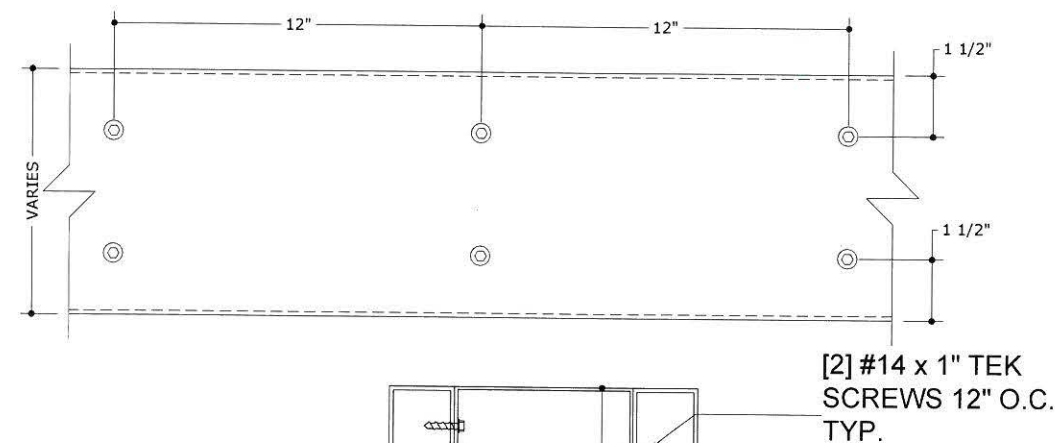
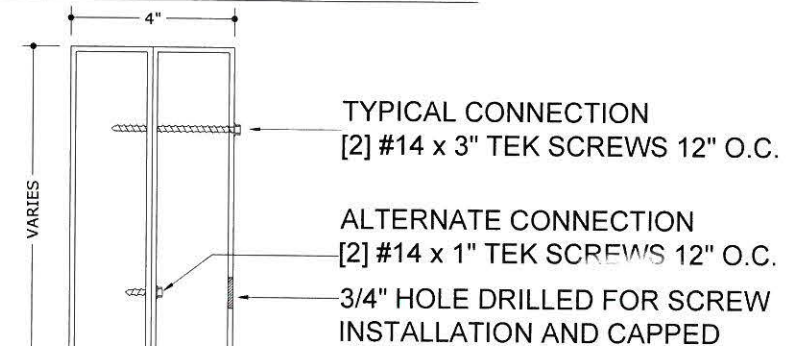
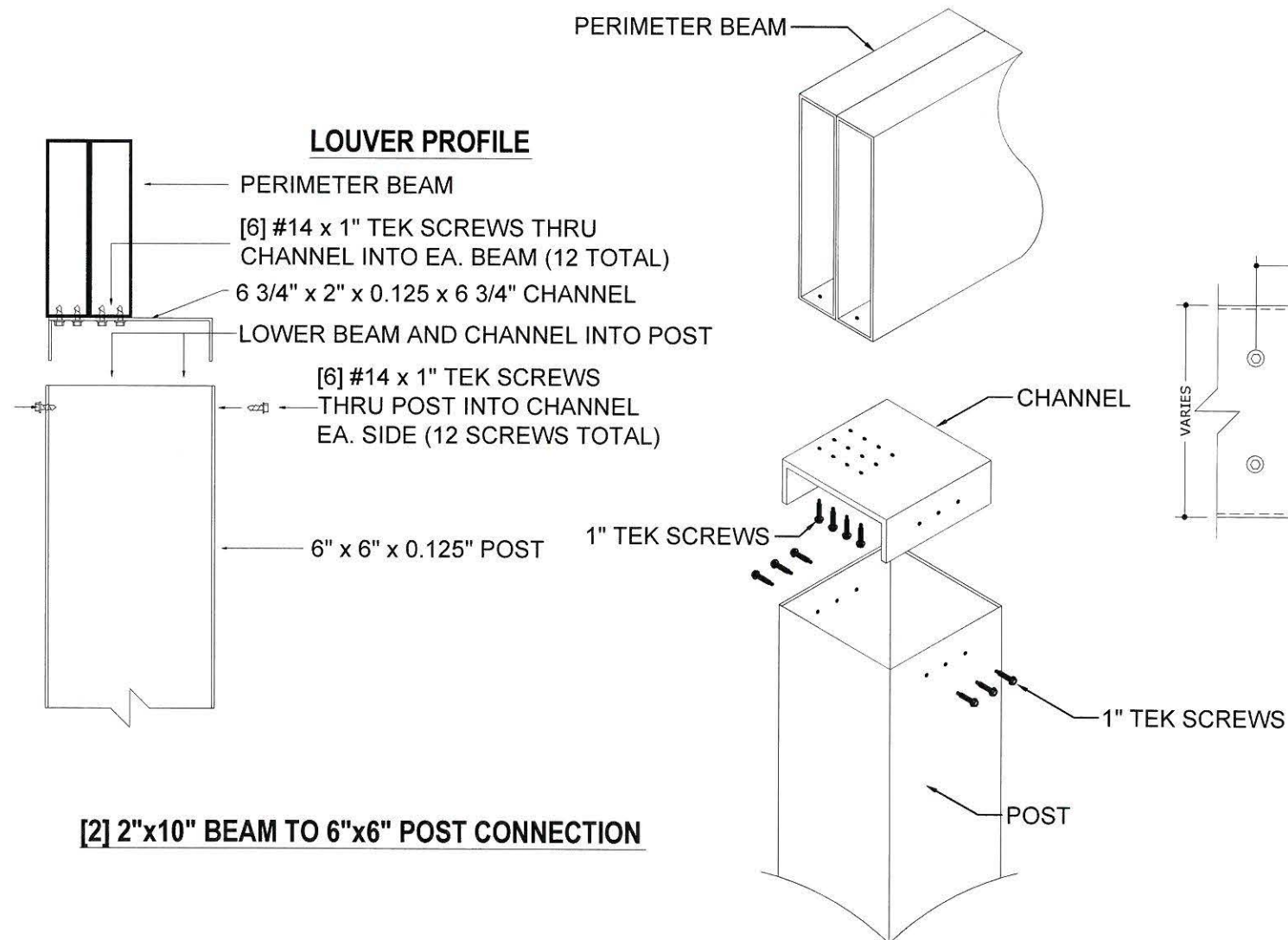
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DOUBLE PERIMETER BEAM CONNECTION



FRANK L. BENNARDO, P.E.
PE# 0046549

09/06/2019

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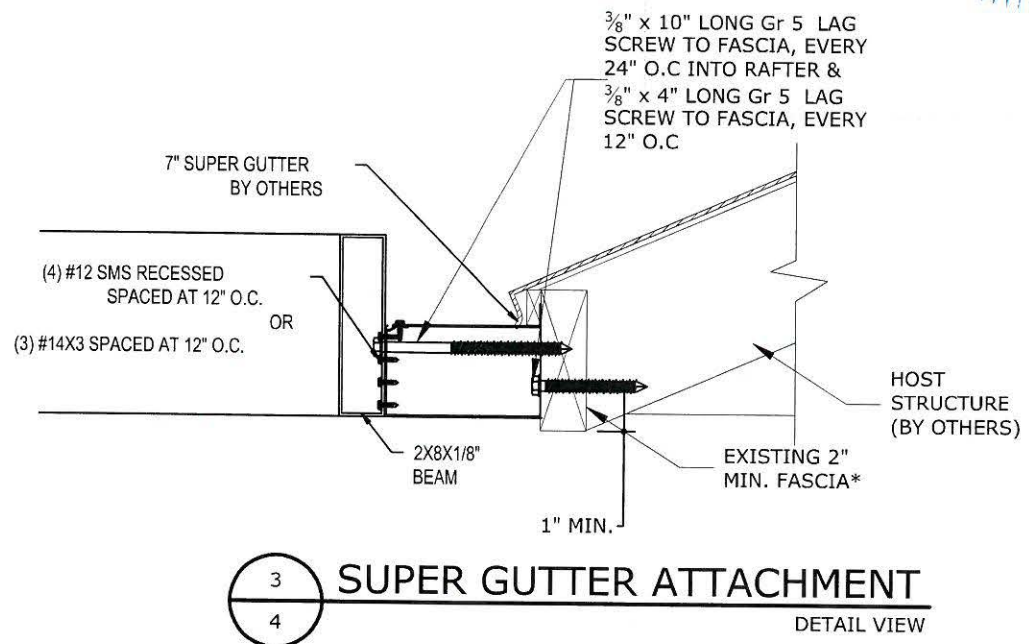
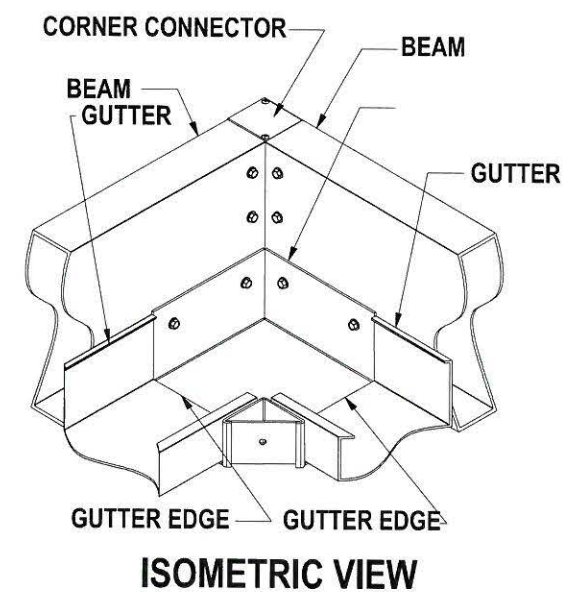
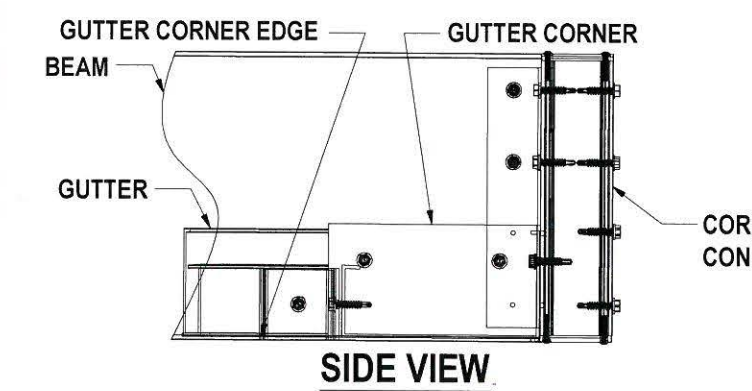
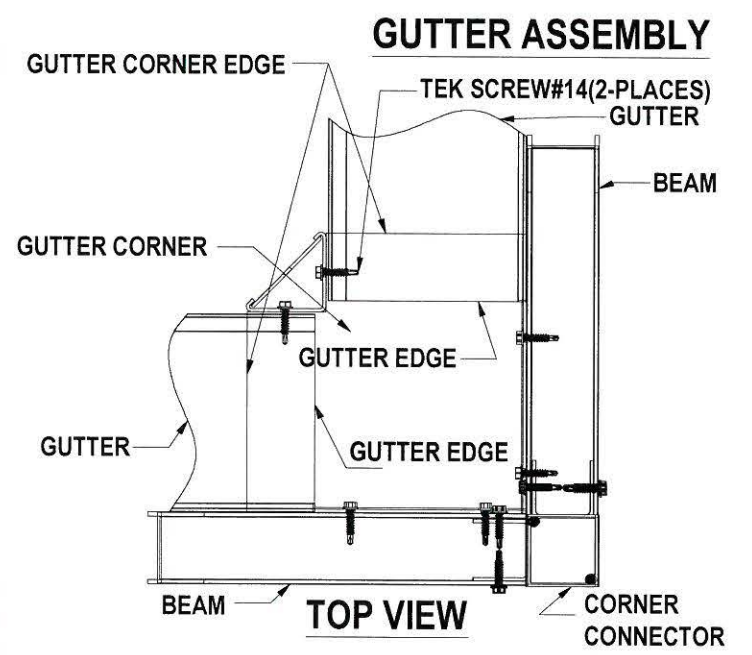
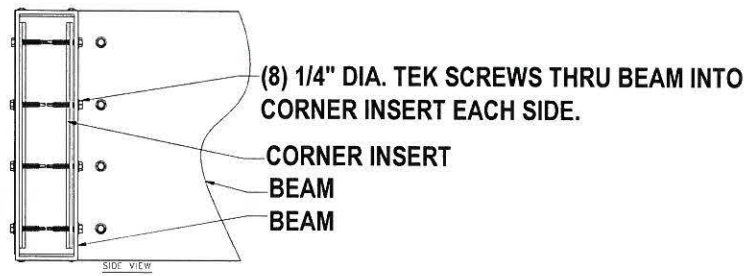
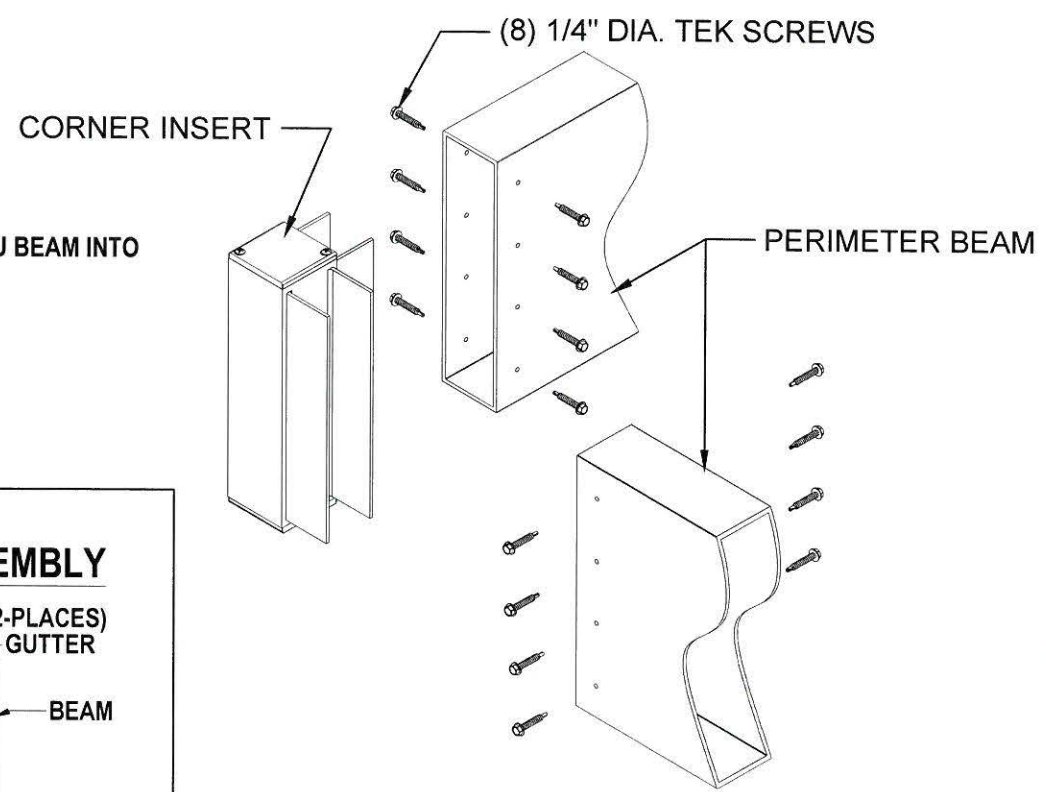
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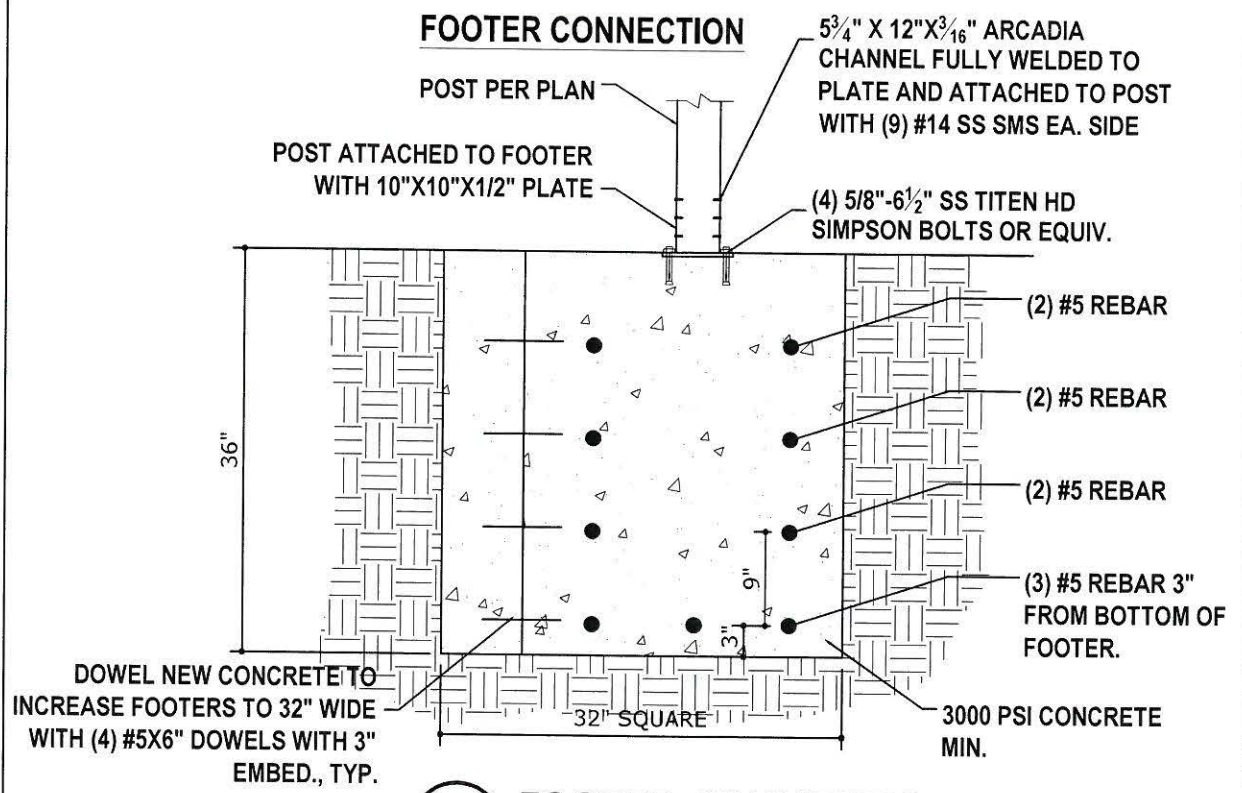
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TYPICAL CORNER ASSEMBLY



3 SUPER GUTTER ATTACHMENT
4
DETAIL VIEW



4 FOOTER CONNECTION
4
DETAIL VIEW



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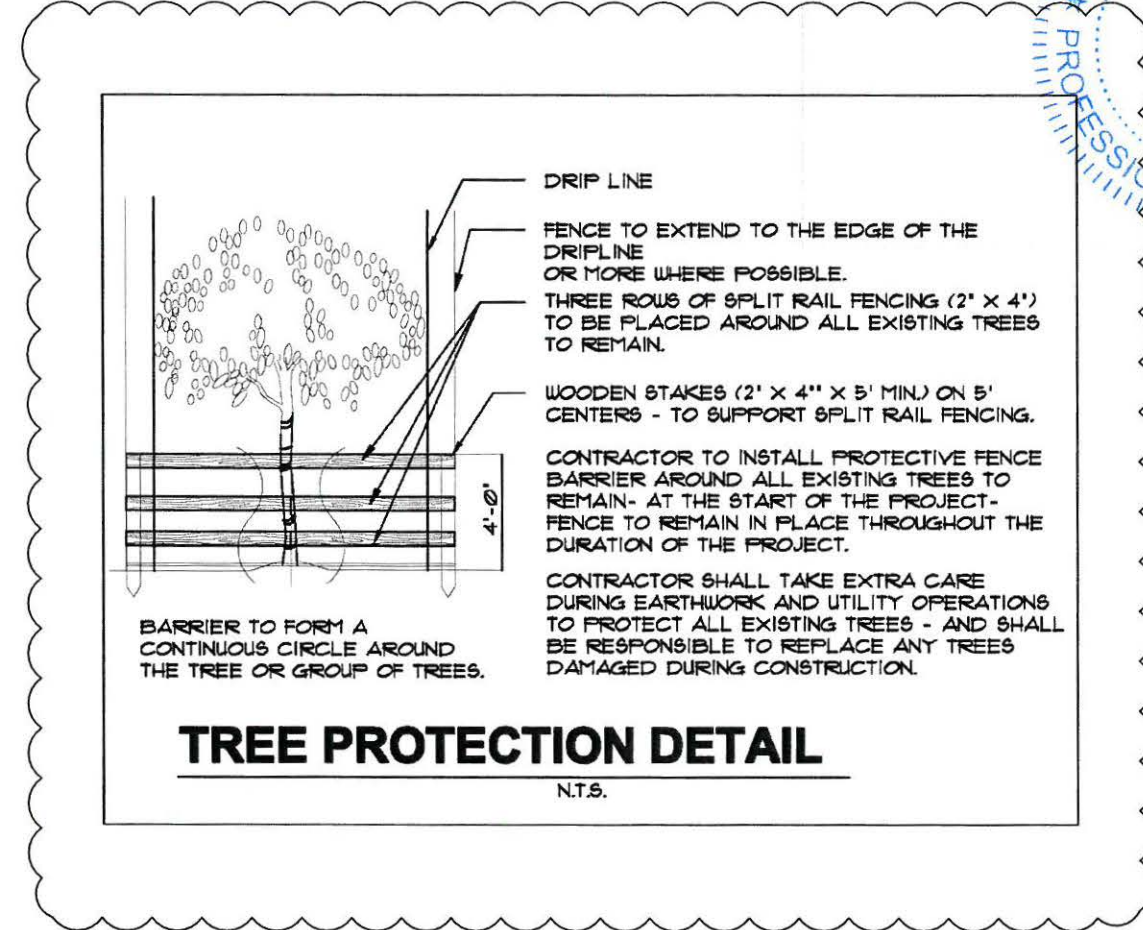
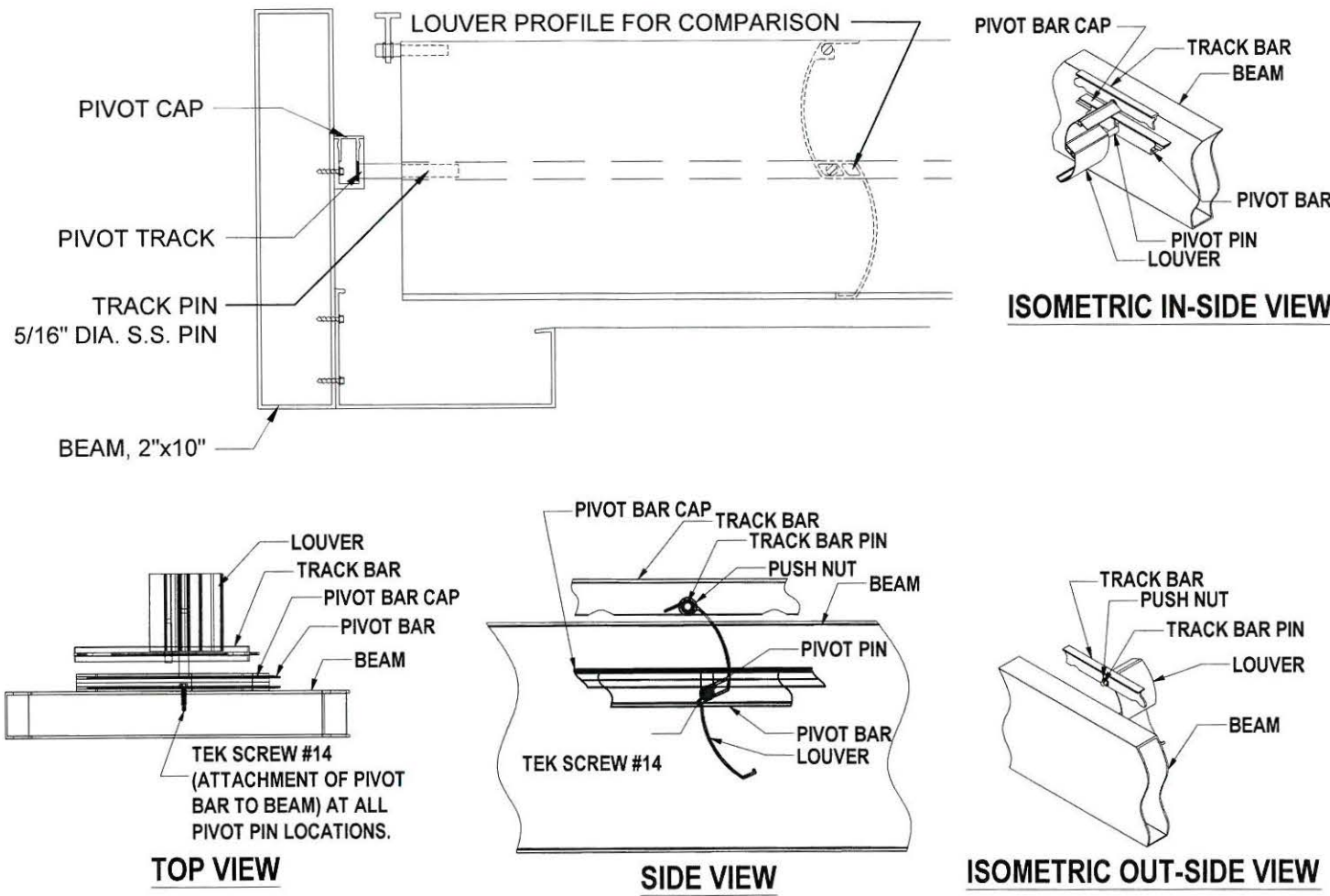
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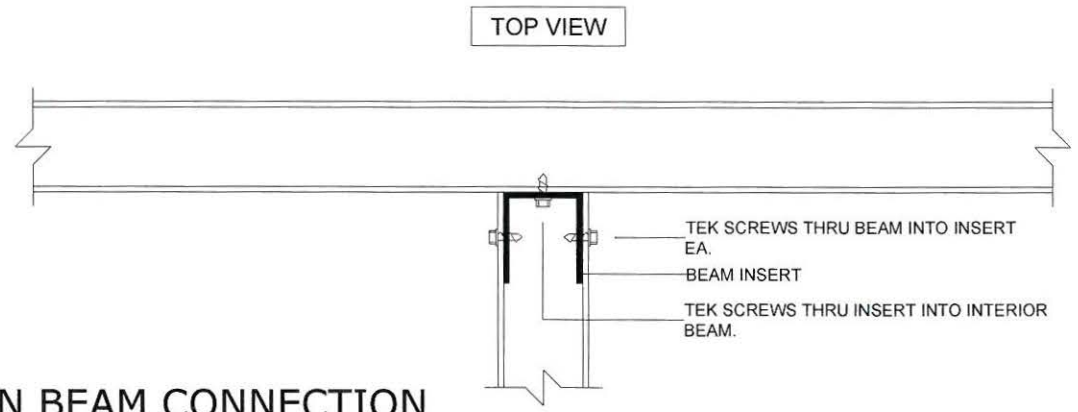
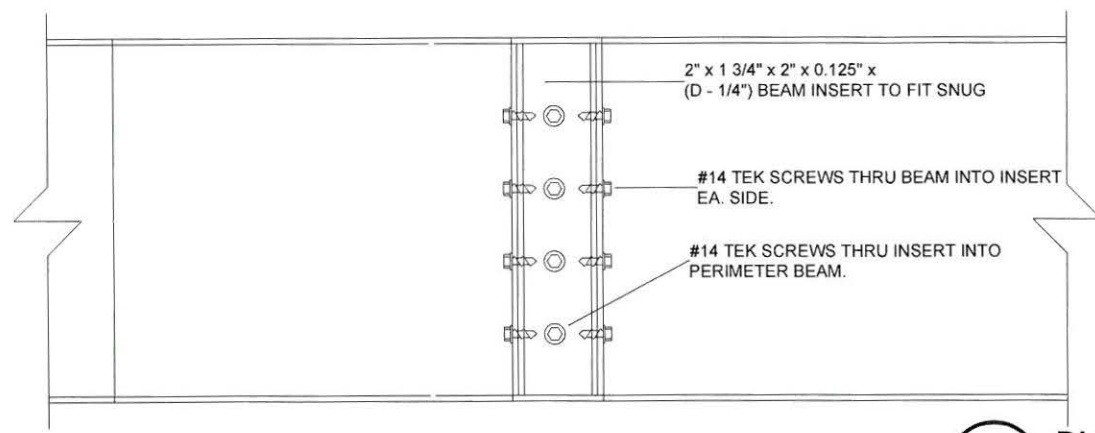
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INTERIOR BEAM TO BEAM CONNECTION



2 PURLIN BEAM CONNECTION

5 SECTION VIEW

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5

MECHANICALLY OPENING LOUVERED ROOF

FOUNDATION & SLAB ON GRADE NOTES (AS APPLICABLE):

- CONTRACTOR SHALL COMPLY WITH RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND ALL ADDENDUMS, LETTER, AND OTHER ASSOCIATED DOCUMENTS: PROJECT SOIL REPORT NOT PROVIDED
- ALL FOOTING HAVEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 2000 PSI AND A MINIMUM ALLOWABLE LATERAL BEARING PRESSURE OF 100 PCF.
- WHERE STRUCTURAL FILL IS REQUIRED, STRUCTURAL FILL IS TO EXTEND BEYOND PERIMETER OF FOOTING A MINIMUM OF 6" PER 12" OF FILL DEPTH.
- FOOTING SHALL BE LOCATED A MINIMUM OF 12" BELOW THE NEAREST ADJACENT FINAL GRADE. (UNLESS NOTED OTHERWISE)
- CONTRACTOR SHALL ASSURE THAT FOOTINGS ARE PROPERLY DRAINED AND THAT SOIL IS DRY AND THAT BUILDING HORIZONTAL CLEARANCE FROM FOOTINGS TO ASCENDING SLOPES SHALL BE A MINIMUM OF 25 FEET UNLESS APPROVED BY A GEOTECHNICAL ENGINEER. FOOTING EXCAVATIONS TO BE CLEARED OF ALL DELETERIOUS MATERIAL BEFORE CONCRETE IS POURED.
- PROVIDE CRACK CONTROL JOINTS IN SLABS @ 10'-0" O.C. MAX BY SAW CUTTING @ 1/4" WIDE x 1 1/4" DEEP JOINTS SHOULD BE INSTALLED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- CONTRACTOR TO FOLLOW ALL SITE PREPARATION RECOMMENDATIONS FROM SOILS REPORT FOUNDATION STEPS SHALL NOT EXCEED 4 FEET OR 1/4 THE HORIZONTAL DISTANCE BETWEEN STEPS HORIZONTAL REBAR SHALL BE 12" O.C. THROUGH STEP DOWNS AND EXTEND 48 INCHES EITHER SIDE OF STEP.
- CONCRETE SLABS SHALL BE PROTECTED FROM LOSS OF SURFACE MOISTURE FOR NOT LESS THAN 7 DAYS BY USING A CURING COMPOUND CONFORMING TO ASTM C-309 OR BY WET BURLAP OR A PLASTIC MEMBRANE.
- LAP CONTINUOUS REINFORCING BARS WITH CLASS B LAP SPLICE ACCORDING TO CONCRETE LAP SPLICE SCHEDULE UNDER REINFORCED CONCRETE NOTES. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS WITH ACI STANDARD HOOKS. REINFORCING COVER SHALL BE AS FOLLOWS:
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH (EXCEPT SLABS).. 3"
CONCRETE EXPOSED TO EARTH OR WEATHER BUT PLACED IN FORMS 2"
CONCRETE SLABS IN CENTER OF SLAB
- WATERPROOFING SHALL BE PLACED BETWEEN SOIL & CONCRETE WHEREVER SOIL IS USED AS A FORM FOR CONCRETE, EXCEPT FOR FOOTINGS.
- ALL REINFORCING SHOWN TO BE HOOKED SHALL HAVE STANDARD ACI HOOKS.
- PLACE CRACK CONTROL JOINTS BY SAW CUTTING @ 1/4" WIDE x 1 1/4" DEEP WHERE SHOWN. CUTTING TO BE PERFORMED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- CONCRETE SLABS SHALL BE PLACED AND FINISHED WITHIN A TOLERANCE OF 1/8 INCH IN EVERY 10 FEET, AS DETERMINED BY PLACING A 10 FOOT STRAIGHT EDGE ON THE SLAB IN ANY DIRECTION. ANY DEVIATION FROM THIS WHICH REQUIRES ADDITIONAL CUTTING OF OTHER BUILDING COMPONENTS SHALL BE THE RESPONSIBILITY OF THE CONCRETE CONTRACTOR.
- COMPACT CLEAN INTERIOR SAND FILL HAVING LESS THAN FINES TO OF MODIFIED PROCTOR MAXIMUM DRY DENSITY, ASTM D 1557 AT OPTIMUM MOISTURE CONTENT. SOIL COMPACTION SHALL BE FIELD CONTROLLED BY QUALIFIED LABORATORY OR SOILS ENGINEER, APPROVED BY STRUCTURAL ENGINEER
- CAST IN ANCHOR BOLTS AND POST INSTALLED THREADED RODS EPOXIED INTO CONCRETE SHALL BE ASTM F1554.
- ALL LANDSCAPING MUST BE GRADED AWAY FROM THE STRUCTURE AT A MINIMUM GRADE OF 5% FOR THE FIRST 10 FEET OR AS FAR AS POSSIBLE TO MINIMIZE WATER INFILTRATION INTO THE SUBGRADE.

FASTENER NOTES (AS APPLICABLE):

- ALL TEK SCREWS TO COMPLY WITH GENERAL NOTE 7.

HURRICANE WARNING REQUIREMENT:
LOUVERS SHALL BE ROTATED TO A 90° POSITION DURING ANY NAMED STORM TO PREVENT EXCESSIVE UPLIFT FORCE ON THE ROOF SYSTEM

STRUCTURAL ALUMINUM NOTES:

- ALL STRUCTURAL ALUMINUM COMPONENTS SHALL BE FABRICATED AND ERECTED ACCORDING TO THE GOVERNING BUILDING CODE AND MATERIAL STANDARDS REFERENCED ON THIS SHEET.
- ALL STRUCTURAL ALUMINUM SHALL BE THE FOLLOWING ALLOY AND TEMPER:
- BEAMS, PURLINS, COLUMNS 6063-T6 (UNLESS NOTED OTHERWISE)
- ALL OTHER EXTRUSIONS 6063-T6 (UNLESS NOTED OTHERWISE)
- FASTENERS S5 410
- STRUCTURAL ALUMINUM SHALL BE FRAMED PLUMB AND TRUE AND ADEQUATELY BRACED DURING CONSTRUCTION.
- WHERE ALUMINUM IS IN CONTACT WITH OTHER METALS EXCEPT 300 SERIES STAINLESS STEEL, ZINC OR CADMIUM AND THE FAYING SURFACES ARE EXPOSED TO MOISTURE, THE OTHER METALS SHALL BE PAINTED OR COATED WITH ZINC, CADMIUM, OR ALUMINUM.
- UNCOATED ALUMINUM SHALL NOT BE EXPOSED TO MOISTURE OR RUNOFF THAT HAS COME IN CONTACT WITH OTHER UNCOATED METALS EXCEPT 300 SERIES STAINLESS STEEL, ZINC, OR CADMIUM.
- ALUMINUM SURFACES TO BE PLACED IN CONTACT WITH WOOD, FIBERBOARD, OR OTHER POROUS MATERIAL THAT ABSORBS WATER SHALL BE PAINTED.
- ALUMINUM SURFACES SHALL BE PAINTED IF THEY ARE TO BE PLACED IN CONTACT WITH CONCRETE OR MASONRY UNLESS THE CONCRETE OR MASONRY REMAINS DRY AFTER CURING AND NO CORROSIVE ADDITIVES SUCH AS CHLORIDES ARE USED.
- ALUMINUM SHALL NOT BE EMBEDDED IN CONCRETE WITH CORROSIVE ADDITIVES SUCH AS CHLORIDES IF THE ALUMINUM IS ELECTRICALLY CONNECTED TO STEEL. ALUMINUM EMBEDDED IN CONCRETE SHALL BE WRAPPED WITH 10 M L PIPE WRAP OR PLASTIC TAPE.
- STEEL FASTENERS WITH A SPECIFIED MINIMUM TENSILE ULTIMATE STRENGTH GREATER THAN 120 KSI IN THE LOAD BEARING PORT ON OF THE SHANK SHALL NOT BE USED IN CONTACT WITH ALUMINUM. ALL FASTENERS SHALL BE LOCATED AT A SPACING THAT CONFORMS TO A SC STANDARD GAGE AND PITCH.
- AS AN ALTERNATIVE TO THE PREVIOUS REQUIREMENTS FOR ALUMINUM IN CONTACT WITH OTHER MATERIALS, ALUMINUM SHALL BE SEPARATED FROM THE MATERIALS OF THIS SECTION BY A NONPOROUS ISOLATOR COMPATIBLE WITH THE ALUMINUM AND THE DISSIMILAR MATERIAL.
- BOLT HOLES SHALL BE DRILLED THE SAME NOMINAL DIAMETER AS THE BOLT + 1/16"
- FASTENERS SHALL TEK SCREWS. UNLESS OTHERWISE NOTED.

STRUCTURAL WOOD NOTES (AS APPLICABLE):

- ALL DIMENSION LUMBER SHALL BE STRUCTURAL GRADE # 2 SOUTHERN YELLOW PINE OR BETTER MEETING APPLICABLE REQUIREMENTS OF THE SOUTHERN PINE INSPECTION BUREAU (SPIB) AND PRESSURE-IMPREGNATED (PT) BY AN APPROVED PROCESS (ACQ 0.4 PRESSURE TREATED) PRESERVATIVE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE BUILDING CODE AND AMERICAN WOOD PRESERVERS ASSN (AWPA) "BOOK OF STANDARDS" OR 0.55 SPECIFIC GRAVITY MIN.
- WOOD IN CONTACT WITH ALL METAL CONNECTORS USED IN LOCATIONS EXPOSED TO WEATHER SHALL BE GALVANIZED.
- NAILS SHALL PENETRATE THE SECOND MEMBER A DISTANCE EQUAL TO THE THICKNESS OF THE MEMBER BEING NAILED THERETO. THERE SHALL BE NOT LESS THAN 2 NAILS IN ANY CONNECTION.
- MEMBERS SHALL BE FREE OF CRACKS AND KNOTS. MOISTURE CONTENT SHALL BE 19% OR LESS.
- WOOD THAT IS IN CONTACT WITH CONCRETE OR MASONRY, AND AT OTHER LOCATIONS AS SHOWN ON STRUCTURAL DRAWINGS, SHALL BE PROTECTED WITH 30 # FELT (UNLESS NOTED OTHERWISE) OR PRESSURE TREATED IN ACCORDANCE WITH AITC-109. MEMBER SIZE SHOWN ARE NOMINAL UNLESS NOTED OTHERWISE.

EXCLUSIONS

HOST STRUCTURE.
ELECTRICAL, WIRING.

SHEET INDEX

# SHEET	DESCRIPTION
1	Cover Page
2	Plan View/Elevation
3	Details
4	Details
5	Details

DESIGN NOTES:

- FLORIDA BUILDING CODE SIXTH EDITION (2017)
- WIND PRESSURES HAVE BEEN DETERMINED BASED ON ASCE 7-10, ROOF OVER OPEN STRUCTURE, OBSTRUCTED WIND FLOW, DESIGN PRESSURES CONSIDER WIND LOAD FROM Vult=170 MPH 3-SECOND GUST (Vasd EQUIVALENT = 132MPH) IN EXPOSURE 'C' ACTING SIMULTANEOUSLY WITH 20 PSF ROOF LIVE LOAD, DIRECTIONALITY FACTOR Kd=0.85, G=0.85, Kz=0.85, Kzt=1.0, 10' MRH. POROSITY WHEN OPEN 50%
 - SNOW LOAD = N/A
 - SEISMIC PARAMETERS:
DESIGN CATEGORY: A
SITE CLASS: D
RISK CATEGORY: I
IMPORTANCE FACTOR, IC: 1.000
Ss: 0.057
S1: 0.023
SD1: 0.037
SDs: 0.061
 - DEFLECTION CRITERIA L/80
 - SYSTEM NOT DESIGN TO HANDLE CONCENTRATED LOADS FROM HUMAN ACTIVITY.

GENERAL NOTES:

- THIS STRUCTURE HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH THE STRUCTURAL PROVISIONS OF THE REFERENCED INTERNATIONAL BUILDING CODE. STRUCTURE SHALL BE FABRICATED IN ACCORDANCE WITH ALL GOVERNING CODES. CONTRACTOR SHALL INVESTIGATE AND CONFORM TO ALL LOCAL BUILDING CODE AMENDMENTS WHICH MAY APPLY AND GOVERN. DESIGN CRITERIA OR SPANS BEYOND STATED HEREIN MAY REQUIRE ADDITIONAL SITE SPECIFIC SEALED ENGINEERING.
- THIS ENGINEER HAS NOT VISITED THIS JOBSITE. INFORMATION CONTAINED HEREIN IS BASED ON CONTRACTOR SUPPLIED DATA AND MEASUREMENTS. ENGINEERING EXPRESS SHALL NOT BE HELD RESPONSIBLE OR LIABLE IN ANY WAY FOR ERRONEOUS OR INACCURATE DATA OR MEASUREMENTS. WORK SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THIS ENGINEERING SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO REEVALUATE OUR WORK UPON DISCOVERY OF ANY INACCURATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.
- THE EXISTING HOST STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SYSTEM AS VERIFIED BY THE ENGINEER & OR ARCHITECT OF RECORD, et.al. THE HOST STRUCTURE WHICH IS DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS MUST PROVIDE SUFFICIENT, CAPACITY FOR THIS SPECIFIED DECK SYSTEM. NO WARRANTY OR GUARANTEE TO THESE CONDITIONS, EITHER EXPRESSED OR IMPLIED, IS OFFERED WITH THIS CERTIFICATION.
- THE CONTRACTOR SHALL CAREFULLY CONSIDER POSSIBLE IMPOSING LOADS ON ROOF, INCLUDING BUT NOT LIMITED TO ANY CONCENTRATED LOADS WHICH MAY JUSTIFY GREATER DESIGN CRITERIA.
- LOUVERED ROOF SYSTEM SHALL BE PER MANUFACTURER MAXIMUM SPANS OR BY OTHERS.
- THE INSTALLATION OF ANY ACCESSORIES THAT DO NOT AFFECT THE STRUCTURAL INTEGRITY OF THE STRUCTURE ARE OUTSIDE THE SCOPE OF THIS CERTIFICATION AND NOT REQUIRED TO BE CERTIFIED UNDER THIS STRUCTURAL DRAWING. THEY MAY BE INSTALLED AS DESIRED PER MFR. SPECIFICATIONS.
- ALL FASTENERS TO BE #14 OR GREATER ASTM F593 COLD WORKED 304 STAINLESS STEEL, UNLESS NOTED OTHERWISE. FASTENERS SHALL BE CADMIUM-PLATED OR OTHERWISE CORROSION-RESISTANT MATERIAL AND SHALL COMPLY WITH "SPECIFICATIONS FOR ALUMINUM STRUCTURES" SECTION J.3.7.2 BY THE ALUMINUM ASSOCIATION, INC., & ANY APPLICABLE FEDERAL, STATE, AND/OR LOCAL CODES. Fy= 65 KSI MIN.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. EMBEDMENT SHALL BE AS NOTED HEREIN. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES STUCCO, FOAM, BRICK, AND OTHER WALL FINISHES.
- ALL CONCRETE ANCHORS SHALL BE INSTALLED TO NON-CRACKED CONCRETE ONLY.
- THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.
- ALL LIGHT GAUGE STEEL MEMBERS SHALL CONFORM TO ASTM A36 AND CURRENT EDITION OF AISC WITH MINIMUM Fy = 55KSI.
- ALL CONCRETE AND EPOXY TO REACH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 7 DAYS.
- DIMENSIONS ARE SHOWN TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. THEY MAY VARY SLIGHTLY, BUT SHALL REMAIN IN CONFORMANCE WITH THE LIMITATIONS OF THIS PLAN. THE CONTRACTOR IS TO VERIFY ALL FIELD DIMENSIONS PRIOR TO INSTALLATION, AND VERIFY THAT PROPOSED DIMENSIONS AND FIELD CONDITIONS AGREE WITH THIS PROPOSED PLAN. USE OF THIS DOCUMENT CONSTITUTES ACCEPTANCE OF THE PROPOSED SYSTEM LAYOUT, COMPONENTS SELECTED, AND INSTALLATION. THESE DRAWINGS ARE NOT INTENDED TO BE USED AS FABRICATION OR SHOP DRAWINGS.
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- EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.

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PE # 0046549
09/06/2019
PROFESSIONAL ENGINEER

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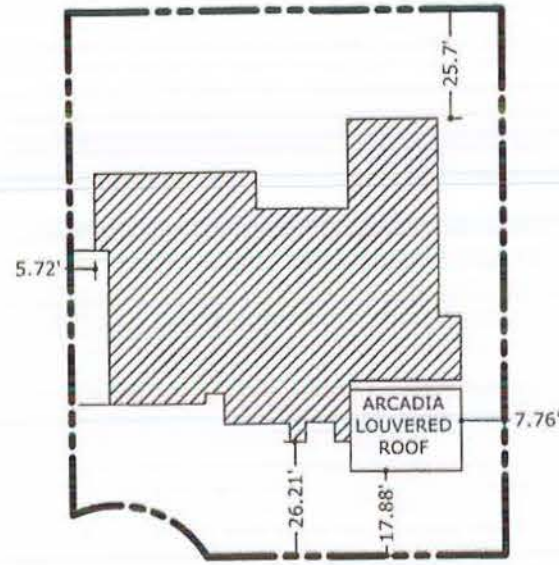
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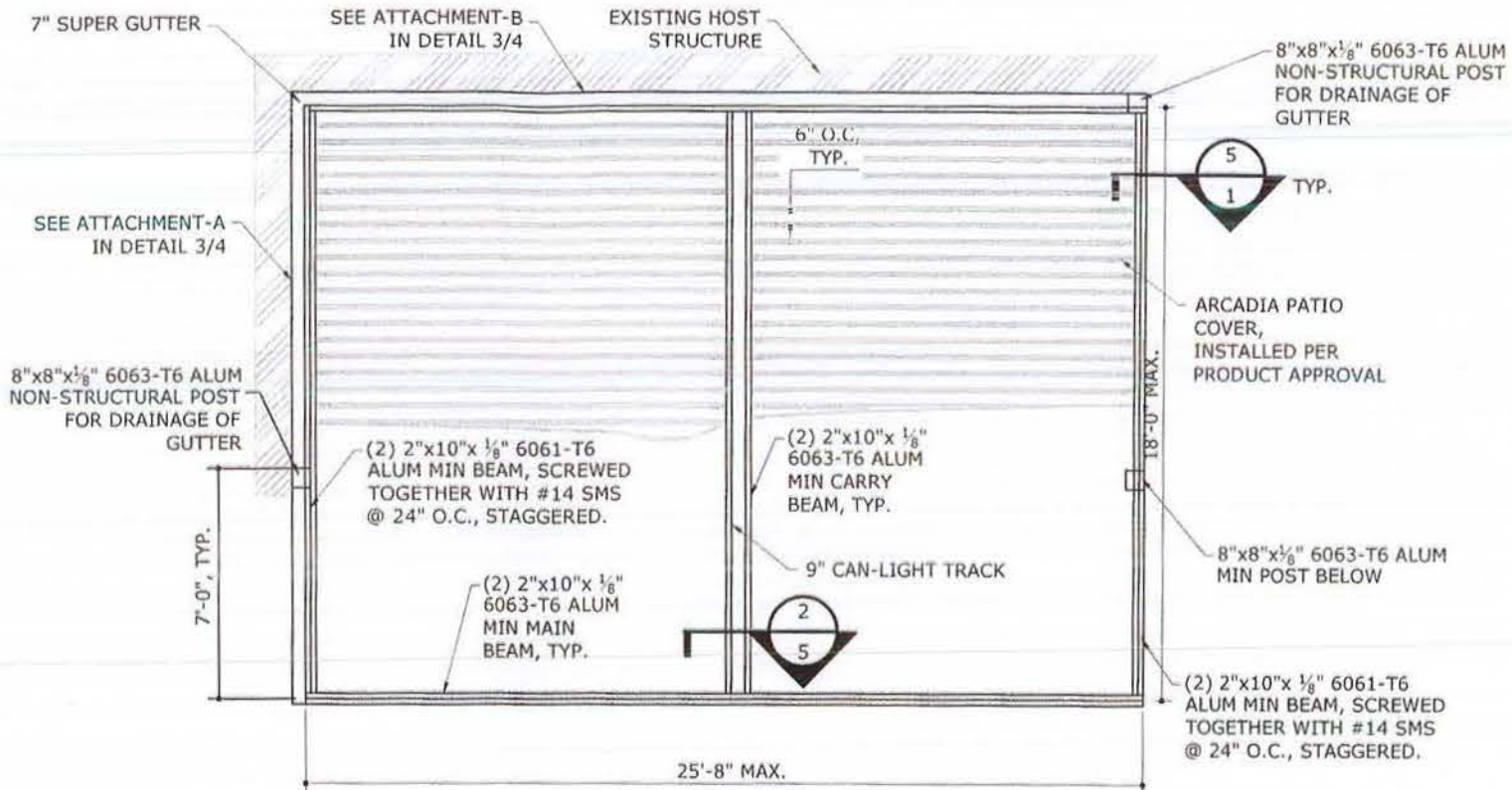
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KEY PLAN

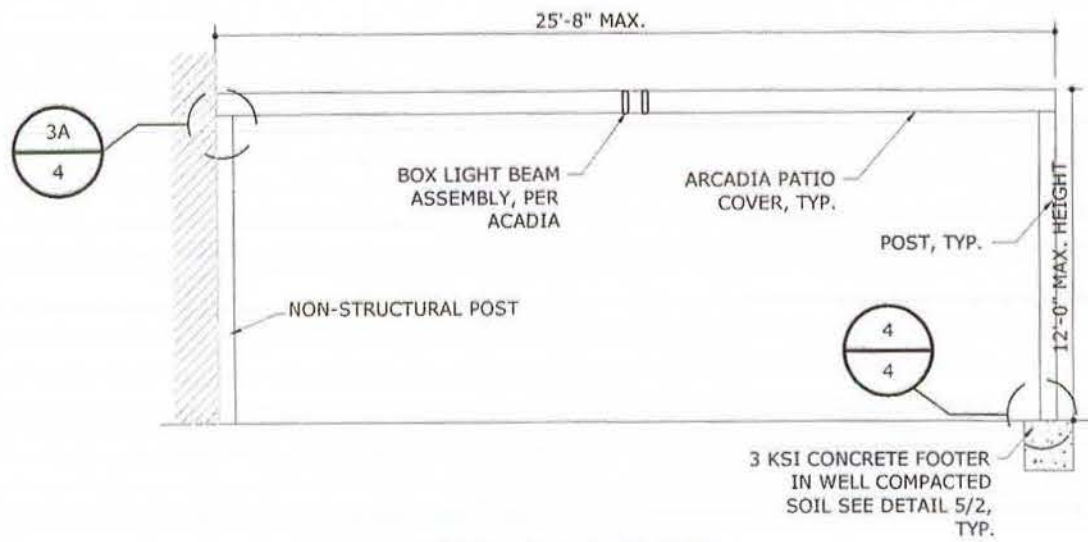


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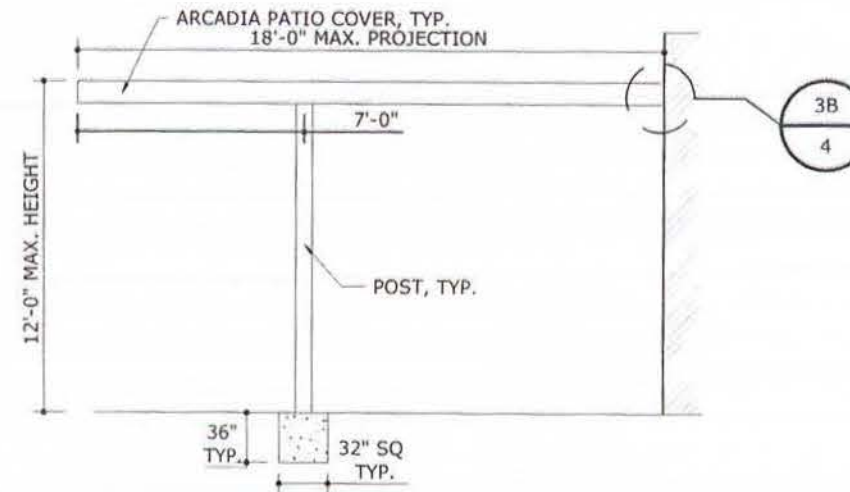
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1
2
**HOST ATTACHED
ARCADIA LOUVERED ROOF**
PLAN VIEW



2
2
**HOST ATTACHED
ARCADIA LOUVERED ROOF**
FRONT ELEVATION



3
2
**HOST ATTACHED
ARCADIA LOUVERED ROOF**
SIDE ELEVATION



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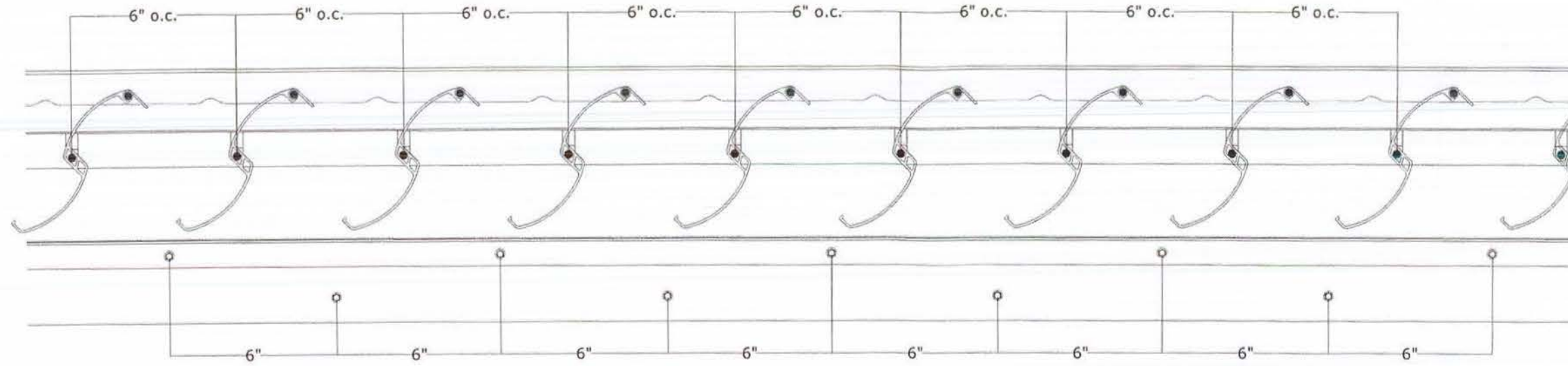
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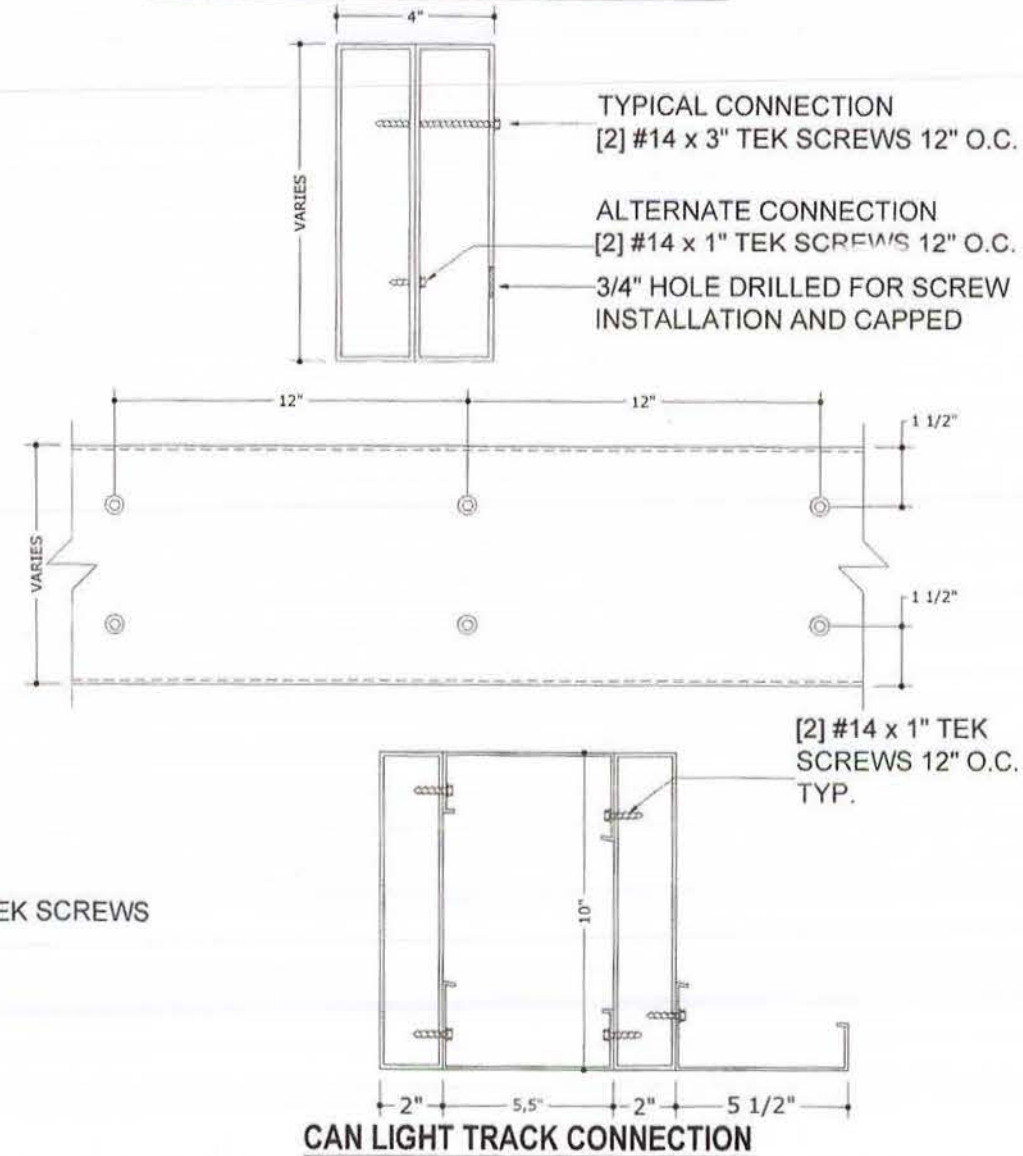
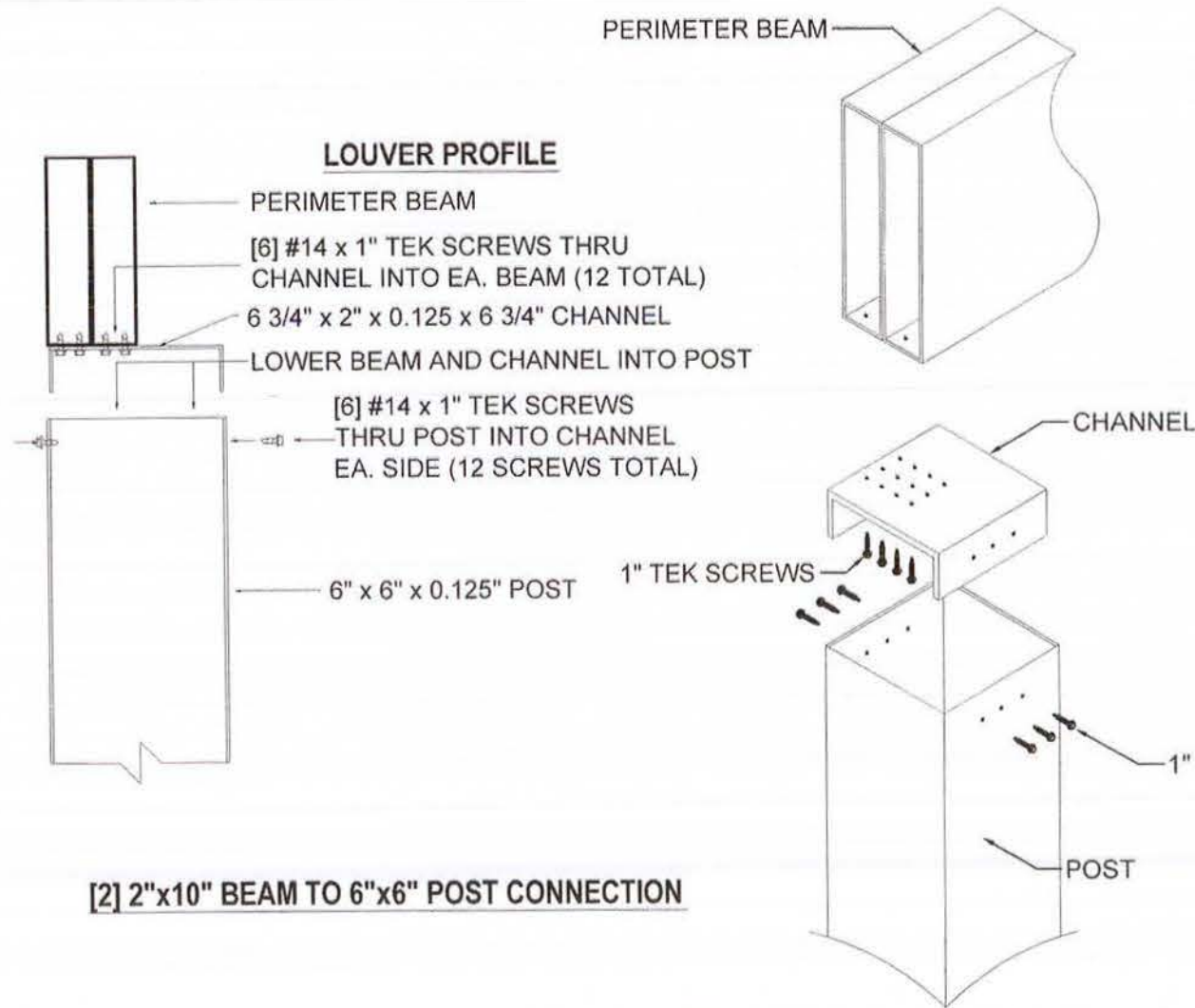
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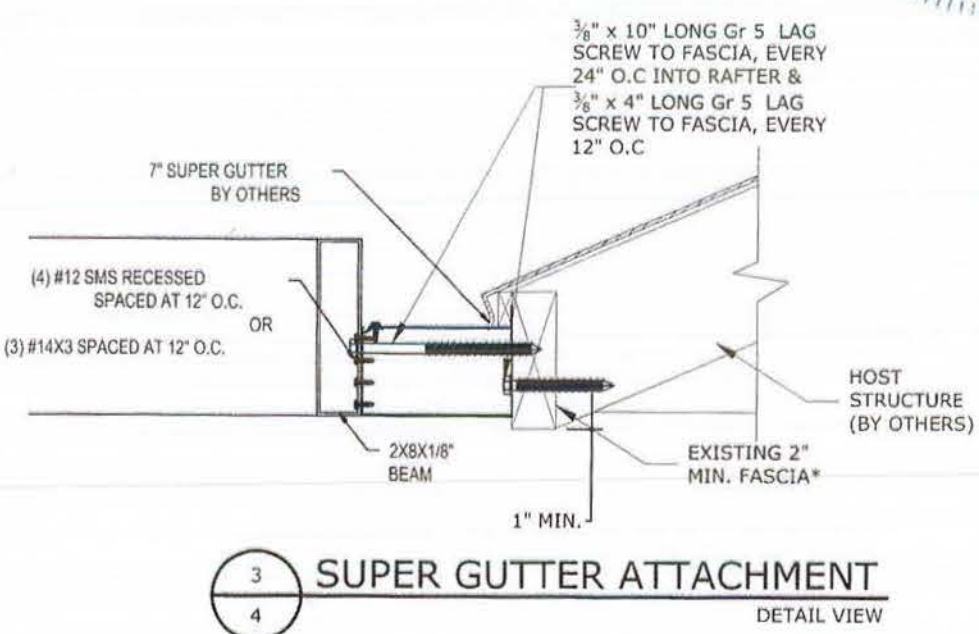
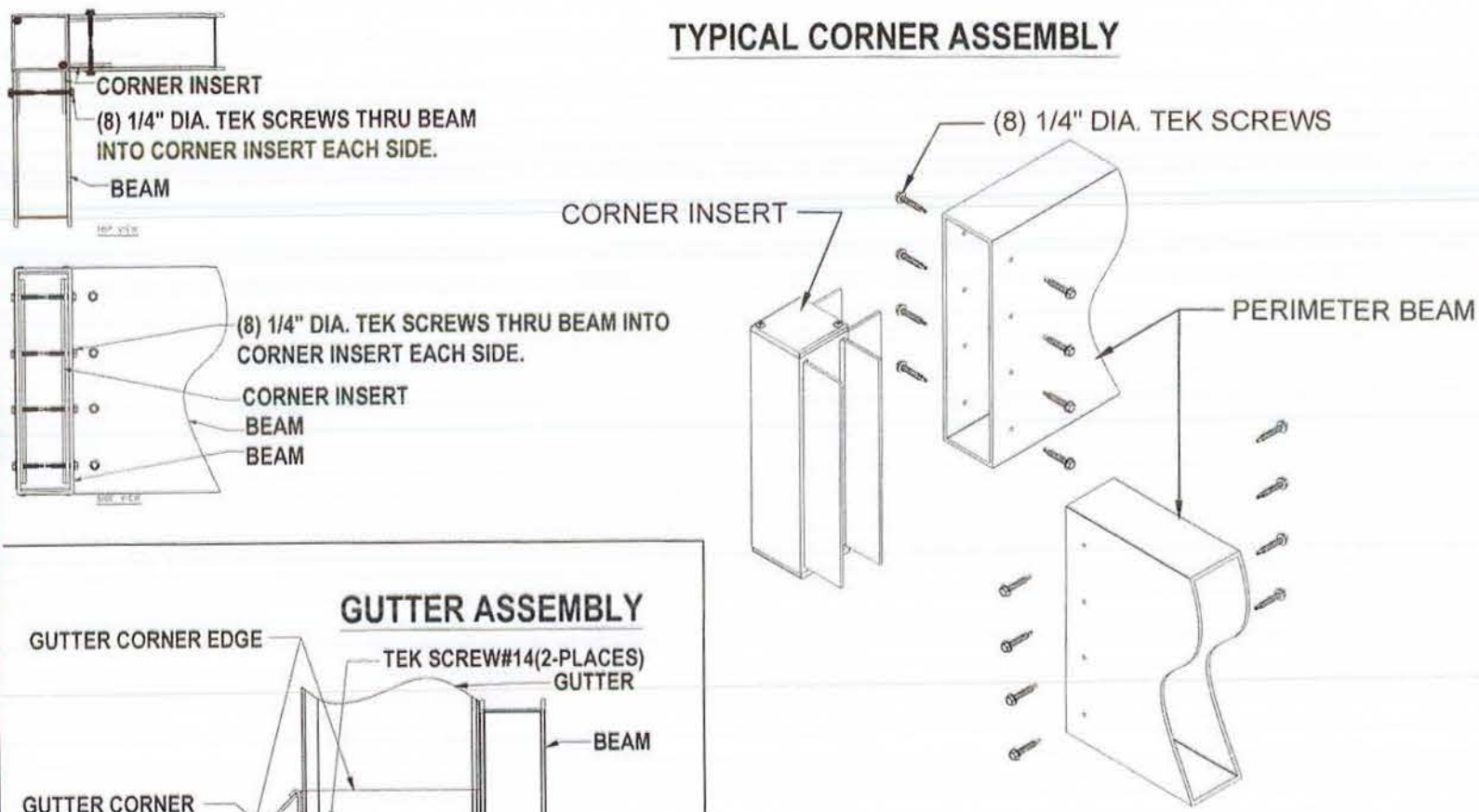
REMARKS	DRWN	CHKD	DATE
INIT ISSUE	JRB	FLB	12/21/17
ADD TREE PROTECTION DTIL JAC	TSB	JAC	10/10/18
REV 2 - SUPER GUTTER	JAC	TSB	01/28/19

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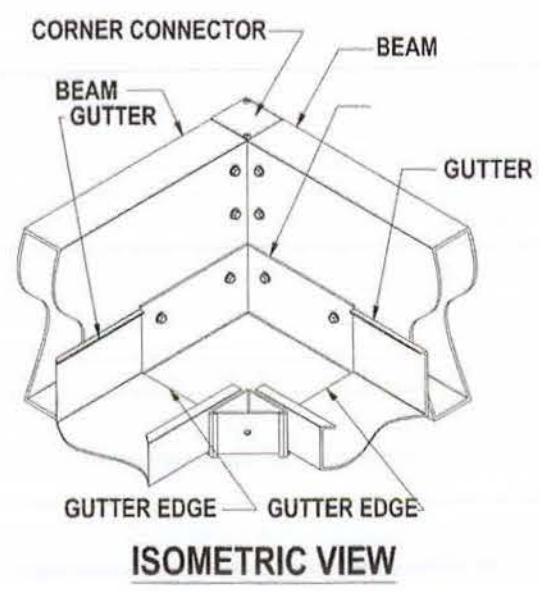
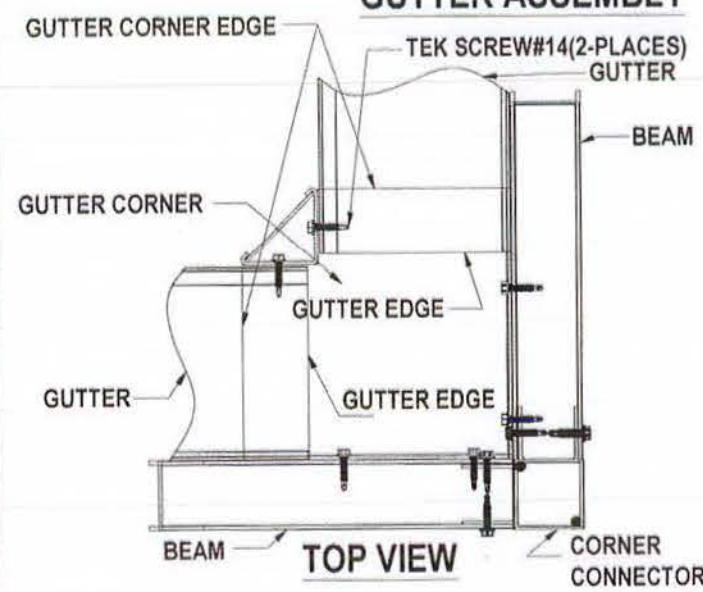
17-5423
SCALE: NTS UNLESS NOTED

FRANK L. BERNARDO, P.E.
 LICENSE NO. 46549
 09/06/2019
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

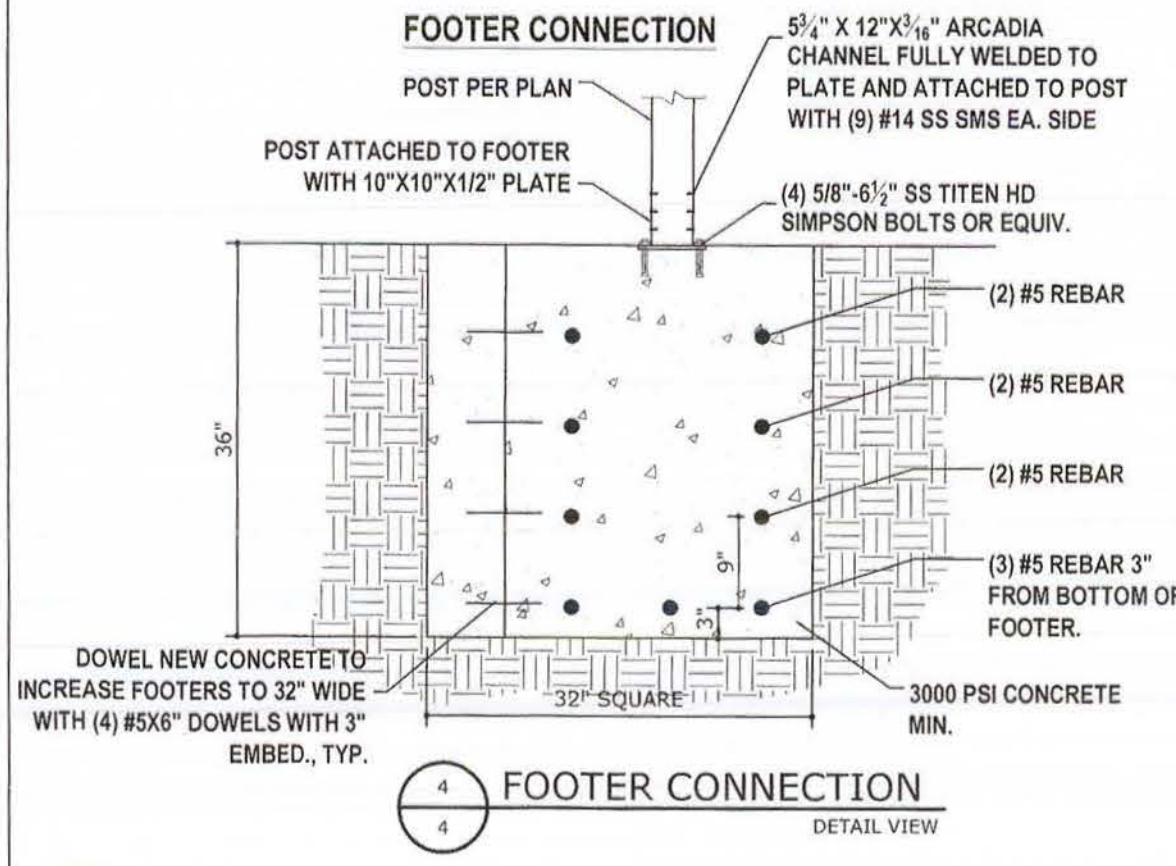
TYPICAL CORNER ASSEMBLY



GUTTER ASSEMBLY



FOOTER CONNECTION



ABSOLUTE ALUMINUM

1220 OGDEN RD.
 VENICE, FL
 (941) 497-7777
 DESIDARIO RES.
 3025 NE 21ST
 FORT LAUDERDALE, FL

REMARKS	DRWN	CHKD	DATE
INIT ISSUE	JRB	FLB	12/12/17
ADD TREE PROTECTION DT/L/JAC	JAC	TSB	10/10/18
REV 2 - SUPER GUTTER	JAC	TSB	01/28/19

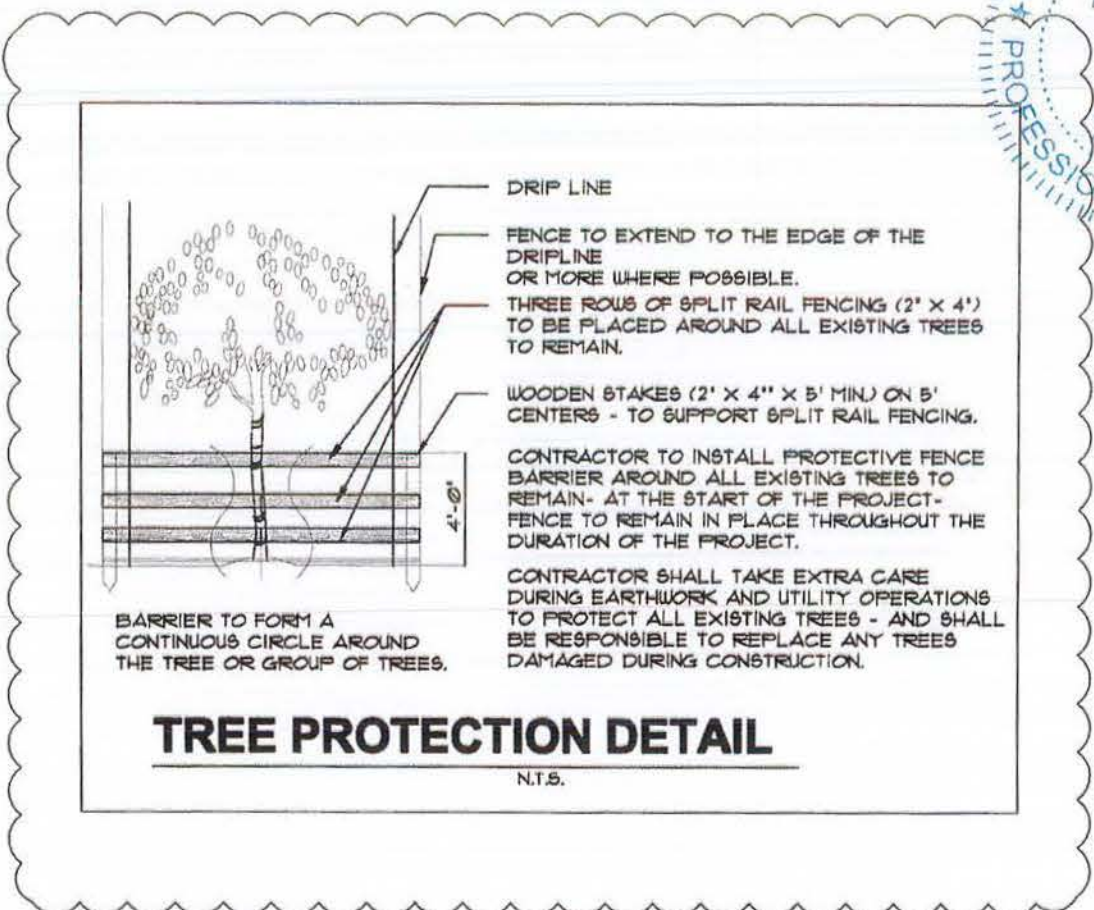
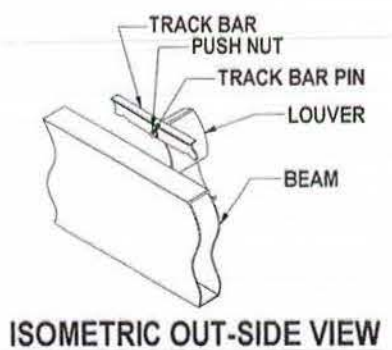
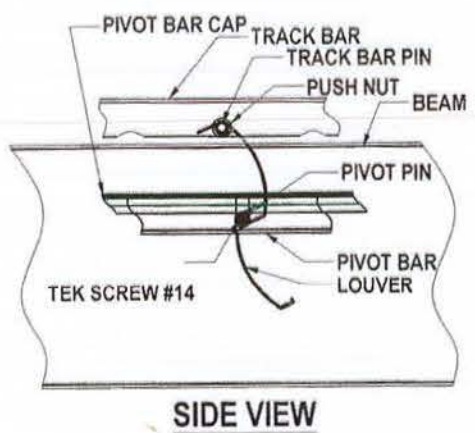
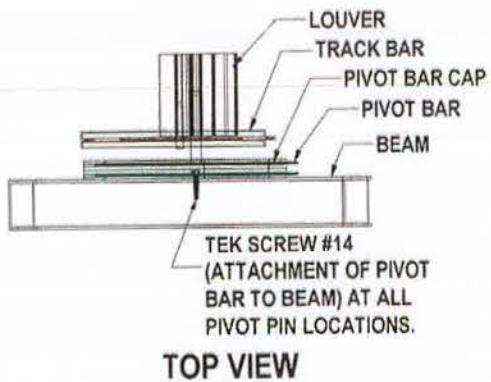
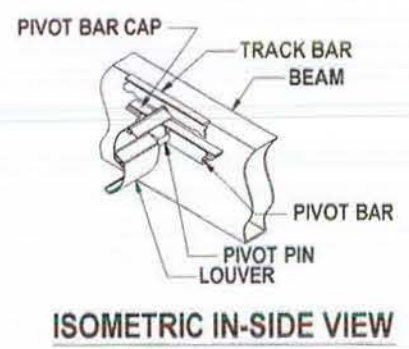
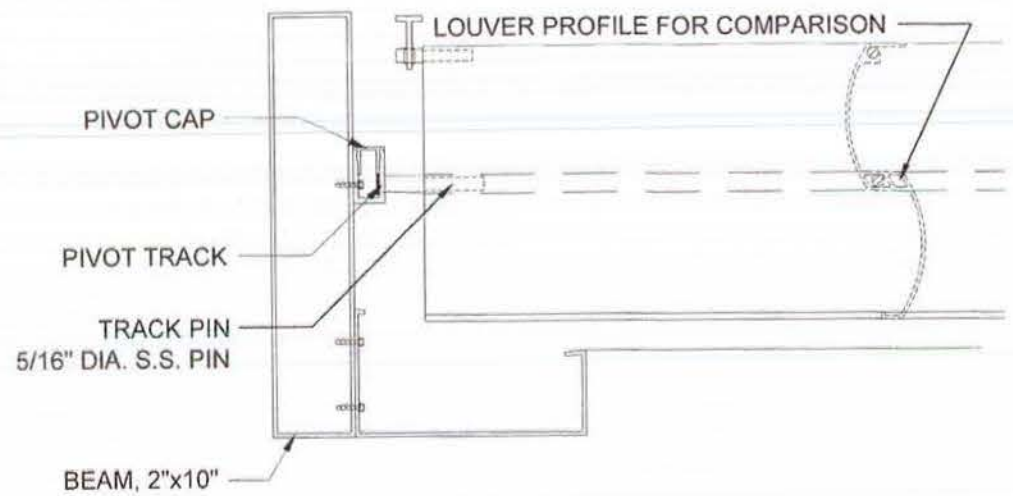
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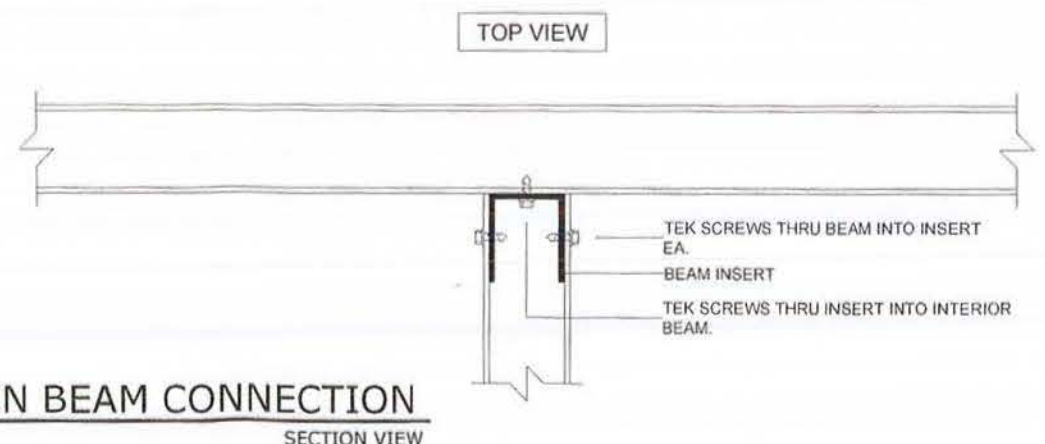
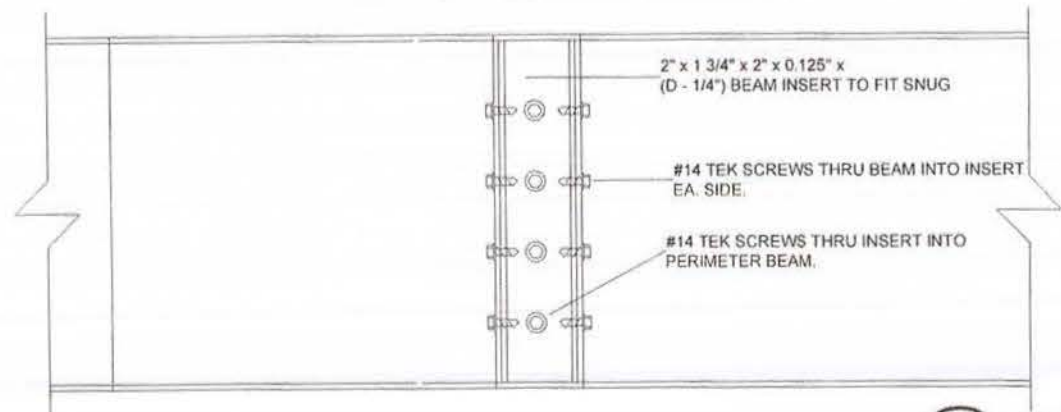
17-5423

SCALE: NTS UNLESS NOTED

V:\projects\17-5423 Desidario RestWP17-54239 - Desidario Res.dwg
 alex
 09/06/2019 - 4:43pm



INTERIOR BEAM TO BEAM CONNECTION



FRANK L. BEWARD, P.E.
PE# 0846549
09/06/2019
No PE
PROFESSIONAL
STATE OF FLORIDA

ENGINEERING EXPRESS
CORPORATE OFFICE: 4106
DEERFIELD BEACH, FL 33442
P: (954) 354-0660 F: (954) 354-0443
E: HELLO@ENGINEERINGEXPRESS.COM
ENGINEERINGEXPRESS.COM
CERT OF AUTH #9885

ABSOLUTE ALUMINUM
1220 OGDEN RD.
VENICE, FL
(941) 497-7777
DESIDARIO RES.
3025 NE 21ST
FORT LAUDERDALE, FL

REMARKS	DRWN	CHKD	DATE
INIT ISSUE	JRB	FLB	12/12/17
ADD TREE PROTECTION DTL	JAC	TSB	10/10/18
REV 2 - SUPER GUTTER	JAC	TSB	01/28/19

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SCALE: NTS UNLESS NOTED

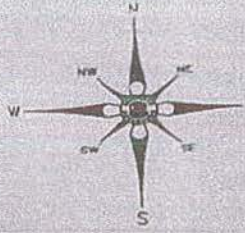
1150 E. ATLANTIC BLVD.
POMPANO BEACH
FLORIDA 33060

ACCURATE LAND SURVEYORS, INC.
L.R. #3035

TEL: (954) 782-1441
FAX: (954) 782-1442

SHEET 2 OF 2

LAKE ALBACORE
100.00'



115.14' RADIAL

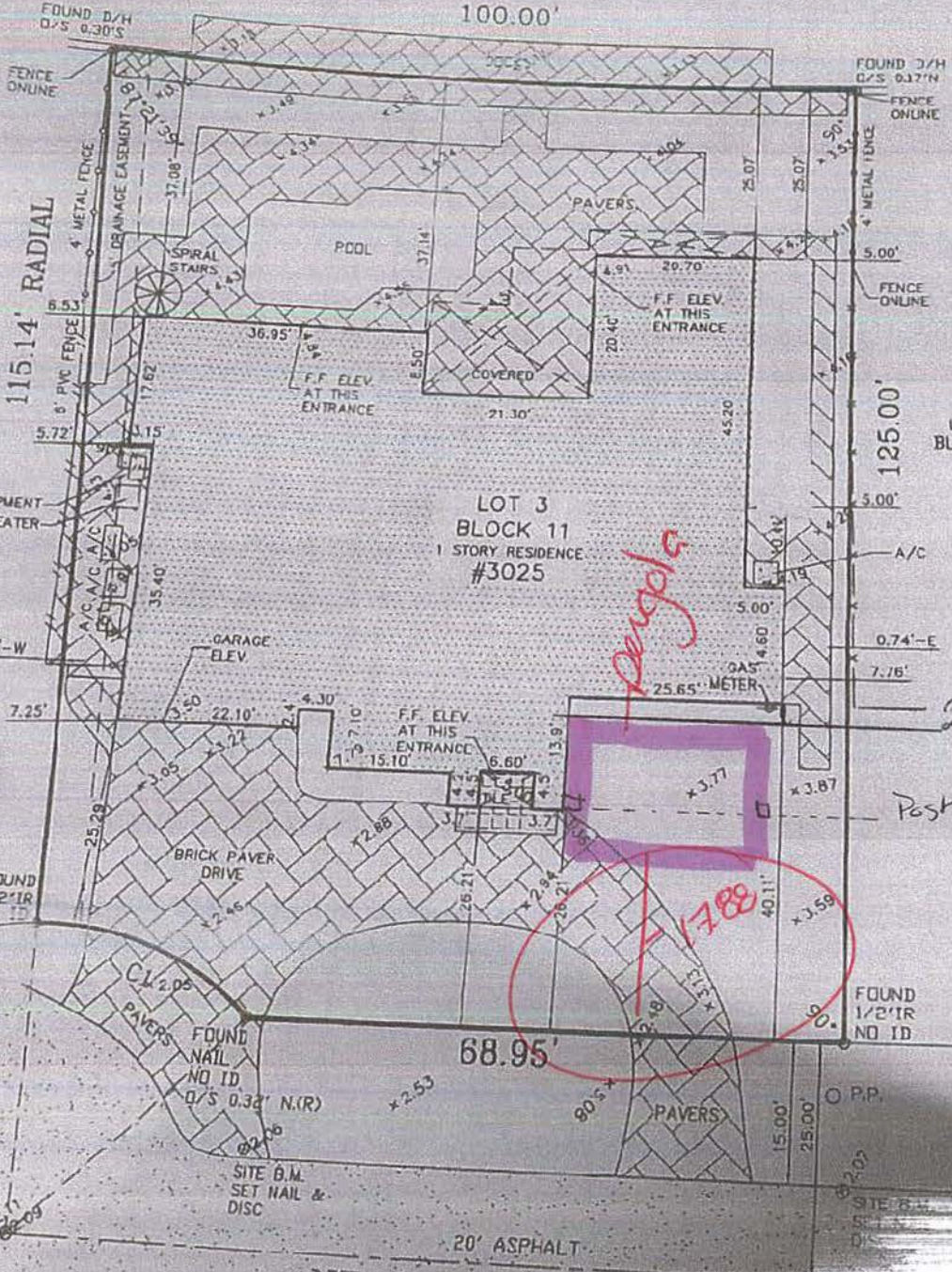
LOT 3
BLOCK 11
1 STORY RESIDENCE
#3025

LOT 4
BLOCK 11

Post face flush with House

Peraps

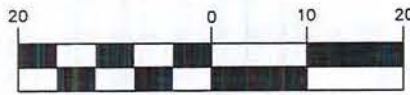
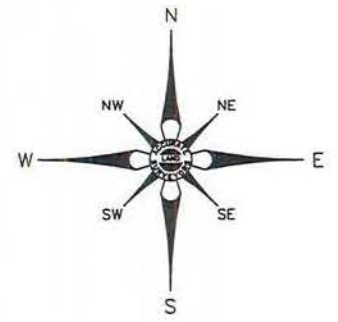
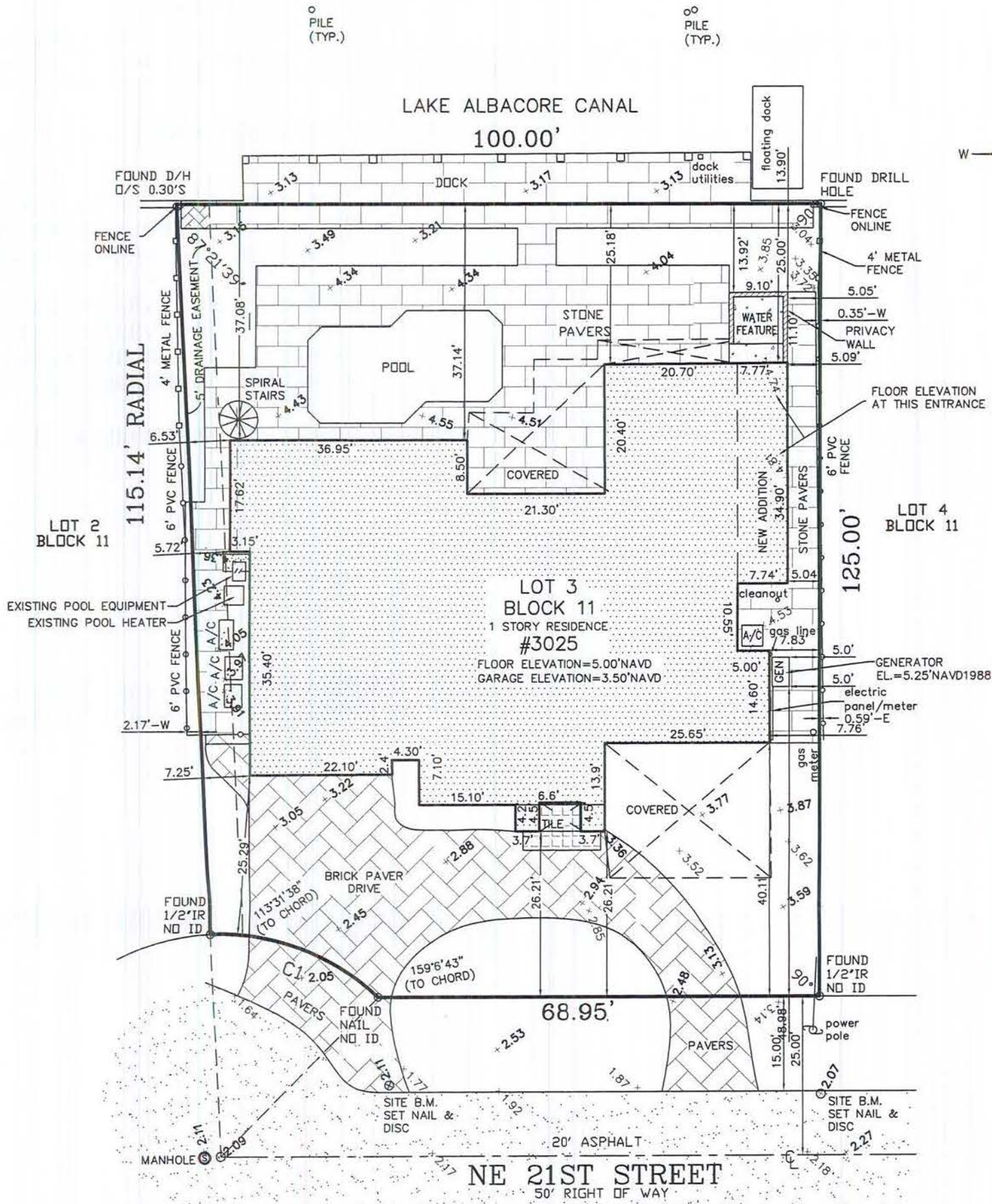
1788



Beam
Covered Col.
Angled Zone
dia Att.
ATA
3
y
14'
white
UPV
5
4
MANHOLE

PERMIT 888
OF THE COUNTY
DATE

20' ASPHALT



GRAPHIC SCALE
1"=20'

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1(P)	28.66	35.00	46°55'01"
(C)	28.74	35.00	47°03'16"

* 5.18 DENOTES ELEVATIONS BASED ON N.A.V.D.

REVISIONS	DATE	BY
UPDATE SURVEY SU-19-1015	04-25-19	AL/RLT
UPDATE SURVEY SU-19-0665	03-28-19	AL/RLT
SPOT SURVEY 18-3355	10-25-18	MLW
FORMBOARD LOCATIONS 18-3097	09-28-18	MLW
S/O ADDITION 18-2901	09-10-18	MLW
DELETE FRONT ADDITION SU-16-4270	12/15/16	JMS
UPDATE/TOPO/SHOW PROPOSED NEW ADDITION SU-16-3933	11/21/16	AL/JMS
REVISE SKETCH	01-28-10	MLW
FINAL SURVEY SU-10-0007	01-05-10	AL/MLW
SPOT SURVEY SU-09-2036	09-08-09	AL/MLW
FORMBOARD SURVEY 09-1917	09-02-09	MLW
PERVIOUS CALCS. 09-1063	05-19-09	MLW
ADD ADDITIONAL INFORMATION SU-07-3434	8-17-07	RNB/JMS
FINAL SURVEY SU-07-2976	6-29-07	RNB/JMS
DATE OF SURVEY 04-28-03	DRAWN BY O.I.W.	CHECKED BY MS

NOTES:
 1. UNLESS OTHERWISE NOTED FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
 2. BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N/A.
 3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS, OR OTHER MATTERS OF RECORDS BY ACCURATE LAND SURVEYORS, INC.
 4. OWNERSHIP OF FENCES AND WALLS IF ANY NOT DETERMINED.
 5. THIS DRAWING IS THE PROPERTY OF ACCURATE LAND SURVEYORS, INC. AND SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
 6. THIS SURVEY CONSISTS OF A MAP AND TEXT REPORT. ONE IS NOT VALID WITHOUT THE OTHER.
 7. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON, TO BE VALID ONE YEAR FROM THE DATE OF SURVEY AS SHOWN.
 8. THE FLOOD ZONE INFORMATION SHOWN HEREON IS FOR THE DWELLABLE STRUCTURE ONLY UNLESS OTHERWISE INDICATED.
 9. THE LOCATION OF OVERHEAD UTILITY LINES ARE APPROXIMATE IN NATURE DUE TO THEIR PROXIMITY ABOVE GROUND. SIZE, TYPE & QUANTITY MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.

CERTIFICATION:
 THIS IS TO CERTIFY THAT THIS ABOVE GROUND SKETCH OF BOUNDARY SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SKETCH MEETS THE CURRENT STANDARDS OF PRACTICE, ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Robert L. Thompson 5-2-19
 ROBERT L. THOMPSON (PRESIDENT)
 PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA



ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 3025 NE 21 STREET			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33305	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT VIEW 04/25/19

Clear Photo One



Photo Two

Photo Two Caption LEFT SIDE VIEW 4/25/19

Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
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City FORT LAUDERDALE	State Florida	ZIP Code 33305	Company NAIC Number

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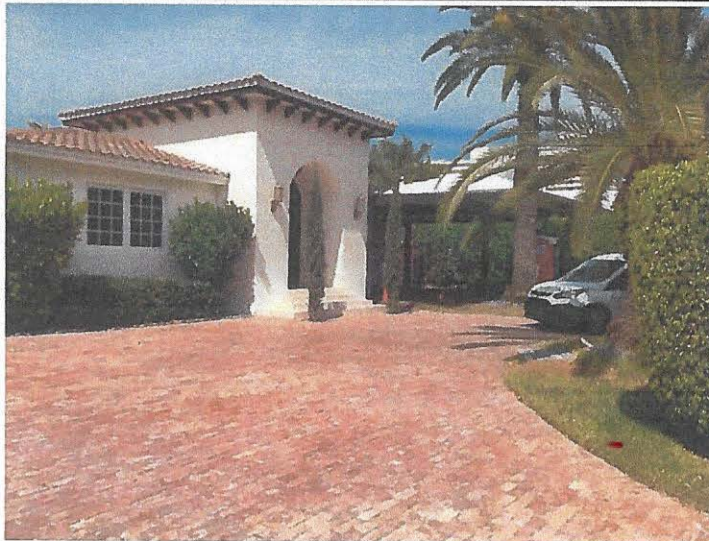


Photo One

Photo One Caption FRONT VIEW 04/25/19

Clear Photo One

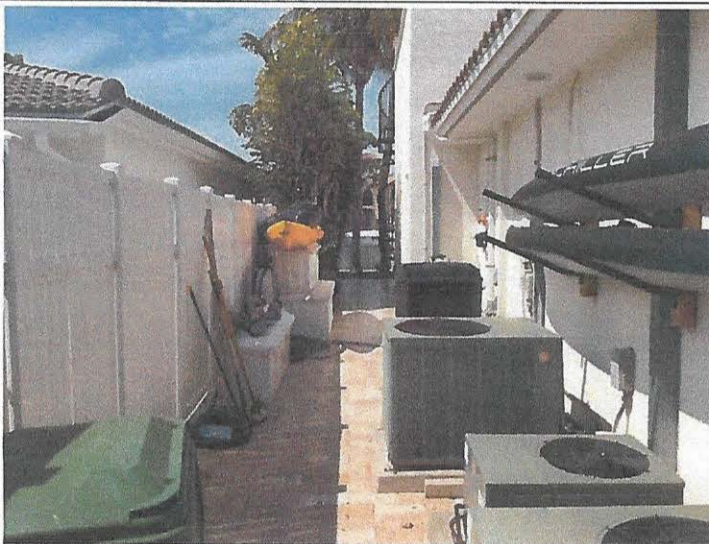


Photo Two

Photo Two Caption LEFT SIDE VIEW 4/25/19

Clear Photo Two

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION					FOR INSURANCE COMPANY USE	
A1. Building Owner's Name PETER DESIDERIO & DRBRA YAP					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 3025 NE 21 STREET					Company NAIC Number:	
City FORT LAUDERDALE		State Florida		ZIP Code 33305		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LAUDERDALE BEACH EXT 27-48 B LOT 3 BLOCK 11 TID# 4943-30-02-1200						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>						
A5. Latitude/Longitude: Lat. <u>26°09'21.12"N</u> Long. <u>80°06'15.67"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>1B</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft						
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>						
c) Total net area of flood openings in A8.b <u>N/A</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage <u>442.00</u> sq ft						
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>						
c) Total net area of flood openings in A9.b <u>0.00</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number FORT LAUDERDALE 125105			B2. County Name BROWARD		B3. State Florida	
B4. Map/Panel Number 12011C0388	B5. Suffix H	B6. FIRM Index Date 08-18-2014	B7. FIRM Panel Effective/Revised Date 08-18-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 5'	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE																																	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 3025 NE 21 STREET			Policy Number:																																	
City FORT LAUDERDALE	State Florida	ZIP Code 33305	Company NAIC Number																																	
SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)																																				
<p>C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input checked="" type="checkbox"/> Building Under Construction* <input type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.</p> <p>C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters. Benchmark Utilized: BCBM #3816 EL. 9.84' Vertical Datum: NAVD1988</p> <p>Indicate elevation datum used for the elevations in items a) through h) below. <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____</p> <p>Datum used for building elevations must be the same as that used for the BFE.</p> <p style="text-align: right; font-size: x-small;">Check the measurement used.</p> <table style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">a) Top of bottom floor (including basement, crawlspace, or enclosure floor)</td> <td style="width: 10%; text-align: center;">5.00</td> <td style="width: 10%;"><input checked="" type="checkbox"/> feet</td> <td style="width: 10%;"><input type="checkbox"/> meters</td> </tr> <tr> <td>b) Top of the next higher floor</td> <td style="text-align: center;">N/A</td> <td><input type="checkbox"/> feet</td> <td><input type="checkbox"/> meters</td> </tr> <tr> <td>c) Bottom of the lowest horizontal structural member (V Zones only)</td> <td style="text-align: center;">N/A</td> <td><input type="checkbox"/> feet</td> <td><input type="checkbox"/> meters</td> </tr> <tr> <td>d) Attached garage (top of slab)</td> <td style="text-align: center;">3.50</td> <td><input checked="" type="checkbox"/> feet</td> <td><input type="checkbox"/> meters</td> </tr> <tr> <td>e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)</td> <td style="text-align: center;">3.91</td> <td><input checked="" type="checkbox"/> feet</td> <td><input type="checkbox"/> meters</td> </tr> <tr> <td>f) Lowest adjacent (finished) grade next to building (LAG)</td> <td style="text-align: center;">3.22</td> <td><input checked="" type="checkbox"/> feet</td> <td><input type="checkbox"/> meters</td> </tr> <tr> <td>g) Highest adjacent (finished) grade next to building (HAG)</td> <td style="text-align: center;">4.51</td> <td><input checked="" type="checkbox"/> feet</td> <td><input type="checkbox"/> meters</td> </tr> <tr> <td>h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support</td> <td style="text-align: center;">N/A</td> <td><input type="checkbox"/> feet</td> <td><input type="checkbox"/> meters</td> </tr> </table>					a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	5.00	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	b) Top of the next higher floor	N/A	<input type="checkbox"/> feet	<input type="checkbox"/> meters	c) Bottom of the lowest horizontal structural member (V Zones only)	N/A	<input type="checkbox"/> feet	<input type="checkbox"/> meters	d) Attached garage (top of slab)	3.50	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	3.91	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	f) Lowest adjacent (finished) grade next to building (LAG)	3.22	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	g) Highest adjacent (finished) grade next to building (HAG)	4.51	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	N/A	<input type="checkbox"/> feet	<input type="checkbox"/> meters
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b) Top of the next higher floor	N/A	<input type="checkbox"/> feet	<input type="checkbox"/> meters																																	
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SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION																																				
<p>This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.</p> <p>Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Check here if attachments.</p>																																				
Certifier's Name ROBERT L. THOMPSON		License Number 3869		<div style="font-size: 2em; font-weight: bold;">3869</div> <div style="font-size: 1.5em; font-weight: bold;">Place Seal Here</div> <div style="font-size: 1.5em; font-weight: bold;">A-25-19</div>																																
Title PROFESSIONAL SURVEYOR & MAPPER																																				
Company Name ACCURATE LAND SURVEYORS, INC.																																				
Address 1150 E ATLANTIC BOULEVARD																																				
City POMPANO BEACH	State Florida	ZIP Code 33060																																		
Signature 	Date 04-25-2019	Telephone (954) 782-1441	Ext. N/A																																	
Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.																																				
Comments (including type of equipment and location, per C2(e), if applicable) JOB NO. 03-2605 19-1015 A5: Lat and Long was obtained using a hand held GPS unit. C2E: A/C PAD LOCATED ON WEST SIDE OF RESIDENCE, NEW A/C ON EAST SIDE OF RESIDENCE EL=4.49'NAVD CROWN OF ROAD WEST EL= 2.09'NAVD CROWN OF ROAD EAST EL= 2.18' NAVD NEW GENERATOR ON EAST SIDE OF RESIDENCE, EL: 5.25'NAVD																																				



ADDRESS VERIFICATION

CONTACT: Devon Anderson
Phone: 954-828-5233
Email: DAnderson@fortlauderdale.gov

PROJECT ADDRESS: 3025 NE 21 ST, 33305

PREVIOUS ADDRESS: 3025 NE 21 ST, 33305

NOTES: VARIANCE

ZONING: RS-8

FOLIO #: 494330021200

LEGAL DESCRIPTION: LAUDERDALE BEACH EXT 27-48 B LOT 3 BLK 11

DRC #: _____

AUTHORIZED SIGNATURE: 

DATE: 11/06/2019

Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district. (Note A)

Requirements	RS-8	RS-8A
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side	5 ft. - up to 22 ft. in height	For a building with a height no

<p>yard</p>	<p>Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height.</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks 7.5 ft.:</p> <p>Coral Ridge Country Club Addition 4, P.B. 53 P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J.</p> <p>Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16.</p> <p>Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T.</p> <p>Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 & 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G & H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L & M.</p>	<p>greater than 12 ft.- 5 ft.</p> <p>For a building with a height greater than 12 ft. - 7.5 ft.</p> <p>That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks as provided in RS-8</p>
<p>Minimum rear yard</p>	<p>15 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions: Coral Ridge Isles</p>	<p>25 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks as</p>

	Flamingo Pk.—Section "C" & "D" Lakes Estates Golf Estates Imperial Pt.—4th Sec. The Landings Rio Nuevo Isle—Block 1			provided in RS-8	
Minimum distance between buildings	None			None	
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤7,500 sf	50%	0.75	40%	0.55
Lot coverage and FAR	7,501—12,000 sf	45%	0.75	35%	0.55
	>12,000 sf	40%	0.60	30%	0.50

Note A: Dimensional requirements may be subject to additional regulations, see Section 47-23, Specific Location Requirements, and Section 47-25, Development Review Criteria.

*Allowances for modifications of lot widths may be permitted in accordance with the requirements of Section 47-23.10, Specific Location Requirements.

**An increase in the maximum FAR or lot coverage may be permitted subject to the requirements of a site plan level III, see Section 47-24.2.

***All other regulations relating to district RS-8 shall apply to RS-8A.

(Ord. No. C-97-19, § 1(47-5.4), 6-18-97; Ord. No. C-99-26, § 1, 4-20-99; Ord. No. C-99-62, § 1, 9-21-99; Ord. No. C-04-67, § 1, 1-4-05; Ord. No. C-08-05, § 3, 2-5-08)

FOLIO_NUMB	NAME_LINE_	NAME_LINE1
494330021550	PUBLIC LAND	% CITY OF FORT LAUDERDALE
494330021310	AMIT,ALON M H/E	AMIT,JENNIFER WETSTEIN
494330021300	LINDSEY,THOMAS	THOMAS H LINDSEY REV LIV TR
494330021270	DRAGOSLAVIC,GORAN & TERESA	
494330021280	SEA,ROY L	ROY L SEA REV LIV TR
494330021290	OPPEL,RAYMOND & SUSAN LE	RAYMOND J OPPEL REV TR ETAL
494330021250	SIPKIN,LLOYD ALBERT	
494330021240	HERNAIZ,JUAN CARLOS	ALONSO,CARMEN
494330021230	SESTO,MARK E &	SESTO,DARLENE G
494330021220	CZERNIAWSKI,WALTER & ANTOINETTE	
494330021210	LOPEZ,N H & EURIDICE M	
494330021200	DESIDERIO,PIERO L &	YAP,DEBRA F
494330021190	DICKERSON,WILLIAM JOHN II	MOSCHOS,MARY PATRICIA
494330021180	SWARTZ,ANTHONY	
494330020380	PARRA,CECILIA	
494330020590	FEIGHAN,WILLIAM M	BARRIENTOS,JOHN
494330020350	BELLE,ROBERT K	CERVANTES,BRICIA
494330020360	HUBER-FENWICK,ARDYTHE	FENWICK,STEPHEN
494330020370	TRANSAMERICAN TR	
494330020580	CRICKETT,JOHN J	
494330020340	LAURENCE COMBROUZE LIV TR	COMBROUZE,LAURENCE TRSTEE
494330020570	KEARNEY,SIMON P H/E	KEARNEY,LARISSA K
494330020330	STAWARTZ,THOMAS A & DARYL B	
494330021540	PUBLIC LAND	% CITY OF FORT LAUDERDALE
494307000460	TIITF/STATE OF FLORIDA	% FL INLAND NAVIGATION DISTRICT

ADDRESS_LI	CITY	STAT ZIP
100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301
3012 NE 22 ST	FORT LAUDERDALE	FL 33305
3018 NE 22 ST	FORT LAUDERDALE	FL 33305
3108 NE 22 ST	FORT LAUDERDALE	FL 33305
3030 NE 22 ST	FORT LAUDERDALE	FL 33305
3024 NE 22 ST	FORT LAUDERDALE	FL 33305
2119 NE 32 AVE	FORT LAUDERDALE	FL 33305
2101 NE 32 AVE	FORT LAUDERDALE	FL 33305
3107 NE 21 ST	FORT LAUDERDALE	FL 33305
3101 NE 21 ST	FORT LAUDERDALE	FL 33305
3031 NE 21 ST	FORT LAUDERDALE	FL 33305
3025 NE 21 ST	FORT LAUDERDALE	FL 33305
3019 NE 21 ST	FORT LAUDERDALE	FL 33305
3012 NE 21 ST	FORT LAUDERDALE	FL 33305
3114 NE 21 ST	FORT LAUDERDALE	FL 33305
3100 NE 21 ST	FORT LAUDERDALE	FL 33305
230 HIGH MOUNTAIN RD	NORTH HALEDON	NJ 07508
3024 NE 21 ST	FORT LAUDERDALE	FL 33305
3018 NE 21 ST	FORT LAUDERDALE	FL 33305
75 PROVINCE LANDS RD APT 2	PROVINCETOWN	MA 02657
6431 NE 21 RD	FORT LAUDERDALE	FL 33308
2022 NE 31 AVE	FORT LAUDERDALE	FL 33305
1915 NE 31 AVE	FORT LAUDERDALE	FL 33305
100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301
1314 MARCINSKI RD	JUPITER	FL 33477

ADDRESS__1		LEGAL_LINE
FORT LAUDERDALE	FL33301	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
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FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
NORTH HALEDON	NJ07508	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
PROVINCETOWN	MA02657	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33308	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33305	LAUDERDALE BEACH EXT 27-48 B
FORT LAUDERDALE	FL33301	LAUDERDALE BEACH EXT 27-48 B
JUPITER	FL33477	FLORIDA EAST COAST CANAL 17-1 B

LEGAL_LI_1

ROAD RIGHT OF WAYS DEDICATED PER

LOT 1 & THAT PT OF LOT 13 BLK 11

LOT 13 LESS THAT PT AS DESC

LOT 10 BLK 11

LOT 11 BLK 11

LOT 12 BLK 11

LOT 8 BLK 11

LOT 7 BLK 11

LOT 6 BLK 11

LOT 5 BLK 11

LOT 4 BLK 11

LOT 3 BLK 11

LOT 2 BLK 11

LOT 1 BLK 11

LOT 1 BLK 6

LOT 22 BLK 6

LOT 8 BLK 5

LOT 9 BLK 5

LOT 10 BLK 5

LOT 21 BLK 6

LOT 7 BLK 5

LOT 20 BLK 6

LOT 6 BLK 5

WATERWAYS AS SHOWN PER PLAT

POR OF THE FLA EAST COAST CANAL

LEGAL_LI_2

PLAT

AS DESC IN OR 623/254 BLK 12

IN OR 623/254 BLK 11

AKA: LAKE CREVALLE, BONITA BAY,

LOCATED IN THE CITY OF FORT

LEGAL_LI_3

LEGAL_LI_4

LAKE ALBACORE AND CERO BAY
LAUDERDALE

LEGAL_LI_5

LEGAL_LI_6

LEGAL_LI_7

LEGAL_LI_8

LEGAL_LI_9

LEGAL_L_10

LEGAL_L_11

LEGAL_L_12

LEGAL_L_13

ZIP4	MILL/	US	US M/	C/	JUST_LAND	JUST_BUILD	JUST_OTHE	LY_	JUSTVAL
	0312	94		01	231890	0	0		231890
	0312	01	01	01	864270	278280	0		1142550
	0312	01	01	01	1204070	1974980	0		3179050
	0312	01	01	01	598190	1081800	0		1679990
	0312	01	01	01	675540	838600	0		1514140
	0312	01	01	01	569700	1131320	0		1701020
1854	0312	01	01	01	415800	551550	0		967350
1854	0312	01	01	01	755960	608800	0		1364760
1810	0312	01	01	01	432090	817170	0		1249260
1810	0312	01	01	01	675540	1344160	0		2019700
1809	0312	01	01	01	675540	993930	0		1669470
	0312	01	01	01	647410	1199490	0		1846900
1809	0312	01	01	01	812500	381980	0		1194480
	0312	01	01	01	876420	609230	0		1485650
	0312	01	01	01	162320	543500	0		705820
	0312	01	01	01	162320	649380	0		811700
	0312	01	01	01	519560	1350440	0		1870000
	0312	01	01	01	460480	704000	0		1164480
	0312	01	01	01	1278830	369220	0		1648050
1555	0312	01	01	01	165000	387840	0		552840
	0312	00		01	371160	0	0		371160
	0312	01	01	01	165000	613660	0		778660
	0312	01	01	01	350750	416320	0		767070
	0312	95		01	26980	0	0		26980
	0312	95		01	1958620	0	0		1958620

LY_SOHL	LY_SOHB	PREV_SOH	NEW_SOH	NEW_SB	SCHHE1_AMOU	HE2_AMOU	WVD_AMO	EXEMPTION
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0	0	1142550	1142550	1142550	25000	25000	0	0
0	0	2814330	2814330	2814330	25000	25000	0	0
0	0	1288440	1288440	1288440	25000	25000	0	0
0	0	452580	452580	452580	25000	25000	0	0
0	0	1459710	1459710	1459710	25000	25000	0	0
0	0	486900	486900	486900	25000	25000	0	0
0	0	993430	993430	993430	25000	25000	0	0
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0	0	1431180	1431180	1431180	25000	25000	0	0
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0	0	562820	562820	562820	25000	25000	0	0
0	0	1870000	1870000	1870000	0	0	0	0
0	0	1008040	1008040	1008040	25000	25000	0	0
0	0	1103140	1648050	1648050	0	0	0	0
0	0	537070	552840	552840	0	0	0	0
0	0	371160	371160	371160	0	0	0	0
0	0	377200	377200	377200	25000	25000	0	0
0	0	767070	767070	767070	0	0	0	0
0	0	26980	26980	26980	0	0	0	0
0	0	1958620	1958620	1958620	0	0	0	0

COUNTY_M	SCHOOL_M	CITY_MEX_	INDEP_MEX	COUNTY_TA	SCHOOL_TA	CITY_TAXAE	INDEP_TAX	HE_LY	FME_M
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0	0	0	0	1238440	1263440	1238440	1238440	1/1	1/1
0	0	0	0	402580	427580	402580	402580	1/1	1/1
0	0	0	0	1409710	1434710	1409710	1409710	100	100
0	0	0	0	436900	461900	436900	436900	1/1	1/1
0	0	0	0	943430	968430	943430	943430	100	100
0	0	0	0	609460	634460	609460	609460	1/1	1/1
0	0	0	0	759570	784570	759570	759570	1/1	1/1
0	0	0	0	482010	507010	482010	482010	1/1	1/1
0	0	0	0	1128340	1153340	1128340	1128340	100	100
0	0	0	0	1030080	1055080	1030080	1030080	100	100
0	0	0	0	1381180	1406180	1381180	1381180	100	100
0	0	0	0	516790	541790	516790	516790	100	100
0	0	0	0	512820	537820	512820	512820	100	100
0	0	0	0	1870000	1870000	1870000	1870000		
0	0	0	0	958040	983040	958040	958040	100	100
0	0	0	0	1648050	1648050	1648050	1648050		1/1
0	0	0	0	552840	552840	552840	552840		
0	0	0	0	371160	371160	371160	371160		
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0	0	0	0	767070	767070	767070	767070		
26980	26980	26980	26980	0	0	0	0		100
1958620	1958620	1958620	1958620	0	0	0	0		100

EXISO CO FID DEL_VALUE ADD_VALUI LI G GARBAGE_/ FIR FI FIRE_ASSES SAI SAFE_NEI_1 DR DRAINAGE_1 IM

14	13	Y	0	0	0 03 X	1	0	0.00	
	17	17	Y	0	0	0 03 R	1	0	0.00
	09	09	Y	0	0	0 03 R	1	0	0.00
	04	08	Y	0	0	0 03 R	1	0	0.00
	94	08	Y	0	0	0 03 R	1	0	0.00
	16	16	Y	0	0	0 03 R	1	0	0.00
	94	08	Y	0	0	0 03 R	1	0	0.00
	14	14	Y	0	0	0 03 R	1	0	0.00
	98	08	Y	0	0	0 03 R	1	0	0.00
	94	08	Y	0	0	0 03 R	1	0	0.00
	94	08	Y	0	0	0 03 R	1	0	0.00
	08	08	Y	0	0	0 03 R	1	0	0.00
	07	08	Y	0	0	0 03 R	1	0	0.00
	13	13	Y	0	0	0 03 R	1	0	0.00
	15	15	Y	0	0	0 03 R	1	0	0.00
	14	14	Y	0	0	0 03 R	1	0	0.00
	19	O	Y	0	0	0 03 R	1	0	0.00
	14	14	Y	0	0	0 03 R	1	0	0.00
	20	Y	0	0	0 03 R	1	0	0.00	
	18	Y	0	0	0 03 R	1	0	0.00	
	16	Y	0	0	0 03 L	1	0	0.00	
	04	08	Y	0	0	0 03 R	1	0	0.00
	08	Y	0	0	0 03 R	1	0	0.00	
14	13	Y	0	0	0 03 X	1	0	0.00	
13	14	Y	0	0	0 03 X	1	0	0.00	

IMPROVEM_	SALE_DATE_	DEE STAMP_	AMC BOOK_1	PAGE_1
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0.00	10/3/2011	WD	0.70	48245.0000000000
0.00	9/9/2003	WD	11375.00	36269.0000000000
0.00	8/14/2018	WD	0.70	0.0000000000
0.00	10/18/2018	WD	0.70	0.0000000000
0.00	6/18/2002	QCD	0.70	33490.0000000000
0.00	2/26/2013	WD	7000.00	49701.0000000000
0.00	5/30/1997	WD	3904.60	26494.0000000000
0.00	10/1/1983	WD	1125.00	11216.0000000000
0.00	11/1/1977	WD	450.00	7279.0000000000
0.00	1/31/2005	WD	8796.90	38982.0000000000
0.00	8/2/2017	QCD	0.70	0.0000000000
0.00	9/3/2002	WD	7700.00	33737.0000000000
0.00	3/18/2003	DRR	0.00	34765.0000000000
0.00	1/14/2015	DRR	0.70	0.0000000000
0.00	12/27/2018	WD	14875.00	0.0000000000
0.00	6/6/2012	WD	7700.00	48839.0000000000
0.00	10/30/2019	WD	13909.00	0.0000000000
0.00	3/7/2017	WD	3675.00	0.0000000000
0.00	4/10/2015	WD	7630.00	0.0000000000
0.00	12/21/2010	QCD	2161.60	47602.0000000000
0.00	3/10/2004	WD	4725.00	37082.0000000000
0.00			0.00	0.0000000000
0.00			0.00	0.0000000000

SALE_DATE1	DEED_TYPE1	STAMP_AM_1	BOOK_2	PAGE_2
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10/31/2000	QCD	0.70	31342.0000000000	1200.0000000000
1/19/2006	WD	14000.00	41328.0000000000	1692.0000000000
10/3/1996	WD	2747.50	25474.0000000000	69.0000000000
1/1/1981	WD	396.80	9376.0000000000	992.0000000000
10/25/2015	WD	11900.00	0.0000000000	0.0000000000
4/1/1975	WD	300.00	6174.0000000000	341.0000000000
4/1/1989	WD	2084.50	16388.0000000000	128.0000000000
2/1/1977	WD	240.00	6920.0000000000	984.0000000000
3/1/1977	WD	435.00	0.0000000000	0.0000000000
		0.00	0.0000000000	0.0000000000
5/24/2004	WD	8750.00	37725.0000000000	473.0000000000
10/18/2006	TD	14000.00	42990.0000000000	375.0000000000
6/2/2000	WD	10850.00	30547.0000000000	1569.0000000000
2/27/2003	WD	2905.00	34681.0000000000	1812.0000000000
9/16/2013	WD	4200.00	50207.0000000000	1465.0000000000
3/8/2012	WD	0.70	48622.0000000000	1579.0000000000
5/25/1996	QCD	350.00	25249.0000000000	539.0000000000
8/9/2002	WD	3136.00	33711.0000000000	10.0000000000
6/28/2000	WD	1946.00	30654.0000000000	794.0000000000
6/6/2013	WD	1156.40	49972.0000000000	1638.0000000000
12/21/2010	QCD	0.70	47606.0000000000	1448.0000000000
9/30/2003	WD	4480.00	36165.0000000000	1631.0000000000
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		0.00	0.0000000000	0.0000000000

SALE_DAT_1	DEE STAMP_AM_	BOOK_3	PAGE_3	SALE_DAT_2	DEED_TY
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1/9/1997 QCD	0.70	25982.0000000000	855.0000000000	3/14/2016 OSA	
11/24/1997 WD	3955.00	27358.0000000000	512.0000000000	12/1/1968 WD	
6/1/1993 QCD	0.70	20783.0000000000	308.0000000000	6/1/1987 QCD	
12/1/1974 WD	225.00	0.0000000000	0.0000000000		
2/12/2007 WD	9975.00	43627.0000000000	827.0000000000	4/12/2000 WD	
	0.00	0.0000000000	0.0000000000		
12/1/1988 WD	605.00	0.0000000000	0.0000000000	9/1/1984 WD	
	0.00	0.0000000000	0.0000000000		
3/1/1972 WD	225.00	0.0000000000	0.0000000000	1/1/1970 WD	
	0.00	0.0000000000	0.0000000000		
5/5/2003 WD	7175.00	35138.0000000000	266.0000000000	4/18/1997 WD	
7/20/1999 SWI	0.70	29833.0000000000	1484.0000000000	3/1/1962 WD	
9/5/1997 SWI	0.70	27077.0000000000	495.0000000000	10/1/1993 WD	
6/26/2002 TD	0.70	33356.0000000000	874.0000000000	7/16/2001 WD	
4/9/2013 QCD	0.70	49705.0000000000	1809.0000000000	8/24/2004 WD	
6/8/2011 WD	8400.00	47987.0000000000	282.0000000000	5/1/1993 WD	
7/1/1971 WD	195.00	0.0000000000	0.0000000000	10/1/1968 WD	
5/1/1975 WD	420.00	6236.0000000000	205.0000000000	5/1/1975 WD	
6/1/1988 WD	945.45	15566.0000000000	30.0000000000	10/1/1980 WD	
1/23/1998 WD	2159.50	27637.0000000000	19.0000000000	7/1/1976 WD	
10/27/2003 WD	3640.00	36349.0000000000	149.0000000000	9/20/2001 WD	
2/11/2002 PRD	0.70	34566.0000000000	748.0000000000		
	0.00	0.0000000000	0.0000000000		
	0.00	0.0000000000	0.0000000000		

STAMP_AM_BOOK_4		PAGE_4	SALE_DAT_DEE	STAMP_AM_
0.00	0.0000000000	0.0000000000		0.00
0.00	0.0000000000	0.0000000000		0.00
195.00	6998.0000000000	162.0000000000		0.00
0.55	0.0000000000	0.0000000000	4/1/1978 WD	408.00
0.00	0.0000000000	0.0000000000		0.00
4060.00	30427.0000000000	909.0000000000		0.00
0.00	0.0000000000	0.0000000000		0.00
1845.00	0.0000000000	0.0000000000	4/1/1982 WD	1485.00
0.00	0.0000000000	0.0000000000		0.00
255.00	0.0000000000	0.0000000000		0.00
0.00	0.0000000000	0.0000000000		0.00
3850.00	26376.0000000000	563.0000000000	9/1/1989 WD	2172.50
100.00	7970.0000000000	788.0000000000		0.00
6212.50	21361.0000000000	296.0000000000	6/1/1992 WD	4650.00
2835.00	31878.0000000000	995.0000000000	6/1/1988 WD	1182.50
3640.00	38104.0000000000	657.0000000000	##### WD	2625.00
3850.00	20733.0000000000	445.0000000000	8/1/1979 WD	1155.00
129.90	0.0000000000	0.0000000000		0.00
420.00	0.0000000000	0.0000000000		0.00
644.00	0.0000000000	0.0000000000	6/1/1969 WD	112.50
330.00	6647.0000000000	808.0000000000	7/1/1972 WD	150.90
2625.00	32255.0000000000	981.0000000000		0.00
0.00	0.0000000000	0.0000000000		0.00
0.00	0.0000000000	0.0000000000		0.00
0.00	0.0000000000	0.0000000000		0.00

BOOK_5	PAGE_5	LAND_CALC_	LAND_CALC1	LAI	LAND_CAL_2
0.0000000000	0.0000000000	0.51	454683.00	SF	0.00
0.0000000000	0.0000000000	81.00	10670.00	SF	0.00
0.0000000000	0.0000000000	81.00	14865.00	SF	0.00
0.0000000000	0.0000000000	37.80	15825.00	SF	0.00
0.0000000000	0.0000000000	54.00	12510.00	SF	0.00
0.0000000000	0.0000000000	54.00	10550.00	SF	0.00
0.0000000000	0.0000000000	37.80	11000.00	SF	0.00
0.0000000000	0.0000000000	37.80	19999.00	SF	0.00
0.0000000000	0.0000000000	37.80	11431.00	SF	0.00
0.0000000000	0.0000000000	54.00	12510.00	SF	0.00
0.0000000000	0.0000000000	54.00	12510.00	SF	0.00
16747.0000000000	173.0000000000	54.00	11989.00	SF	0.00
0.0000000000	0.0000000000	81.00	10000.00	SF	1.01
0.0000000000	0.0000000000	81.00	10820.00	SF	0.00
15493.0000000000	522.0000000000	20.00	8116.00	SF	0.00
33279.0000000000	1413.0000000000	20.00	8116.00	SF	0.00
0.0000000000	0.0000000000	37.80	13745.00	SF	0.00
0.0000000000	0.0000000000	37.80	12182.00	SF	0.00
0.0000000000	0.0000000000	81.00	15788.00	SF	0.00
0.0000000000	0.0000000000	20.00	8250.00	SF	0.00
0.0000000000	0.0000000000	40.00	9279.00	SF	0.00
0.0000000000	0.0000000000	20.00	8250.00	SF	0.00
0.0000000000	0.0000000000	37.80	9279.00	SF	0.00
0.0000000000	0.0000000000	0.10	269821.00	SF	0.00
0.0000000000	0.0000000000	0.10	19586188.00	SF	0.00

LAND_CAL_3	LAI	LAND_CAL_5	LAND_CAL_6	LAI	LAND_CAL_8	LAND_CAL_9	LAI	SITUS_S	SITUS_S	SIT	SIT
0.00		0.00		0.00		0.00					NE
0.00		0.00		0.00		0.00		3012			NE
0.00		0.00		0.00		0.00		3018			NE
0.00		0.00		0.00		0.00		3108			NE
0.00		0.00		0.00		0.00		3030			NE
0.00		0.00		0.00		0.00		3024			NE
0.00		0.00		0.00		0.00		2119			NE
0.00		0.00		0.00		0.00		2101			NE
0.00		0.00		0.00		0.00		3107			NE
0.00		0.00		0.00		0.00		3101			NE
0.00		0.00		0.00		0.00		3031			NE
0.00		0.00		0.00		0.00		3025			NE
2478.00	SF	0.00		0.00		0.00		3019			NE
0.00		0.00		0.00		0.00		3012			NE
0.00		0.00		0.00		0.00		3114			NE
0.00		0.00		0.00		0.00		3100			NE
0.00		0.00		0.00		0.00		2035			NE
0.00		0.00		0.00		0.00		3024			NE
0.00		0.00		0.00		0.00		3018			NE
0.00		0.00		0.00		0.00		2030			NE
0.00		0.00		0.00		0.00		2029			NE
0.00		0.00		0.00		0.00		2022			NE
0.00		0.00		0.00		0.00		2019			NE
0.00		0.00		0.00		0.00					NE
0.00		0.00		0.00		0.00					

SITUS_ST_4	SITUS	SITUS_ZIP_	SITUS_LAST_YRS_J	LAST_YRS_1	LAST_YRS_2
32	AVE FL	33311	231890	0	0
22	ST FL	33305	864270	278280	0
22	ST FL	33305	1204070	1974980	0
22	ST FL	33305	598190	1081800	0
22	ST FL	333051826	675540	838600	0
22	ST FL	333051826	569700	1131320	0
32	AVE FL	333051854	415800	551550	0
32	AVE FL	333051854	755960	608800	0
21	ST FL	333051810	432090	817170	0
21	ST FL	333051810	675540	1344160	0
21	ST FL	333051809	675540	993930	0
21	ST FL	33305	647410	1199490	0
21	ST FL	333051809	812500	381980	0
21	ST FL	333051809	876420	609230	0
21	ST FL	33305	162320	543500	0
21	ST FL	333051811	162320	649380	0
31	AVE FL	333051877	519560	1350440	0
21	ST FL	33305	460480	704000	0
21	ST FL	33305	1278830	369220	0
31	AVE FL	33306	165000	387840	0
31	AVE FL	333051877	371160	0	0
31	AVE FL	33305	165000	613660	0
31	AVE FL	33305	350750	416320	0
31	AVE FL	33311	26980	0	0
STATE ROAD A1A	FL	33316	1958620	0	0

LAST_YRS_T	LAST_YRS_A	LAST_YRS_S	TWO_YRS_T	TWO_YRS_A	TWO_YRS_S	TWO_YRS_T	TWO_YRS_A	TWO_YRS_S
0	0	231890	231890	0	0	0	0	231890
1092550	2078419	1142550	864270	264860	0	1079130	2000714	1129130
2764330	5185373	2814330	1204070	1881850	0	2711860	4964851	2761860
1238440	2349554	1288440	598190	1230090	0	1214420	2246325	1264420
402580	796131	452580	675540	798500	0	394150	757167	444150
1409710	2667852	1459710	569700	862800	0	1382500	2551466	1432500
436900	859914	486900	415800	626870	0	427830	818312	477830
943430	1801285	993430	755960	691990	0	924910	1720735	974910
609460	1180612	659460	432090	931430	0	597170	1125740	647170
759570	1459585	809570	675540	1283020	0	744480	1393174	794480
482010	943749	532010	675540	902840	0	472100	898681	522100
1128340	2144935	1178340	647410	1137630	0	1106370	2050166	1156370
1030080	1962321	1080080	812500	362820	0	1009950	1875121	1059950
1381180	2614829	1431180	876420	575980	0	1354500	2500635	1404500
516790	1008387	566790	162320	452790	0	506230	960642	556230
512820	1001009	562820	162320	540980	0	502330	953564	552330
1870000	3506438	1870000	519560	1188020	0	1273020	2352712	1323020
958040	1828437	1008040	460480	799710	0	939250	1746769	989250
1053140	2005177	1103140	1278830	351500	0	1032580	1916205	1082580
537070	1039856	537070	165000	323250	0	488250	911994	488250
371160	689791	371160	350750	0	0	350750	636770	350750
327200	656039	377200	165000	508050	0	320170	622861	370170
767070	1456677	767070	350750	472970	0	821810	1518778	821810
0	0	26980	26980	0	0	0	0	26980
0	0	1958620	1958620	0	0	0	0	1958620

BLDG_ADJ_S	BLDG_TOT_S	BLDG_UNIT	BLDG	BLD	B	BLDG	BLD	H	NCU_LAND	NCU_BLDG	NCULY	PA_DATE	
0	0	0	0	0		0		N	0	0	1/1	1/1	0
2625	3092	1	1956	003	2	1	001	N	0	0	1/1	1/1	101009
8169	10364	1	2009	005	2	1	001	N	0	0	1/1	1/1	101009
4753	5314	1	2000	004	2	1	001	N	0	0	1/1	1/1	101009
2100	2822	1	1954	003	2	1	001	N	0	0	1/1	1/1	101009
2670	3155	1	1956	003	2	1	001	N	0	0	1/1	1/1	101009
2624	3425	1	1964	003	2	1	001	N	0	0	1/1	1/1	101009
3521	3992	1	1958	003	2	1	001	N	0	0	1/1	1/1	101009
3879	4108	1	1978	003	2	1	001	N	0	0	1/1	1/1	101009
4118	3761	1	1967	003	2	1	001	N	0	0	1/1	1/1	101009
3701	4576	1	1956	003	2	1	001	N	0	0	1/1	1/1	101009
3728	4118	1	2000	004	2	2	001	N	0	0	1/1	1/1	101101
2902	3160	1	1955	003	2	1	001	N	0	0	1/1	1/1	101009
5038	5535	1	1991	003	2	1	001	N	0	0	1/1	1/1	101009
2259	2572	1	1975	003	2	1	001	N	0	0	1/1	1/1	101209
2082	2341	1	1953	003	2	1	001	N	0	0	1/1	1/1	101009
5607	6540	1	1969	003	2	1	001	N	0	0	1/1	1/1	110106
3860	4857	1	1966	003	2	1	001	N	0	0	1/1	1/1	101009
3676	4507	1	1954	003	2	2	001	N	0	0	1/1	1/1	101009
1915	2201	1	1962	003	2	1	001	N	0	0	1/1	1/1	101009
0	0	0	0	003	2	0	001	N	0	0	1/1	1/1	101009
2264	2752	1	1975	003	2	1	001	N	0	0	1/1	1/1	110114
2053	2454	1	1957	003	2	1	001	N	0	0	1/1	1/1	101009
0	0	0	0			0		N	0	0	1/1	1/1	0
0	0	0	0			0		N	0	0	1/1	1/1	0

PORT_PFOI

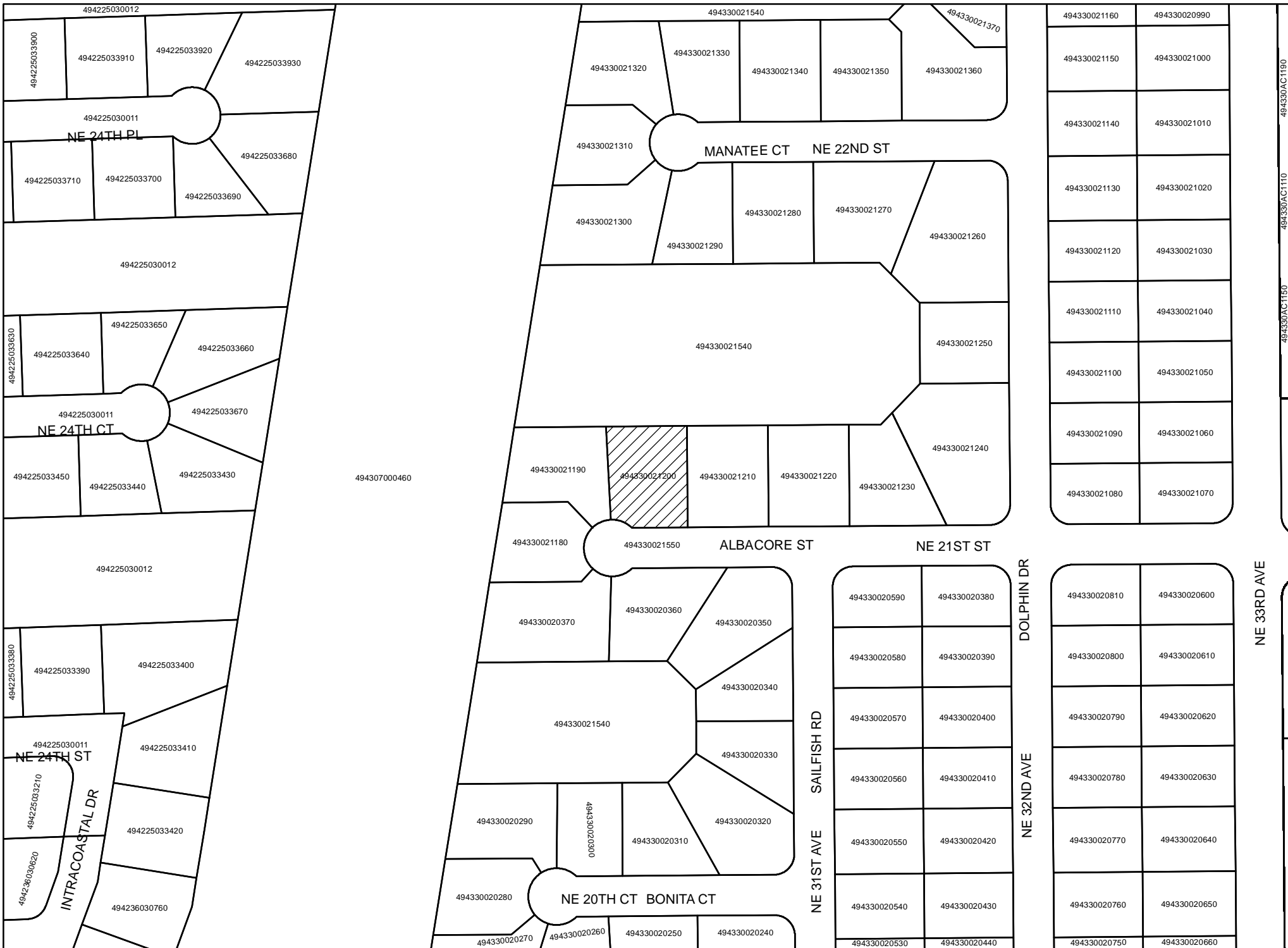
PORT	PORT_INTEI	S/	S/	S/	S/	S/	S/	S/	S/	PRELIM_JU	PI	GIS_SQUAR	ACTU	LAST_
	0									0		454683		0717
	0									0		10670	1955	0519
10878										0		14865	2008	0519
	0									0		15825	1978	0519
	0									0		12510	1954	0519
	0									0		10550	1955	0519
	0									0		11000	1963	0419
33807										0		19999	1957	0419
	0									0		11431	1953	0419
	0									0		12510	1966	0419
	0									0		12510	1960	0419
498										0		11989	1953	0419
	0									0		12478	1954	0419
	0									0		10820	1990	0419
	0									0		8116	1955	0519
	0									0		8116	1952	0519
	0									0		13745	1968	0419
	0									0		12182	1965	0419
	0									0		15788	1953	0419
	0									0		8250	1961	0519
	0									0		9279		1019
	0									0		8250	1974	0519
	0									0		9279	1956	0419
	0									0		269821		0418
	0									0		19586192		0418

OV	CENSUS_BLO	SA	SA	SA	SA	SA	PA	FL	LA	MI	MISC_DIST	NCU_LAND	NCU_BLDG	BEDS	BATH	
	120110405022									75		0	0	0	0.0	0.0
	120110405022	01		11				H03	03			0	0	0	2.0	3.0
	120110405022	11						H03	04			0	0	0	0.0	0.0
FL	120110405022							H03	11			0	0	0	0.0	0.0
FL	120110405022	11						H03	08			0	0	0	3.0	2.0
FL	120110405022	11	01					H03	08			0	0	0	3.0	3.0
FL	120110405022							H03	11			0	0	0	0.0	0.0
FL	120110405022	01						H03	11			0	0	0	4.0	3.0
FL	120110405022							H03	11			0	0	0	4.0	2.0
FL	120110405022							H03	08			0	0	0	0.0	0.0
FL	120110405022							H03	08			0	0	0	4.0	3.0
FL	120110405022							H03	08			0	0	0	0.0	0.0
FL	120110405022	11						H03	04			0	0	0	3.0	2.0
	120110405022							H03	03			0	0	0	4.0	3.0
FL	120110405022							H03	21			0	0	0	3.0	2.0
FL	120110405022	11	01	11				H03	21			0	0	0	2.0	2.0
FL	120110405022	01	11	01				H03	11			0	0	0	3.0	4.0
FL	120110405022	01						H03	11			0	0	0	3.0	4.0
FL	120110405022	01						H03	04			0	0	0	0.0	0.0
FL	120110405022	01						H03	21			0	0	0	3.0	2.0
FL	120110405022	01	30					H03	11			0	0	0	3.0	2.0
FL	120110405022	30	11					H03	21			0	0	0	3.0	2.0
	120110405022							H03	11			0	0	0	3.0	2.0
	120110405022								75			0	0	0	0.0	0.0
	120110406012								75			0	0	0	0.0	0.0

LY_NCU_LA	LY_NCU_BL	LY_SB_SOH_CBROW	LYCBROW	GRANNY_FL	CRA	DAMA ST	(STORM_ASSI	CLI
0	0	231890	0	0	0			0.00
0	0	1142550	0	0	0			0.00
0	0	2814330	0	0	0			0.00
0	0	1288440	0	0	0			0.00
0	0	452580	0	0	0			0.00
0	0	1459710	0	0	0			0.00
0	0	486900	0	0	0			0.00
0	0	993430	0	0	0			0.00
0	0	659460	0	0	0			0.00
0	0	809570	0	0	0			0.00
0	0	532010	0	0	0			0.00
0	0	1178340	0	0	0			0.00
0	0	1080080	0	0	0			0.00
0	0	1431180	0	0	0			0.00
0	0	566790	0	0	0			0.00
0	0	562820	0	0	0			0.00
0	0	1870000	0	0	0			0.00
0	0	1008040	0	0	0			0.00
0	0	1103140	0	0	0			0.00
0	0	552840	0	0	0			0.00
0	0	371160	0	0	0			0.00
0	0	377200	0	0	0			0.00
0	0	767070	0	0	0			0.00
0	0	26980	0	0	0			0.00
0	0	1958620	0	0	0			0.00

CLEAN_ASSE	EXI	COMB_SPI	GRANNY_F_WB	SALE1_CIN	SALE2_CIN
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	#####	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	#####	0.0000000000
0.00			0 1 0	#####	#####
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	#####	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	#####	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	#####	#####
0.00			0 0 0	#####	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	#####	0.0000000000
0.00			0 0 0	#####	0.0000000000
0.00			0 0 0	#####	#####
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000
0.00			0 0 0	0.0000000000	0.0000000000

CITY_AH_AI	INDEP_AH_TIP	PORBLDG_UNDER	HE3_AMOU	SCHOOL_EXE
0	0	0	0	0
0	0	2258	0	0
0	0	8226	0	0
0	0	4393	0	0
0	0	1696	0	0
0	0	2537	0	0
0	0	2010	0	0
0	0	3353	0	0
0	0	3642	0	0
0	0	3125	0	0
0	0	3034	0	0
0	0	3599	0	0
0	0	2644	0	0
0	0	4822	0	0
0	0	2018	0	0
0	0	2316	0	0
0	0	5596	0	0
0	0	3647	0	0
0	0	3606	0	0
0	0	1844	0	0
0	0	0	0	0
0	0	1869	0	0
0	0	1754	0	0
0	0	0	0	0
0	0	0	0	0



4943300AC1190

4943300AC1150

NE 33RD AVE

150 75 0 150 Feet

MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



3025 NE 21st ST





CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENTS MEETING
DATE: FEBRUARY 12, 2020 TIME: 6:30 PM CASE: PLN-BOA-19110005
Section 47-5.31. - Table of dimensional requirements for the RS-8 district.

Requesting a variance from the 25 feet minimum front yard requirement to allow the construction of a new carport with a front yard of 17.88 feet, a total variance request of 7.12 feet.

LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE

INFORMATION: CONTACT (954) 828-6506
<http://www.fortlauderdale.gov>





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LOCATION: CITY COMMISSION CHAMBERS
CITY HALL 100 N ANDREWS AVENUE

