



BOARD OF ADJUSTMENT VIRTUAL MEETING NOTICE: BOARD OF ADJUSTMENT

August 28, 2020

A Public Hearing will be held before the Board of Adjustment on: Wednesday, September 9, 2020 at 6:30 P.M.

This meeting will be held virtually, to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA.

CASE: PLN-BOA-20050003
OWNER: CHRISTINE BRENNEN
AGENT: JEROME SHRIVER GELIN
ADDRESS: 1824 NW 24 TER., FORT LAUDERDALE, FL. 33311
LEGAL DESCRIPTION: LAUDERDALE MANOR HOMESITES 34-21 B LOT 3 BLK 4
ZONING: RS-8
COMMISSION DISTRICT: 3
REQUESTING: **Sec. 47-5.31 -Table of dimensional requirements for the RS-8 district**

Requesting a variance from the 15 feet minimum rear yard requirement of Section 47-5.31 Table of Dimensional Requirements to allow a new structure to remain at a rear yard setback of 14 feet, a total maximum variance request of 1 feet.

The virtual meeting will be accessible through the City's local government access channel FLTV at: www.fortlauderdale.gov/FLTV.

Should you desire to speak on this item, please fill out the speaker form available at this link on the City's website: www.fortlauderdale.gov/government/BOA.

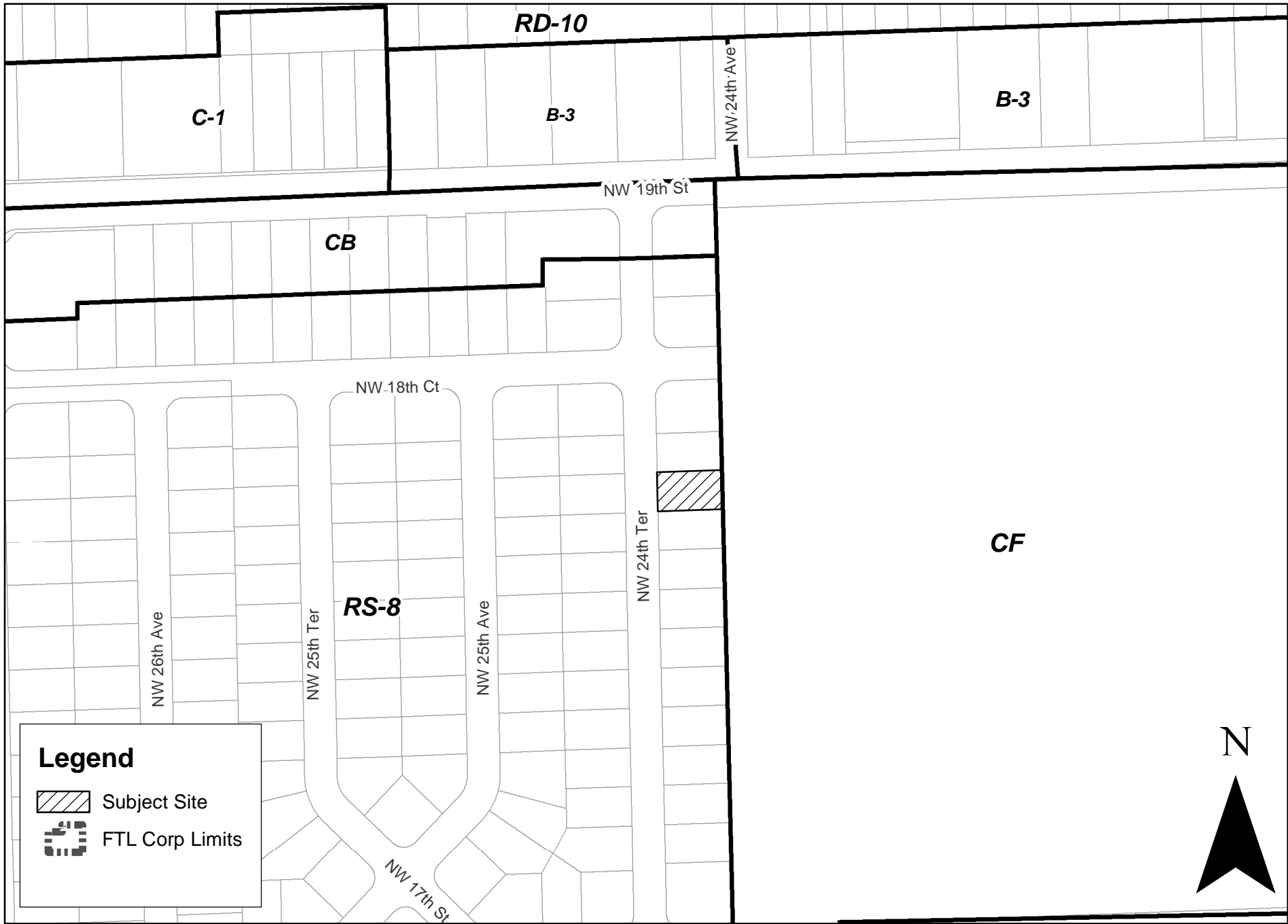
You may also email comments to: Chakila Crawford-Williams regarding Case: **PLN-BOA- 20050003**
Send email to: chcrawfordl@fortlauderdale.gov.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

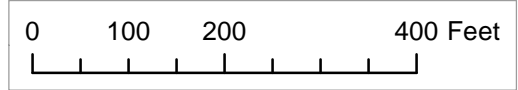
NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.





PLN-BOA-20050003

Path: J:\DSD\DRCLocationMaps_16_RM\ArcMap\BOA20200909\PLN-BOA-20050003Map.mxd



Graphic Scale



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT VIRTUAL MEETING

DATE: SEPTEMBER 9, 2020

TIME: 6:30 P.M.

CASE: PLN-BOA-20050003

Request: Sec. 47-5.31 -Table of dimensional requirements for the RS-8 district

Requesting a variance from the 15 feet minimum rear yard requirement of Section 47-5.31 Table of Dimensional Requirements to allow a new structure to remain at a rear yard setback of 14 feet, a total maximum variance request of 1 feet.

VIRTUAL MEETING INSTRUCTIONS:


Visit www.fortlauderdale.gov/fltv to watch and listen to the meeting.

Visit <https://www.fortlauderdale.gov/government/BOA> to sign up to speak.



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment. In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



 CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT VIRTUAL MEETING
DATE: SEPTEMBER 9, 2020 TIME: 6:30 P.M. CASE: PLN-BOA-20050003

Request: Sec. 47-5.31 - Table of dimensional requirements for the RS-8 district
Requesting a variance from the 15 feet minimum rear yard requirement of
Section 47-5.31 Table of Dimensional Requirements to allow a new structure
to remain at a rear yard setback of 14 feet, a total maximum variance
request of 1 foot.

VIRTUAL MEETING INSTRUCTIONS:
Call the City of Fort Lauderdale gov'ts to watch and listen to
the meeting.



Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use. Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA
BROWARD COUNTY
BOA CASE NO. PLN-POA-20050003

APPLICANT: Christina Brennen Taylor
PROPERTY: 1824 Nw 24th Terrace Ft. Lauderdale, FL 33311

PUBLIC HEARING DATE: 9-8-20

BEFORE ME, the undersigned authority, personally appeared Christina Brennen Taylor who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission. Should the application be continued, deferred or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the City's Urban Design & Development **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. CBT (initial here)

Christina Brennen Taylor
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 28 day of August 2020

(SEAL)



NOTARY PUBLIC
MY COMMISSION EXPIRES:



Dacie Destinoble
Commission # GG096636
Expires: April 23, 2021
Bonded thru Aaron Notary



SUSTAINABLE DEVELOPMENT – URBAN DESIGN & PLANNING

BOARD OF ADJUSTMENT (BOA) APPLICATION

Rev: 1 | Revision Date: 7/25/2019 | Print Date: 7/25/2019
I.D. Number: Z&L-BOA

BOARD OF ADJUSTMENT (BOA) Application

- Cover:** Deadline, Notes, and Fees
- Page 1:** Applicant Information Sheet
- Page 2:** Variance Request Criteria
- Page 3:** Required Documentation & Mail Notice Requirements
- Page 4:** Sign Notice Requirements & Affidavit
- Page 5:** Technical Specifications

DEADLINE: Submittals must be received prior to 4:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if plans do not meet the submittal requirements and if changes are required.

NOTES: Prior to formal submittal of applications, applicants are encouraged to schedule an appointment with Urban Design & Planning Division staff to obtain feedback regarding proposals. The meetings provide an opportunity for applicants to obtain feedback and general direction, prior to expending significant effort on preparation of submittal documents.

FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

| | | |
|-------------------------------------|--|------------------|
| <input type="checkbox"/> | Variance / Interpretation: Before | \$ 480.00 |
| <input checked="" type="checkbox"/> | Variance / Interpretation: After | \$ 600.00 |
| <input type="checkbox"/> | Parking Variance (per space) | \$ 530.00 |
| <input type="checkbox"/> | Request for Continuance | \$ 190.00 |
| <input type="checkbox"/> | Rehearing before the Board | \$ 70.00 |
| <input type="checkbox"/> | Request for Rehearing | \$ 240.00 |

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

| | |
|-----------------------------------|------------------|
| Case Number | PLN-BOA-20050003 |
| Date of complete submittal | |

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

| | |
|-----------------------------------|--|
| Property Owner's Name | Christina Brennen Taylor |
| Property Owner's Signature | <i>Christina Brennen Taylor</i> |
| Address, City, State, Zip | 1824 NW 24th Terrace, Fort Lauderdale, Florida 33311 |
| E-mail Address | sportina@aol.com |
| Phone Number | 954-593-3735 |
| Proof of Ownership | <input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record |

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

| | |
|--------------------------------------|--------------------------------------|
| Applicant / Agent's Name | Jerome Shriver Gelin |
| Applicant / Agent's Signature | <i>Jerome S. Gelin</i> |
| Address, City, State, Zip | 6919 W. Broward Boulevard, Suite 259 |
| E-mail Address | jsgelin@aecdcsignconsultants.com |
| Phone Number | 786-664-8574 |
| Letter of Consent Submitted | Yes |

| | | | |
|---|---|------------------------------|------------------------------|
| Development / Project Name | Brennen Residence Renovation & Addition | | |
| Existing / New | <input type="checkbox"/> Existing | <input type="checkbox"/> New | <input type="checkbox"/> Yes |
| Project Address | Address: 1824 NW 24th Terrace, Fort Lauderdale, Florida 33311 | | |
| Legal Description | LOT 3, BLOCK 4 LAUDERDALE MANOR HOMESITES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 21, OF PUBLIC RECORDS OF BROWARD COUNTY | | |
| Tax ID Folio Numbers (For all parcels in development) | 4942 32 12 0580 | | |
| Request / Description of Project | Residence Addition w/ Interior Renovation | | |
| Applicable ULDR Sections | Sec. 47-5.31 | | |

| | |
|-------------------------------------|---|
| Current Land Use Designation | 01 - Single Family |
| Current Zoning Designation | RS-8 |
| Current Use of Property | Residential Single Family |
| Site Adjacent to Waterway | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

| Setbacks (indicate direction N,S,E,W) | Required | Proposed |
|---------------------------------------|----------|----------|
| Front <input type="checkbox"/> | 25'-0" | 33'-9" |
| Side <input type="checkbox"/> | 5'-0" | 7'-7" |
| Side <input type="checkbox"/> | 5'-0" | 16'-5" |
| Rear <input type="checkbox"/> | 15'-0" | 14'-0" |

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

This page must be filled in. An attached narrative may be included if additional space is required.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

We request a variance for Sec. 47-5.31 that will allow for the reduction of the setback from 15'-0" to 14'-2".

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12.A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

Constructed wall has exceeded the setback distance.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

Use of property as designed and approved will allow for full function of the said property.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

Sec.47-5.31 literal application will allow for full use of property within the site limitations.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

No.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

As stated, the variance will allow for a reasonable use of property to the benefit of the property owner,

AFFIDAVIT: I, Christina Bronn Taylor the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Christina Bronn Taylor
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 9 day of July, 2020

(SEAL)

LaSonja R. Murray
NOTARY PUBLIC



LaSonja R. Murray
COMMISSION # GG232795
EXPIRES: July 16, 2022
Bonded Thru Aaron Notary
MY COMMISSION EXPIRES:

Page 3: Required Documentation & Mail Notice Requirements

One (1) original set, signed and sealed, with plans at 24" x 36"

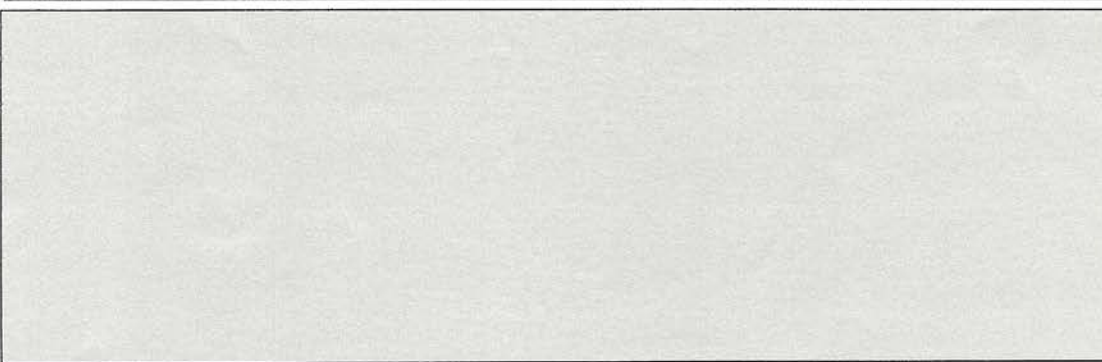
One (1) electronic version (CD or USB) of complete application and plans in PDF format

Fourteen (14) copy sets of each item below and plans at half-size scale 11" x 17"

- Completed application** (all pages must be filled out where applicable)
- Mail notification documents** (mail notification instructions at bottom of page)
- Proof of ownership** (warranty deed or tax record), including corporation documents if applicable
- Property owners notarized signature** and/or notarized agent letter signed by the property owner (if applicable).
- Color photographs** of the entire property and all surrounding properties, dated and labeled and identified as to orientation.
- Narrative** describing specific request and outlining ULDR sections that are applicable. Narratives must be on letterhead, dated, and with author indicated.
- Cover sheet** on plan set to state project name and table of contents.
- Current survey(s)** of property, signed and sealed, showing existing conditions; survey must be As-Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of lands not included in the proposed project unless specifically requested by the City. If the survey is not signed and sealed, a zoning affidavit is required and shall only be used for the structures listed in the affidavit.
- Aerial photo** indicating all properties within 700 ft. of the subject property. Must be clear and current with site highlighted.
- Site Plan (a survey may be substituted if the requested variance is clearly indicated)**
 - Landscape Plan (if applicable)**
 - Elevations (if applicable)**
 - Additional plan details as needed**

Note: All copy sets must be clear and legible.

Note: Plans must be folded to 8 ½" x 11". All non-plan documents should be 8 ½" x 11".



MAIL NOTIFICATION: Pursuant to Section 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- **MAIL NOTICE:** Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owners notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows:

City of Fort Lauderdale
Urban Design & Development
700 NW 19th Avenue, Fort Lauderdale, FL 33311.
 - **DISTRIBUTION:** The City of Fort Lauderdale, Urban Design & Development will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-20050003

APPLICANT: Christina Brennan Taylor

PROPERTY: 1824 NW 24th Terrace, Fort. Lauderdale, FL 33311

PUBLIC HEARING DATE: _____

BEFORE ME, the undersigned authority, personally appeared Christina Brennan Taylor, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the City's Urban Design & Development **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. CBT (initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 9th day of July, 2020

(SEAL)



LaSonja R. Murray
COMMISSION # GG232795
EXPIRES: July 16, 2022
Bonded Thru Aaron Notary

NOTARY PUBLIC
MY COMMISSION EXPIRES:

LaSonja R. Murray

Page 5: Technical Specifications

A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
 - Current use of property
 - Land Use designation
 - Zoning designation
 - Site area (sq. ft. and acres)
 - Setback table (required vs. provided)
 - Open space
8. Site Plan Features (graphically indicated)
 - Setbacks and building separations (dimensioned)
 - Project signage (if applicable)
 - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (ie. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage

PROPERTY SUMMARY

| | | |
|---|---|---|
| Tax Year: 2020 | Property Use: 01 - Single family | Deputy Appraiser: Lesly Hoo-Chong |
| Property Id: 494232120580 | Millage Code: 0312 | Contact Number: 954-357-6831 |
| Property Owner/s: BRENNEN,CHRISTINA | Adj. Bldg. S.F: 1336 | Email: realprop@bcpa.net |
| Mailing Address: 1824 NW 24 TER FORT LAUDERDALE, FL 33311-4520 | Bldg Under Air S.F: 1220 | Zoning : RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY |
| Physical Address: 1824 NW 24 TERRACE FORT LAUDERDALE, 33311-4520 | Effective Year: 1956 | Abbr. Legal Des.: LAUDERDALE MANOR HOMESITES 34-21 B LOT 3 BLK 4 |
| | Year Built: 1955 | |
| | Units/Beds/Baths: 1 / 3 / 2 | |

2020 values are considered "working values" and are subject to change.

PROPERTY ASSESSMENT

| Year | Land | Building / Improvement | Agricultural Saving | Just / Market Value | Assessed / SOH Value | Tax |
|------|----------|------------------------|---------------------|---------------------|----------------------|----------|
| 2020 | \$12,000 | \$139,430 | 0 | \$151,430 | \$59,420 | |
| 2019 | \$12,000 | \$121,220 | 0 | \$133,220 | \$58,090 | \$830.15 |
| 2018 | \$12,000 | \$93,330 | 0 | \$105,330 | \$57,010 | \$754.75 |

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

| | County | School Board | Municipal | Independent |
|--------------------|-----------|--------------|-----------|-------------|
| Just Value | \$151,430 | \$151,430 | \$151,430 | \$151,430 |
| Portability | 0 | 0 | 0 | 0 |
| Assessed / SOH 99 | \$59,420 | \$59,420 | \$59,420 | \$59,420 |
| Granny Flat | | | | |
| Homestead 100% | \$25,000 | \$25,000 | \$25,000 | \$25,000 |
| Add. Homestead | \$9,420 | \$9,420 | \$9,420 | \$9,420 |
| Wid/Vet/Dis | 0 | 0 | 0 | 0 |
| Senior | 0 | 0 | 0 | 0 |
| Exemption Type | 0 | 0 | 0 | 0 |
| Affordable Housing | 0 | 0 | 0 | 0 |
| Taxable | \$25,000 | \$34,420 | \$25,000 | \$25,000 |

SALES HISTORY FOR THIS PARCEL

| Date | Type | Price | Book/Page or Cin |
|------------|---------------|----------|------------------|
| 02/27/1998 | Warranty Deed | \$70,500 | 27810 / 846 |

LAND CALCULATIONS

| Unit Price | Units | Type |
|------------|------------|-------------|
| \$2.00 | 6,000 SqFt | Square Foot |

RECENT SALES IN THIS SUBDIVISION

| Property ID | Date | Type | Qualified/ Disqualified | Price | CIN | Property Address |
|--------------|------------|---------------|-------------------------|-----------|-----------|--|
| 494232122490 | 12/19/2019 | Warranty Deed | Qualified Sale | \$58,000 | 116245849 | NW 28 TER FORT LAUDERDALE, FL 33311 |
| 494232120490 | 11/26/2019 | Warranty Deed | Qualified Sale | \$315,000 | 116213379 | 2510 NW 19 ST FORT LAUDERDALE, FL 33311 |
| 494232120750 | 11/18/2019 | Warranty Deed | Qualified Sale | \$230,000 | 116215531 | 1771 NW 24 TER FORT LAUDERDALE, FL 33311 |
| 494232120770 | 09/06/2019 | Warranty Deed | Qualified Sale | \$260,000 | 116060043 | 1751 NW 24 TER FORT LAUDERDALE, FL 33311 |
| 494232122980 | 07/17/2019 | Warranty Deed | Qualified Sale | \$125,000 | 115949042 | 2450 NW 17 ST FORT LAUDERDALE, FL 33311 |

SPECIAL ASSESSMENTS

| Fire | Garb | Light | Drain | Impr | Safe | Storm | Clean | Misc |
|--|------|-------|-------|------|------|-------|-------|------|
| Ft Lauderdale Fire-rescue (03) Residential (R) 1 | | | | | | | | |

SCHOOL

Dillard Elementary: C
Dillard 6-12: C
Dillard High: C

ELECTED OFFICIALS

| Property Appraiser | County Comm. District | County Comm. Name | US House Rep. District | US House Rep. Name |
|-----------------------------|-------------------------|--------------------------|------------------------|---------------------|
| Marty Kiar | 9 | Dale V. C. Holness | 20 | Alcee L. Hastings |
| Florida House Rep. District | Florida House Rep. Name | Florida Senator District | Florida Senator Name | School Board Member |
| 94 | Bobby B DuBose | 33 | Perry E. Thurston, Jr. | Dr. Rosalind Osgood |

PROPERTY OWNER'S MAILING LIST

SYDNEY BROWN, & SUELAN A BROWN,
1880 NW 24 TER FORT LAUDERDALE, FL 33311-4520
Folio No. 494232120530

SYDNEY BROWN,
1870 NW 24 TER FORT LAUDERDALE, FL 33311
Folio No. 494232120540

AREMINTHA V EDWARDS,
1860 NW 24 TER FORT LAUDERDALE, FL 33311-4556
Folio No. 494232120550

ENID E LEWIN
1841 NW 24 TER FORT LAUDERDALE, FL 33311
Folio No. 494232120690

LUCIOUS & JOYCE B DANIELS,
1840 NW 24 TER FORT LAUDERDALE, FL 33311-4520
Folio No. 494232120560

LUCILLE DIXSON
1833 NW 24 TER FORT LAUDERDALE, FL 33311
Folio No. 494232120700

CHIQUITA TUFF
1832 NW 24 TER FORT LAUDERDALE, FL 33311-4520
Folio No. 494232120570

MICHAEL DIXSON & GAIL DIXSON
1825 NW 24 TER FORT LAUDERDALE, FL 33311
Folio No. 494232120710

LUCILLE DIXSON
1817 NW 24 TER FORT LAUDERDALE, FL 33311
Folio No. 494232120720

YOLO 21 LAND TR
1816 NW 24 TER FORT LAUDERDALE, FL 33311
Folio No. 494232120590

DARIUS B MELTON
1809 NW 24 TER FORT LAUDERDALE, FL 33311
Folio No. 494232120730

ALEJANDRA MONCADA ROSILLO
1808 NW 24 TER FORT LAUDERDALE, FL 33311
Folio No. 494232120600

TANYA M BOULOY
1801 NW 24 TER FORT LAUDERDALE, FL 33311
Folio No. 494232120740

MAJESTER THORNTON
1800 NW 24 TER FORT LAUDERDALE, FL 33311-4520
Folio No. 494232120610

AGNES C FOREMAN
1770 NW 24 TER FORT LAUDERDALE, FL 33311-4518
Folio No. 494232120620

MARY EST WILLIS,
1760 NW 24 TER FORT LAUDERDALE, FL 33311-4518
Folio No. 494232120630

H W BREEDLOVE
1840 NW 25 AVE FORT LAUDERDALE, FL 33311-4526
Folio No. 494232120960

CARTER, JOSEPH C EST
& CAMPBELL, LESLIE PERS REP
1832 NW 25 AVE FORT LAUDERDALE, FL 33311
Folio No. 494232120950

AMOS WALKER, ROSEWALKER,
TTA & MICAH WALKER
1824 NW 25 AVE FORT LAUDERDALE, FL 33311
Folio No. 494232120940

JONES, SELENA EST
1816 NW 25 AVE FORT LAUDERDALE, FL 33311
Folio No. 494232120930

LAI CHUN YEUNG
1808 NW 25 AVE FORT LAUDERDALE, FL 33311
Folio No. 494232120920

FIRST COMMERCE FINANCE LLC
1800 NW 25 AVE FORT LAUDERDALE, FL 33311
Folio No. 494232120910

SCHOOL BOARD OF BROWARD COUNTY
ATTN::FACILITY MANAGEMENT
600 SE 3 AVE FORT LAUDERDALE, FL 33301-3125
1701 NW 23RD AVE, FORT LAUDERDALE, FL 33311
Folio No. 494232220010



NW 19TH ST

NW 18TH CT

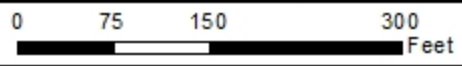
NW 26TH AVE

NW 25TH TER

NW 25TH AVE

NW 24TH TER

NW 24TH AVE



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



BRENNEN RESIDENCE
DATE OF PRINT: 07/10/2020

Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district. (Note A)

| Requirements | RS-8 | RS-8A |
|--------------------------|--|--|
| Maximum density | 8.0 du/net ac. | 8.0 du/net ac. |
| Minimum lot size | 6,000 sq. ft. | 6,000 sq. ft. |
| Maximum structure height | 35 ft. | 28 ft. |
| Maximum structure length | None | None |
| Minimum lot width | 50 ft. *75 ft. when abutting a waterway on any side | 50 ft. *75 ft. when abutting a waterway on any side |
| Minimum floor area | 1,000 sq. ft. | 1,000 sq. ft. |
| Minimum front yard | 25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft. | 25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft. |
| Minimum corner yard | 25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway | 25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway |
| Minimum side | 5 ft. - up to 22 ft. in height | For a building with a height no |

| | | |
|--------------------------|--|--|
| <p>yard</p> | <p>Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height.</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks 7.5 ft.:</p> <p>Coral Ridge Country Club Addition 4, P.B. 53 P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J.</p> <p>Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16.</p> <p>Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T.</p> <p>Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 & 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G & H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L & M.</p> | <p>greater than 12 ft.- 5 ft.</p> <p>For a building with a height greater than 12 ft. - 7.5 ft.</p> <p>That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks as provided in RS-8</p> |
| <p>Minimum rear yard</p> | <p>15 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions: Coral Ridge Isles</p> | <p>25 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks as</p> |

| | | | | | |
|------------------------------------|--|-------------------------------|-----------------------------------|-------------------------------|-----------------------------------|
| | Flamingo Pk.—Section "C" & "D" Lakes Estates Golf Estates Imperial Pt.—4th Sec. The Landings Rio Nuevo Isle—Block 1 | | | provided in RS-8 | |
| Minimum distance between buildings | None | | | None | |
| | <i>Lot Size</i> | <i>**Maximum Lot Coverage</i> | <i>**Maximum Floor Area Ratio</i> | <i>**Maximum Lot Coverage</i> | <i>**Maximum Floor Area Ratio</i> |
| | ≤7,500 sf | 50% | 0.75 | 40% | 0.55 |
| Lot coverage and FAR | 7,501—12,000 sf | 45% | 0.75 | 35% | 0.55 |
| | >12,000 sf | 40% | 0.60 | 30% | 0.50 |

Note A: Dimensional requirements may be subject to additional regulations, see Section 47-23, Specific Location Requirements, and Section 47-25, Development Review Criteria.

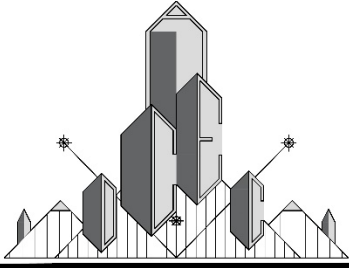
*Allowances for modifications of lot widths may be permitted in accordance with the requirements of Section 47-23.10, Specific Location Requirements.

**An increase in the maximum FAR or lot coverage may be permitted subject to the requirements of a site plan level III, see Section 47-24.2.

***All other regulations relating to district RS-8 shall apply to RS-8A.

(Ord. No. C-97-19, § 1(47-5.4), 6-18-97; Ord. No. C-99-26, § 1, 4-20-99; Ord. No. C-99-62, § 1, 9-21-99; Ord. No. C-04-67, § 1, 1-4-05; Ord. No. C-08-05, § 3, 2-5-08)

| Record # | Description | Application Name | Record Type | Balance | Planner | Street # | Dir | Street Name | Type | Opened Date | Status |
|------------------|---|----------------------------|-------------------------------|---------|---------|----------|-----|-------------|------|-------------|------------|
| PLN-BOA-20050003 | | Brennen Alteration | Z- Board of Adjustment (BOA) | 0 | | 1824 | NW | 24 | TER | 5/8/2020 | Open |
| PM-18100907 | New Flat roof for 18100715 ADDITION OF SITING AND LAUNDRY ROOMS WITH ~RENOVATION & RECONFIGURING EXISTING KITCHEN AND ~DINING ROOMS. ~ ~2015 IRC PLAN REVIEW ATTACHED ~ | New Flat roof for 18100715 | Re-Roof Permit | 197.75 | | 1824 | NW | 24 | TER | 10/9/2018 | In Process |
| PM-18100715 | ~12/21/18-RECHECK-B,M | ADDITION OF SITING AND LAL | Residential Addition Permit | 0 | | 1824 | NW | 24 | TER | 10/5/2018 | Issued |
| PM-18100718 | ELECTRICAL FOR BP 18100715 | ELECTRICAL FOR BP 18100715 | Electrical Residential Permit | 729.6 | | 1824 | NW | 24 | TER | 10/5/2018 | In Process |
| PM-18100719 | PLUMBING FOR BP 18100715 | PLUMBING FOR BP 18100715 | Plumbing Residential Permit | 0 | | 1824 | NW | 24 | TER | 10/5/2018 | Issued |
| PM-18100720 | MECHANICAL FOR BP 18100715 | MECHANICAL FOR BP 18100715 | Mechanical HVAC New Install F | 277.03 | | 1824 | NW | 24 | TER | 10/5/2018 | In Process |
| AB-0023528 | | BRENNEN CHRISTINE L | Resident/Business Alarm Regis | 0 | | 1824 | NW | 24 | TER | 10/16/1992 | Active |



AEC DESIGN CONSULTANTS

AA26003730 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN IB26001836

July 8, 2020

City of Fort Lauderdale
Urban Design & Development
700 NW 19th Avenue,
Fort Lauderdale, FL 33311

Re: Variance Request

Christina Brennen Taylor
1824 NW 24th Terrace
Fort Lauderdale, FL 33311

To Whom It May Concern;

On behalf of Anthony and Christina Brennen Taylor, we would like to request a variance for the above mentioned Subject Property located in the RS-8 zoning district within the City of Fort Lauderdale. The Owner wishes to receive a variance as this does not inhibit or offend neighboring properties and will allow for the property to be used at its maximum desired intent.

Please find enclosed the requisite Board of Adjustment Application for this request.

The following are the use variances we are requesting:

1. Reduced rear setback of 14'-0" (15'-0" required as per Sec. 47.5.31).

Please do not hesitate to contact our office should you have any questions or require additional information.

Sincerely,

Jerome S. Gelin, R.A., NCARB
Owner & Principal Architect

BRENNEN RESIDENCE RENOVATION & ADDITION

1824 NW 24TH TERRACE, FORT LAUDERDALE, FL 33311

AEC DESIGN CONSULTANTS

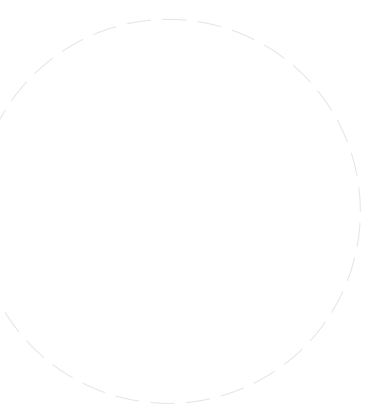
ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN

AA26003730 | IB26001836

6919 W. BROWARD BLVD., SUITE 259
PLANTATION, FLORIDA 33317
TEL: (786) 664-8574
jsgelin@aecdconsultants.com

07/01/2020

100% CONSTRUCTION DOCUMENTS
AECDC PROJECT NUMBER: AEC001-18



ABBREVIATIONS

| | | | |
|---|--|--|---|
| A/C A.C.T. ADJ A.F.F. ALUM APPROX ARCH ASPH AVE AVG A.W.T. | AIR CONDITIONING ACOUSTICAL CEILING TILE ADJUSTABLE ALUMINUM ABOVE FINISHED FLOOR APPROXIMATELY ARCHITECT, ARCHITECTURAL ASPHALT AVENUE AVERAGE ACOUSTICAL WALL TREATMENT | MACH MATL MAX MECH MFR M.H. MIN MIR MISC M.O. M/R M.S.L. MTD MTL | MACHINE MATERIAL MAXIMUM MECHANICAL MANUFACTURER MAN HOLE MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT MEAN SEA LEVEL MOUNTED METAL |
| BD BITUM BLDG BLK BLVD B.M. BOT BRG | BOARD BITUMINOUS BUILDING BLOCK BOULEVARD BENCH MARK BOTTOM BEARING | N N/A N.A.V.D. N.G.V.D. | NORTH NOT APPLICABLE NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NOT IN CONTRACT NUMBER NOTICE OF ACCEPTANCE NOMINAL NOT TO SCALE |
| CAB C.B. C.B.S. CEM CIRC C.J. C.L. C.L.F. CLG CLO C.M.U. COL CONC CONT CORR CPT C.T. CTR | CABINET CATCH BASIN CONCRETE BLOCK WITH STUCCO CEMENT, CEMENTITIOUS CIRCULAR CONTROL JOINT CENTERLINE CHAIN LINK FENCE CEILING CLOSET CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONTINUOUS CORRIDOR CARPET CERAMIC TILE CENTER | N.I.C. NO N.O.A. NOM N.T.S. O.C. O.D. O.H. OPNG | ON CENTER OUTSIDE DIAMETER OVERHANG OPENING ON CENTER OUTSIDE DIAMETER OVERHANG OPENING |
| DIA DBL DEPT DET DEMO D.F. DIAG DIM DN DR DWG DWR | DIAMETER DOUBLE DEPARTMENT DETAIL DEMOLITION DRINKING FOUNTAIN DIAGONAL DIMENSION DOWN DOOR DRAWING DRAWER | PL P.L. PLAS P. LAM. PLBG PLYWD PORC P.T. PREFAB PROP P.S.I. PT PVT PVC PVL | PLATE PROPERTY LINE PLASTER PLASTIC LAMINATE PLUMBING PLYWOOD PORCELAIN PRESSURE TREATED PREFABRICATED PROPERTY POUNDS PER SQUARE INCH POINT, PAINT PHOTOVOLTAIC POLYVINYL CHLORIDE PHOTOVOLTAIC LAMINATE |
| E EA E.I.F.S. E.J. EL ELEC ELEV E.M.C. EMER ENCL EQU EQUIP EXIST EXP EXT E.W.C. E.W.H. | EAST EACH EXTERIOR INSULATED FIRE SYSTEM EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EQUILIBRIUM MOISTURE CONTENT EMERGENCY ENCLOSURE EQUAL EQUIP EXISTING EXPOSED EXTERIOR ELECTRIC WATER COOLER ELECTRIC WATER HEATER | QTY | QUANTITY |
| F.D. F.A. F.E. F.E.C. F.F.E. F.H. FIN FLR FLUOR FT FTG F.W.C. | FLOOR DRAIN FIRE ALARM FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISHED FLOOR ELEVATION FIRE HYDRANT FINISH FLOOR FLUORESCENT FEET, FOOT FOOTING FABRIC WALL COVERING | R.B. R.D. REIN REQD REV RM R.O. RAW R.W.L. | RUBBER BASE ROOF DRAIN REINFORCEMENT REQUIRED REVERSE, REVISION ROOM ROUGH OPENING RIGHT OF WAY RAIN WATER LEADER |
| GA GALV G.C. G.W.B. GYP | GAUGE GALVANIZED GENERAL CONTRACTOR GYPSUM WALL BOARD GYPSUM | S S.C. SECT SHT SIM SLNT SPEC SQ S.S. ST STD STL STN STOR STRUC SUSP S.V. SYS | SOUTH SOLID CORE SECTION SHEET SIMILAR SEALANT SPECIFICATION SQUARE STAINLESS STEEL STAIN STANDARD STEEL STONE STORAGE STRUCTURAL SUSPENDED, SUSPENSION SHEET VINYL SYSTEM |
| H.B. H.C.W.D. HWY HDWR H.M. HORIZ H.P. HR HT HWY | HOSE BIBB HOLLOW CORE HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HIGHWAY | T&B T.B. T.B.D. TEL TEMP T&G THK THR T.O. T.O.B. T.O.S. TV TYP | TOP AND BOTTOM TIE BEAM TO BE DETERMINED TELEPHONE TEMPERATURE TONGUE AND GROOVE THICK, THICKNESS THRESHOLD TOP OF TOP OF BEAM TOP OF SLAB TELEVISION TYPICAL |
| I.D. IN INT INV INSUL I.R. | INSIDE DIAMETER INCH INTERIOR INVERT INSULATION IMPACT RESISTANT | U.N.O. | UNLESS NOTED OTHERWISE |
| JAN K.D.A.T. KIT | JANITOR, JANITORIAL JOINT KILN-DRIED AFTER TREATMENT KITCHEN | W W/ W.B. W.C. WD WDW WP W.W.F. W.W.M. | WEST WITH WOOD BASE WATER CLOSET WOOD WITHOUT WATERPROOF WELDED WIRE FABRIC WELDED WIRE MESH |
| LAM LAV LINO L.P. LT | LAMINATE LAVATORY LINOLEUM LOW POINT LIGHT | | |

SYMBOLS LEGEND

| REFERENCE | | MATERIAL | |
|-----------|------------------------------|-------------|-------------------|
| | DOOR IDENTIFIER | CONCRETE: | FINISH |
| | EXTERIOR ELEVATION INDICATOR | | STRUCTURAL |
| | FINISH ELEVATION INDICATOR | EARTHWORK: | BACKFILL |
| | KEYNOTE INDICATOR | | GRAVEL |
| | COLUMN GRID INDICATOR | | UNDISTURBED |
| | DETAIL INDICATOR | FINISHES: | PLASTER OR STUCCO |
| | MATCH LINE INDICATOR | | GLASS |
| | NORTH INDICATOR | | GLASS BLOCK |
| | ROOM IDENTIFIER | INSULATION: | BATT |
| | REVISION INDICATOR | | RIGID |
| | WALL SECTION INDICATOR | MASONRY: | BRICK |
| | WALL TYPE INDICATOR | | CONC. BLOCK |
| | WINDOW TYPE IDENTIFIER | METAL: | ALUMINUM |
| | DATUM | | STEEL |
| | | | BRASS OR BRONZE |
| | | PLASTIC: | PLASTIC |
| | | STONE: | CAST STONE |
| | | | CUT STONE |
| | | | SLATE |
| | | WOOD: | CORK |
| | | | FINISH |
| | | | PLYWOOD |
| | | | ROUGH |

GENERAL NOTES

| | | |
|---|--|---|
| <ol style="list-style-type: none"> THE CONTRACTOR MUST BECOME FAMILIAR WITH THE PROJECT SITE AND EXISTING CONDITIONS PRIOR TO BIDDING. THE CONTRACTOR MUST FIELD VERIFY EXISTING DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY ERRORS, DISCREPANCIES OR OMISSIONS DISCOVERED IN THE DRAWINGS OR SPECS. ALL CONSTRUCTION SCHEDULES AND METHODS OF DEMOLITION OR CONSTRUCTION SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION. APPROVED ROUTES AND POINTS OF ACCESS TO THE SITE SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER PRIOR TO STARTING CONSTRUCTION. ACCESS SHALL BE PERMITTED ONLY DURING PERIODS OF TIME SPECIFIED BY THE OWNER. THE CONTRACTOR IS ALERTED TO THE FACT THAT THE CONSTRUCTION SITE IS ADJACENT TO SINGLE FAMILY HOMES. DELIVERIES SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER. AUTOMOBILES OF ALL CONSTRUCTION WORKERS ON THIS PROJECT SHALL BE PARKED IN AN AREA DESIGNATED FOR THIS PURPOSE BY THE OWNER. NO CONSTRUCTION WORKERS VEHICLES WILL BE ALLOWED ON THE CONSTRUCTION SITE. THE CONTRACTOR MUST SECURE THE SITE AND LIMIT CONSTRUCTION ACTIVITIES TO THE CONSTRUCTION SITE. THE CONTRACTOR MUST TAKE ALL REASONABLE PRECAUTIONS TO PREVENT THE INTRUSION OF DUST OR OTHER INTERFERENCE WITH OPERATIONAL AREAS. THE CONTRACTOR SHALL USE SUITABLE METHODS FOR DUST, DIRT, POLLUTION CONTROL AND LIMIT THE USE OF WATER TO PREVENT FLOODING OF ADJACENT AREAS AND SAFETY HAZARDS. THE CONTRACTOR SHALL FURNISH AND ERECT SIGNS, BARRICADES, LIGHTS, FLAGS AND OTHER PROTECTIVE DEVICES AS MAY BE REQUIRED TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC. ALL SUCH SIGNS, BARRICADES, LIGHTS, FLAGS AND OTHER PROTECTIVE DEVICES SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT/ENGINEER. THE CONTRACTOR SHALL CONDUCT DEMOLITION OR CONSTRUCTION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM THE OWNER OR AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS. THE CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SERVICES AND EQUIPMENT SUFFICIENT FOR THE PROSECUTION OF THE WORK IN AN ACCEPTABLE MANNER AND AT A SATISFACTORY RATE OF PROGRESS. ALL EQUIPMENT, TOOLS, AND MACHINERY USED IN THE PROSECUTION OF WORK SHALL BE MAINTAINED IN A SAFE WORKING CONDITION AND SHALL BE APPROPRIATE FOR THE WORK TO BE PERFORMED. THE CONTRACTOR SHALL STORE ALL MATERIALS IN NEAT AND PROPER ARRANGEMENT. ALL KNOWN UTILITIES AND EXISTING STRUCTURES, ETC. (INCLUDING UNDERGROUND) ARE SHOWN ON THE PLANS, BUT NO GUARANTEE IS IMPLIED THAT THE INFORMATION IS ACCURATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL SUCH UTILITIES, STRUCTURES, ETC. BY HAND EXCAVATION OR OTHER APPROPRIATE MEASURES BEFORE PERFORMING ANY WORK THAT COULD RESULT IN DAMAGE TO SUCH UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL, IN CONJUNCTION WITH THE ARCHITECT/ENGINEER, MAKE A THOROUGH SEARCH OF THE SITE FOR UNDERGROUND UTILITIES, STRUCTURES, ETC. BEFORE WORK IS COMMENCED IN ANY PARTICULAR LOCATION. TO THIS END HE SHALL PROVIDE AND MAINTAIN THROUGHOUT THE TERM OF THE CONTRACT AN ELECTRONIC DEVICE CAPABLE OF LOCATING UNDERGROUND UTILITIES, ETC. | <ol style="list-style-type: none"> IN THE EVENT OF DAMAGE TO, OR ACCIDENTAL DISRUPTION OF UTILITIES OR OTHER FACILITIES AS A RESULT OF THE CONTRACTORS OPERATIONS, THE CONTRACTOR SHALL TAKE IMMEDIATE STEPS TO REPAIR OR REPLACE ALL DAMAGE AND TO RESTORE ALL SERVICES. FURTHER, THE CONTRACTOR SHALL ENGAGE ANY ADDITIONAL OUTSIDE SERVICES WHICH MAY BE NECESSARY TO PROSECUTE REPAIRS ON A CONTINUOUS "AROUND THE CLOCK" BASIS UNTIL SERVICES ARE RESTORED. HE SHALL ALSO PROVIDE AND OPERATE ANY SUPPLEMENTAL TEMPORARY SERVICES TO MAINTAIN UNINTERRUPTED USE OF THE FACILITIES. ALL COST INVOLVED IN MAKING REPAIRS AND RESTORING DISRUPTED SERVICE RESULTING FROM NEGLIGENCE ON THE PART OF THE CONTRACTOR SHALL BE BORNE BY THE CONTRACTOR AND HE SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL CLAIMS RESULTING FROM DAMAGE. THE CONTRACTOR SHALL NOT PURPOSEFULLY DISRUPT OR DISCONNECT ANY TYPE OF UTILITY WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION OF THE ARCHITECT/ENGINEER. IF A SUITABLE BYPASS OF SUCH UTILITY CANNOT BE PROVIDED, THEN THE ARCHITECT/ENGINEER MAY DIRECT THE CONTRACTOR TO PROCEED WITH THE WORK ON A 24-HOUR PER DAY BASIS UNTIL SUCH INTERRUPTED UTILITY SERVICES ARE COMPLETELY RESTORED. REQUESTS FOR DISCONNECTION MUST BE RECEIVED BY THE ARCHITECT/ENGINEER AT LEAST 72 HOURS PRIOR TO THE TIME OF THE REQUESTED INTERRUPTION, AND SHALL STATE: <ol style="list-style-type: none"> THE IDENTITY OF THE UTILITY INVOLVED. JUSTIFICATION OF THE REQUESTED DISCONNECT. THE LOCATION OF THE REQUIRED DISCONNECT. THE EXACT DATE AND TIME AT WHICH THE DISCONNECT IS REQUESTED. THE DURATION OF THE PROPOSED DISCONNECT. THE CONTRACTOR SHALL REMOVE ALL TOOLS, SCAFFOLDING, SURPLUS MATERIALS AND ALL TEMPORARY FACILITIES FROM COMPLETED WORK AREAS. THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN AND CLEAR OF ALL ALL SURPLUS AND SCRAP MATERIAL, BULK WASTE AND DEBRIS RESULTING FROM THE WORK. ALL SUCH MATERIALS SHALL BE PROPERLY DISPOSED OF AND REMOVED FROM THE SITE AT LEAST ONCE EACH WEEK. THOSE MATERIALS WHICH ARE COMBUSTIBLE SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH WORKING DAY. IF THE CONTRACTOR FAILS TO MAINTAIN LEVELS OF CLEANLINESS IN WORK AREAS, SATISFACTORY TO THE ARCHITECT/ENGINEER, THEN THE OWNER SHALL HAVE THE RIGHT TO CAUSE SUCH AREAS TO BE CLEANED BY OTHERS. THE COSTS FOR SUCH CLEANING SHALL BE PAID BY THE CONTRACTOR. <p><u>UPON COMPLETION OF THE WORK AND BEFORE ACCEPTANCE AND FINAL PAYMENT WILL BE MADE:</u></p> <ol style="list-style-type: none"> ALL CONCRETE WALKS, APRONS, ETC., INCLUDING ADJACENT PAVING SHALL BE THOROUGHLY CLEANED AND FREE FROM BUILDING MATERIALS, CONTAINERS, DUST, DIRT, SAND AND ALL OTHER INCIDENTAL DEBRIS. AREAS SHALL BE WELL SWEEPED AND, IF IN THE OPINION OF THE ARCHITECT/ENGINEER SUCH IS REQUIRED, SHALL BE HOSED DOWN WITH CLEAN WATER. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL MACHINERY, EQUIPMENT, SURPLUS AND DISCARDED MATERIALS, RUBBISH, TEMPORARY STRUCTURES, ETC. ALL TRACES OF BARRICADES, FENCES, ETC., AND ALL CONTRACTORS TOOLS, EQUIPMENT, ETC. SHALL BE COMPLETELY REMOVED FROM THE OWNERS PROPERTY. MATERIALS CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED OF SATISFACTORILY. THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO ADJACENT FACILITIES CAUSED BY DEMOLITION OR CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL REPLACE ANY LANDSCAPING DAMAGED DURING DEMOLITION OR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. | <h2>DEMOLITION</h2> <p>GENERALLY, CONTRACT DOCUMENTS WILL NOT DEFINE STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF EXISTING STRUCTURE AND ITEMS INDICATED TO BE DEMOLISHED.</p> <ol style="list-style-type: none"> THE CONTRACTOR SHALL PROTECT THE EXISTING STRUCTURE AND ITEMS TO REMAIN FROM WEATHER AND EXTREMES OF TEMPERATURE TO PREVENT DAMAGE. THE CONTRACTOR SHALL MAINTAIN ALL REQUIRED FIRE EXITS DURING DEMOLITION. THE CONTRACTOR SHALL PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURE OR ITEMS TO BE DEMOLISHED, AND WORK TO REMAIN. THE CONTRACTOR MUST USE CARE TO ONLY REMOVE PORTIONS OF EXISTING STRUCTURE OR ITEMS INDICATED TO BE REMOVED. THE OWNER RESERVES THE RIGHT TO CLAIM ANY ITEMS OF SALVAGEABLE VALUE NOTED FOR REMOVAL. THE CONTRACTOR SHALL DELIVER SUCH ITEMS TO A SITE DESIGNATED BY THE OWNER AT NO ADDITIONAL COST. WHERE INDICATED, ITEMS OF SALVAGEABLE VALUE SHALL BE STORED IN A DRY, SECURE LOCATION AND FLAT LEVEL POSITION FOR POSSIBLE REINSTALLATION. DO NOT INCORPORATE SALVAGED OR USED ITEMS IN NEW CONSTRUCTION WITHOUT APPROVAL OF THE ARCHITECT. THE CONTRACTOR SHALL NOT ENDANGER, BY CUTTING, DIGGING, LOADING OR OTHERWISE, THE STRUCTURAL INTEGRITY OR OVERALL SAFETY OF THE STRUCTURE. THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED. DISCONNECT ALL ELECTRICAL CIRCUITS, SWITCHES AND DEVICES AT MAIN PANEL SERVING AREAS TO BE DEMOLISHED PRIOR TO COMMENCEMENT OF WORK. REMOVE ALL APPLIANCES AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PIPING, CONTROLS, CONDUITS AND PANEL BOARDS THROUGHOUT AREAS OF DEMOLITION. ALL PERMANENTLY DISCONNECTED UTILITIES TO BE APPROPRIATELY ABANDONED AND CAPPED CONSISTENT WITH INDUSTRY STANDARDS AND UTILITY COMPANY REQUIREMENTS. SAW-CUT ALL MATERIALS AND AREAS INDICATED FOR SELECTIVE OR PARTIAL DEMOLITION. REMOVE GLUE OR ANCHORING DEVICES, PATCH AND LEVEL SURFACES TO RECEIVE NEW FINISHES. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTIONS WITH CONSTRUCTION TO REMAIN USING A POWER MASONRY SAW OR HAND TOOLS. DO NOT USE POWER DRIVEN IMPACT TOOLS. ALL WALLS INDICATED FOR DEMOLITION SHALL BE REMOVED FULL HEIGHT, UNLESS NOTED OTHERWISE. ALL FLOORS SCHEDULED TO RECEIVE NEW FINISHES SHALL BE APPROPRIATELY REPAIRED AND MADE LEVEL UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL RESTORE AND/OR REPLACE ALL MATERIALS, FINISHES AND BUILDING COMPONENTS DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, PATCHING AND REFINISHING WORK SHALL BE NEAT, MATCH THE ADJACENT FINISH, UNLESS NOTED OTHERWISE, AND MEET THE APPROVAL OF THE ARCHITECT. THE CONTRACTOR SHALL PROVIDE THE SAME PRODUCTS OR TYPES OF CONSTRUCTION AS THAT IN THE EXISTING STRUCTURE AS NEED TO PATCH, EXTEND OR MATCH EXISTING WORK, UNLESS NOTED OTHERWISE. WHEN NEW WORK ADJUTS THE EXISTING, MAKE A SMOOTH AND FLAWLESS TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT FINISH IN TEXTURE AND APPEARANCE SO THAT THE PATCH OR TRANSITION IS INVISIBLE AT A DISTANCE OF FIVE (5) FEET, UNLESS NOTED OTHERWISE. |
|---|--|---|

TERMITE PROTECTION

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER FBC 1817.1.7. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPT. BY A LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES".

DRAWING INDEX

| ARCHITECTURAL | |
|---------------|--|
| FRONT COVER | |
| G0.01 | DRAWING INDEX, GENERAL NOTES, ABBREVIATIONS & SYMBOLS |
| SURVEY | |
| AS1.01 | ARCHITECTURAL SITE PLAN, SITE DATA & PROJECT INFORMATION |
| A2.01 | PROPOSED FLOOR PLAN, PROPOSED PLUMBING PLAN |
| A3.01 | PROPOSED BUILDING ELEVATIONS, DOOR & WINDOW SCHEDULE |

BRENNEN RESIDENCE RENOVATION & ADDITION

1824 N.W. 24TH TERRACE, FORT LAUDERDALE, FL 33311

CLIENT
CHRISTINA BRENNEN TAYLOR
ANTHONY TAYLOR
1824 N.W. 24TH TERRACE, FORT LAUDERDALE, FL 33311
PH: (954) 651-4333

ARCHITECT
AEC DESIGN CONSULTANTS
ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
AA26003730 | IB26001836
6910 W. BROWARD BLVD., STE 259, PLANTATION, FLORIDA 33317
TEL: (786) 664-8574
jsgelin@aecdesignconsultants.com

CONSULTANTS

PROFESSIONAL SEAL

Jerome S. Gelin
State of Florida - Registered Architect
License No. AF99638

DRAWING ISSUED

| No. | DESCRIPTION | DATE |
|-----|-------------------|----------|
| | OWNER REVIEW - DD | 08/22/18 |
| | 90% CDs | 09/14/18 |
| | 100% CDs | 09/26/18 |

PROJECT NUMBER: AEC001-18

DRAWN BY: [Blank] CHECKED BY: JSG

DATE: AUG 2018 SCALE: [Blank]

SHEET TITLE

ABBREVIATIONS & SYMBOLS

GEN. NOTES

DWG. INDEX

SHEET NUMBER

GO.01



SITE DATA

| ZONING CLASS | EXISTING | PROPOSED |
|--------------------------|--------------------------------|--------------------------------|
| SUBJECT LOT: | RS-8 | RS-8 |
| LAND USE | EXISTING | PROPOSED |
| SUBJECT LOT: | 01 - RESIDENTIAL SINGLE FAMILY | 01 - RESIDENTIAL SINGLE FAMILY |
| LOT INFO | REQUIRED/ALLOWED | EXISTING |
| LOT AREA: | 6,000 SQ. FT. | 6,000 SQ. FT. |
| LOT ACREAGE: | 0.14 ACRE | 0.14 ACRE |
| LOT WIDTH: | 50' - 0" | 50' - 0" |
| LOT COVERAGE: | 50% | 50% |
| OPEN SPACE: | 50% | 50% |
| IMPERVIOUS AREA - TOTAL: | | 2,712 SQ. FT. |
| PERVIOUS AREA - TOTAL: | | 3,288 SQ. FT. |
| BLDG SETBACKS | REQUIRED | PROPOSED |
| FRONT/FRONT: | PRINCIPAL 25' - 0" | 33' - 9" |
| SIDE - STREET/FRONT: | SECONDARY 25% < 25' - 0" | 25% < 25' - 0" |
| SIDE - INTERIOR: | 5' - 0" | 7' - 7" |
| REAR: | 15' - 0" | 15' - 0" |
| BLDG SIZE | ALLOWED | PROPOSED |
| FAR/FLR: | 0.75000 | 0.26000 |
| 1ST FLOOR: | 3,000 SQ. FT. | 1,564 SQ. FT. |
| 2ND FLOOR: | 1,500 SQ. FT. | 0 SQ. FT. |
| BLDG HEIGHT | REQUIRED/ALLOWED | PROPOSED |
| FEET: | 35' - 0" | 10' - 2" |
| STORIES: | 2 | 1 |

PROJECT INFO

| SCOPE OF WORK | |
|---|--|
| CLASSIFICATION OF WORK: | LEVEL 2 - ALTERATION, ADDITION |
| AREA OF WORK: | EXISTING KITCHEN, EXISTING DINING RM., EXISTING LAUNDRY RM. AND EXISTING PATIO |
| DESCRIPTION OF WORK: | PARTIAL DEMOLITION OF EXISTING KITCHEN, ALTERATION OF EXISTING DINING ROOM & EXISTING LAUNDRY ROOM INTO A NEW KITCHEN, ENCLOSED PATIO CONVERTED TO A NEW LAUNDRY ROOM & SITTING ROOM |
| BLDG USE & OCCUPANCY CLASSIFICATION | |
| OCCUPANCY CLASSIFICATION: | RESIDENTIAL - GROUP R3 |
| USE CLASSIFICATION: | SINGLE FAMILY DWELLING |
| CONSTRUCTION CLASSIFICATION | |
| CONSTRUCTION TYPE (FBC): | V - B (UNPROTECTED) |
| CONSTRUCTION TYPE (NFPA 101/5000): | V - 000 |
| FIRE PROTECTION SYSTEMS | |
| AUTOMATIC SPRINKLER SYSTEM: | YES/NO |
| PORTABLE FIRE EXTINGUISHERS: | YES/NO |
| FIRE ALARM & DETECTION SYSTEM: | YES/NO (SEE LS DWGS) |
| FIRE SUPPRESSION SYSTEM: | YES/NO (SEE FP/PLBG DWGS) |
| SMOKE CONTROL SYSTEM: | YES/NO (SEE MECH DWGS) |
| FIRE-RESISTANCE RATING OF BUILDING ELEMENTS | |
| STRUCTURAL FRAME: | 1 HR (1 HR REQD) |
| EXTERIOR BEARING WALLS: | 1 HR (1 HR REQD) |
| INTERIOR BEARING WALLS: | _ HR (_ HR REQD) |
| EXTERIOR NONBEARING WALLS & PARTITIONS: | _ HR (_ HR REQD) |
| INTERIOR NONBEARING WALLS & PARTITIONS: | _ HR (_ HR REQD) |
| FLOOR CONSTRUCTION: | _ HR (_ HR REQD) |
| ROOF CONSTRUCTION: | _ HR (_ HR REQD) |

GOVERNING CODES

THESE ARE STANDARD CODES AND MAY NOT BE APPLICABLE TO THIS PROJECT:

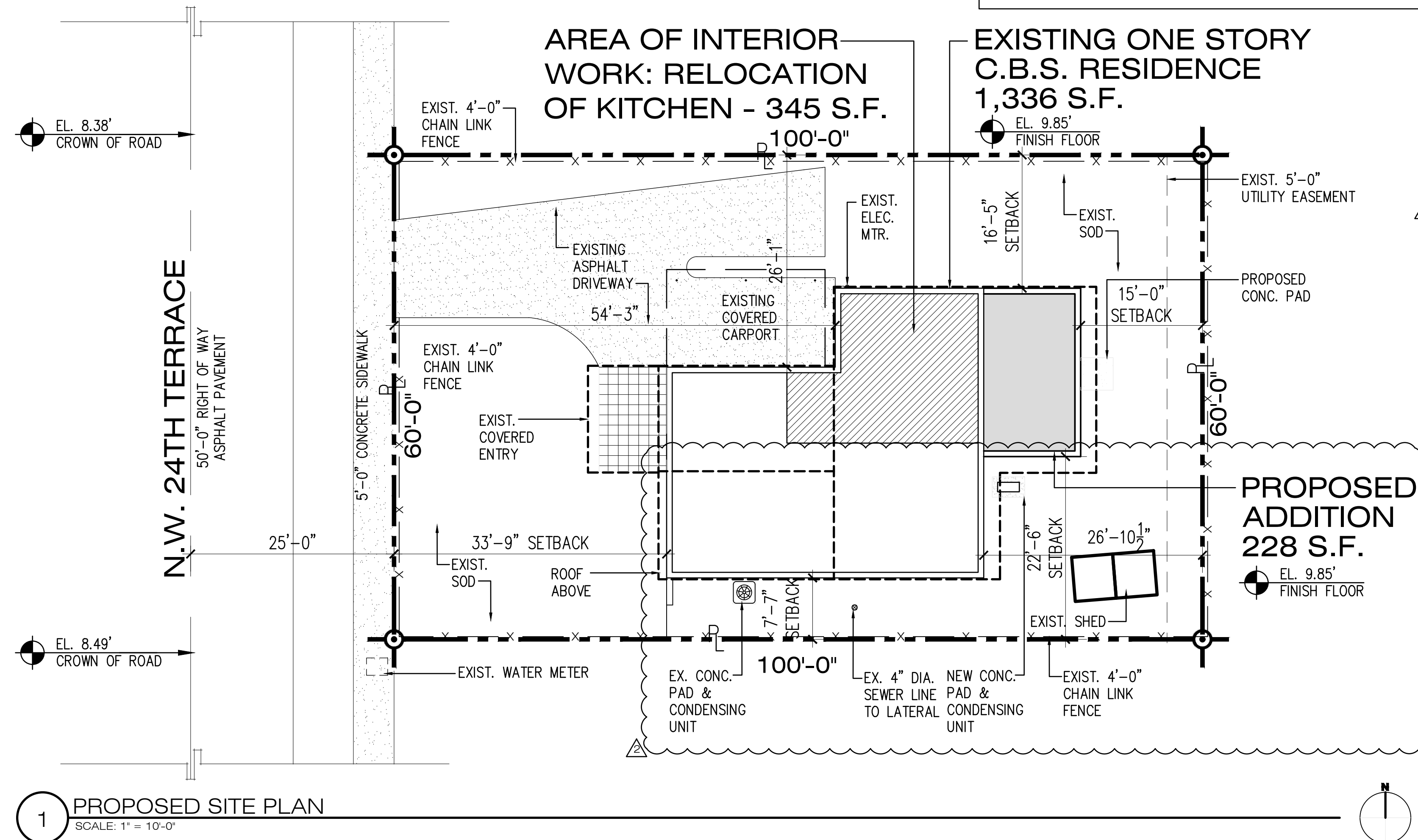
- LOCAL ZONING CODE
- 2017 FLORIDA BUILDING CODE: ACCESSIBILITY
- 2017 FLORIDA BUILDING CODE: BUILDING
- 2017 FLORIDA BUILDING CODE: ENERGY CONSERVATION
- 2017 FLORIDA BUILDING CODE: EXISTING BUILDING
- 2017 FLORIDA BUILDING CODE: FUEL GAS
- 2017 FLORIDA BUILDING CODE: MECHANICAL
- 2017 FLORIDA BUILDING CODE: PLUMBING
- 2017 FLORIDA BUILDING CODE: RESIDENTIAL
- 2017 FLORIDA BUILDING CODE: TEST PROTOCOLS
- FLORIDA FIRE PREVENTION CODE, SIXTH EDITION (2015 NFPA 1 AND NFPA 101)
- 1991 FAIR HOUSING ACCESSIBILITY GUIDELINES W/1994 QUESTION AND ANSWER SUPPLEMENT & 1998 DESIGN MANUAL
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 2014 STATE REQUIREMENTS FOR EDUCATIONAL FACILITIES (SREF)

CODE STATEMENT

TO THE BEST OF THE ARCHITECTS/ENGINEERS' KNOWLEDGE, THE DRAWINGS AND SPECIFICATIONS SUBMITTED THEREIN ARE COMPLIANT WITH ALL APPLICABLE CODES AS DETERMINED BY THE LOCAL AUTHORITY.

PROPERTY INFO

| | |
|--------------------|--|
| PARCEL ID NO: | 4942 32 12 0580 |
| PROPERTY ADDRESS: | 1824 NW 24TH TERRACE FORT LAUDERDALE, FLORIDA 33311-4520 |
| LEGAL DESCRIPTION: | LOT 3, BLOCK 4 OF LAUDERDALE MANOR HOMESITES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY |
| OWNER INFO: | CHRISTINA BRENNEN TAYLOR ANTHONY TAYLOR 1824 NW 24TH TERRACE FORT LAUDERDALE, FLORIDA 33311-4520 |
| ZONING CODE | RS - 8 |
| ZONING CLASS: | RESIDENTIAL SINGLE FAMILY / LOW MEDIUM DENSITY DISTRICT |
| LAND USE: | 01 - SINGLE FAMILY |
| FLOORS: | 1 |
| BUILDING AREA: | 1,564 SQ. FT. |
| LOT SIZE: | 6,000 SQ. FT. |
| YEAR BUILT: | 1955 |
| FLOOD ZONE | 0.2X |



SITE PLAN LEGEND

| | |
|---------------------|-----------------------------------|
| CENTERLINE: | --- |
| FENCE - CHAIN-LINK: | - x - x - x - x - x - x - x - x - |
| FENCE - METAL: | - o - o - o - o - o - o - o - o - |
| FENCE - WOOD: | - - - - - - - - |
| PROPERTY LINE: | --- |
| NEW ADDITION | [Solid Grey Box] |
| RENOVATED AREA | [Hatched Box] |

- ### SITE PLAN NOTES
1. PERMIT FOR ONSITE CONSTRUCTION ONLY.
 2. THE NEW CONSTRUCTION SHALL HAVE NO DRAINAGE IMPACTS TO ADJACENT PROPERTIES, SURROUNDING RIGHTS OF WAY, STORMWATER FACILITIES, OR NEIGHBORING WATER BODIES.
 3. NO TREES OR PALMS SHALL BE IMPACTED BY ADDITION AND ALTERATIONS.

PROJECT

BRENNEN RESIDENCE RENOVATION & ADDITION

1824 N.W. 24TH TERRACE, FORT LAUDERDALE, FL 33311

CLIENT
CHRISTINA BRENNEN TAYLOR
ANTHONY TAYLOR
1824 N.W. 24TH TERRACE, FORT LAUDERDALE, FL 33311
PH: (954) 651-4333

ARCHITECT
AEC DESIGN CONSULTANTS
ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
AA26003730 | IB26001836
6910 W. BROWARD BLVD., STE 259, PLANTATION, FLORIDA 33317
TEL: (786) 664-8574
jsgelin@aecdesignconsultants.com

CONSULTANTS

PROFESSIONAL SEAL

Jerome S. Gelin
State of Florida - Registered Architect
License No. AR99638

DRAWING ISSUED

| No. | DESCRIPTION | DATE |
|-----|-------------------|----------|
| | OWNER REVIEW - DD | 08/22/18 |
| | 90% CDs | 09/14/18 |
| | 100% CDs | 09/26/18 |
| | BLDG. DEPT. CMTS. | 11/13/18 |
| | FIELD REVISION | 04/29/20 |

PROJECT NUMBER:
AEC001-18

DRAWN BY: JSG
CHECKED BY: JSG

DATE: AUG 2018
SCALE: 1" = 10'-0"

SHEET TITLE
PROPERTY INFORMATION
PROPOSED SITE PLAN
SITE DATA

SHEET NUMBER
AS1.01

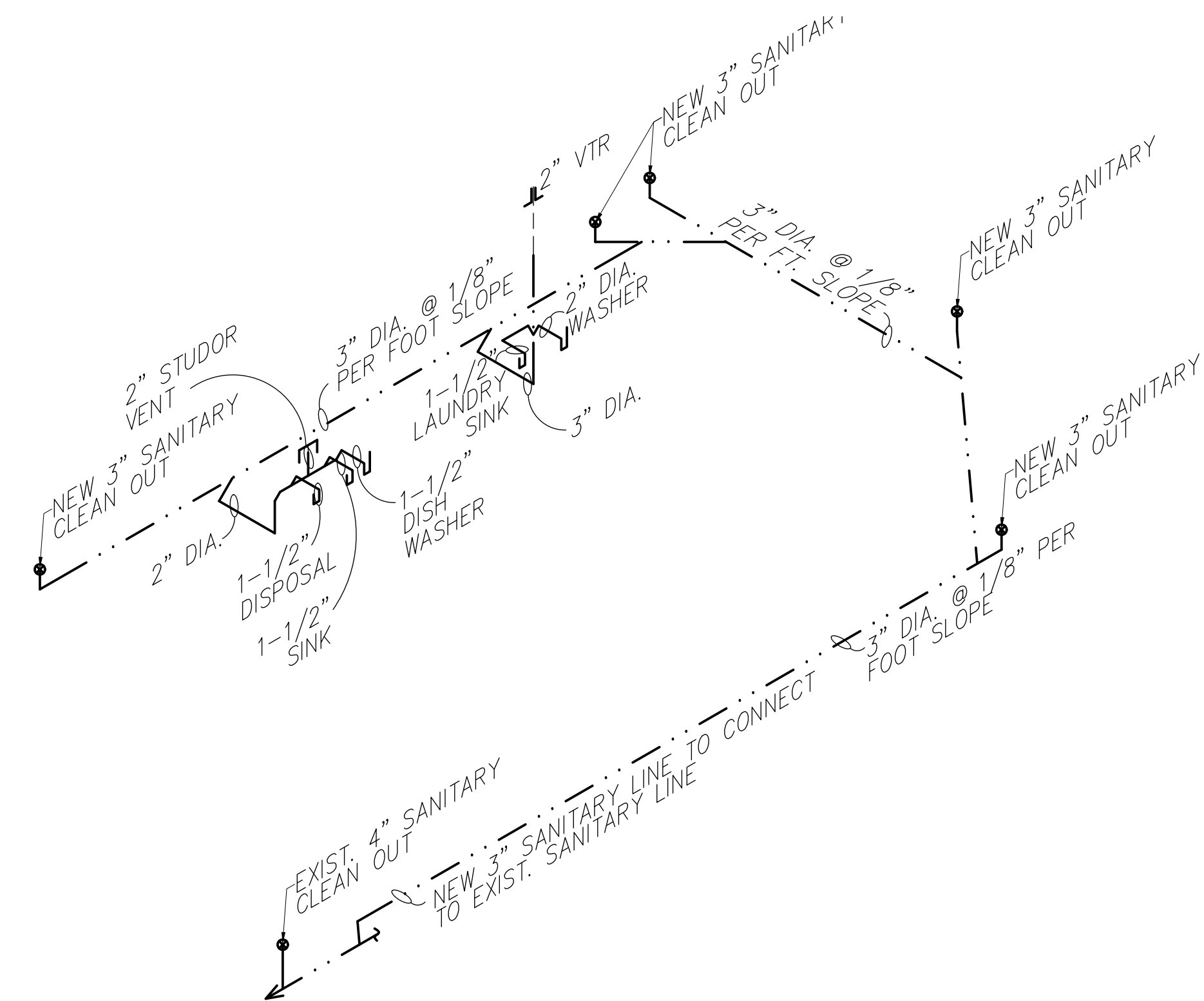
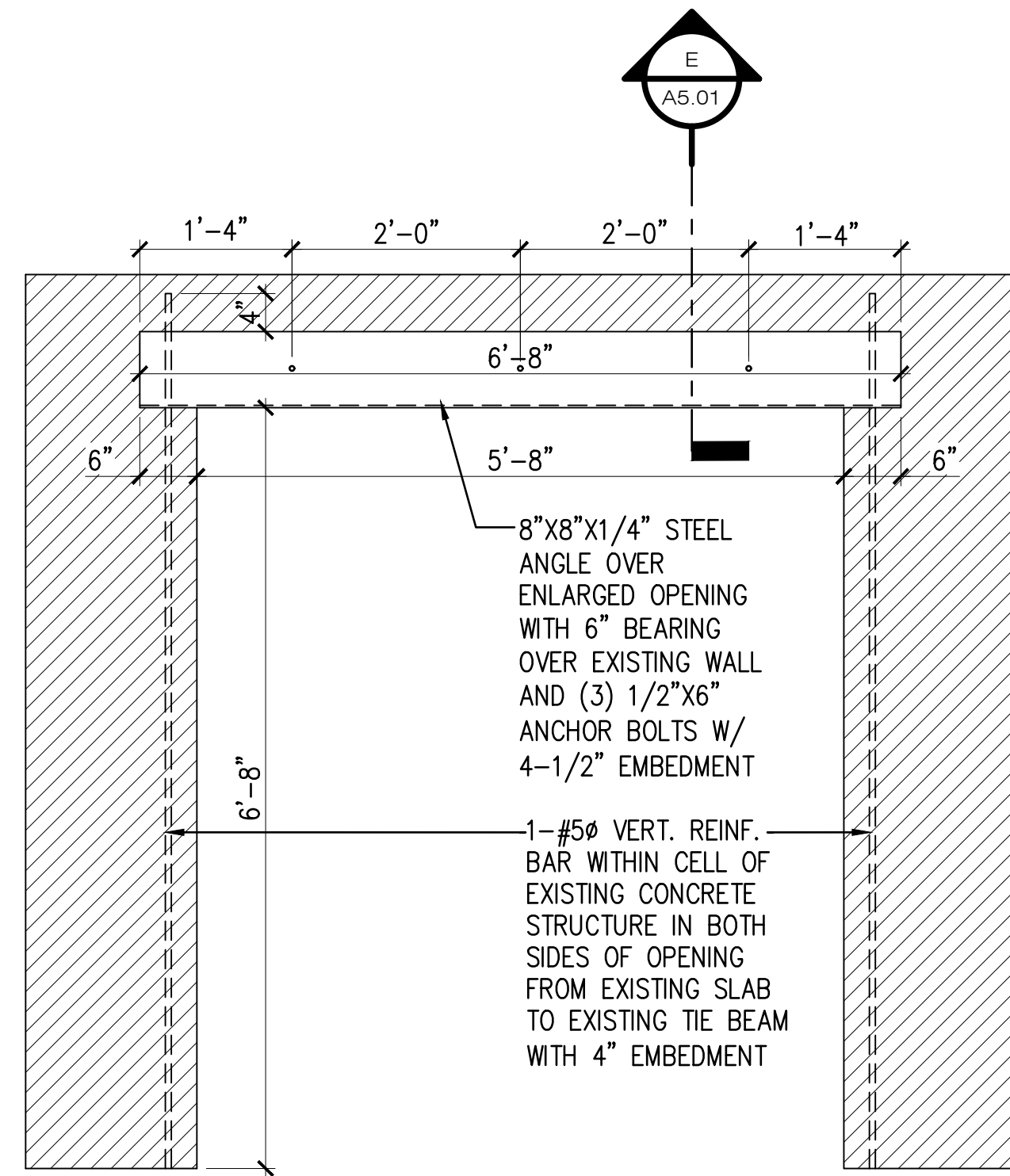
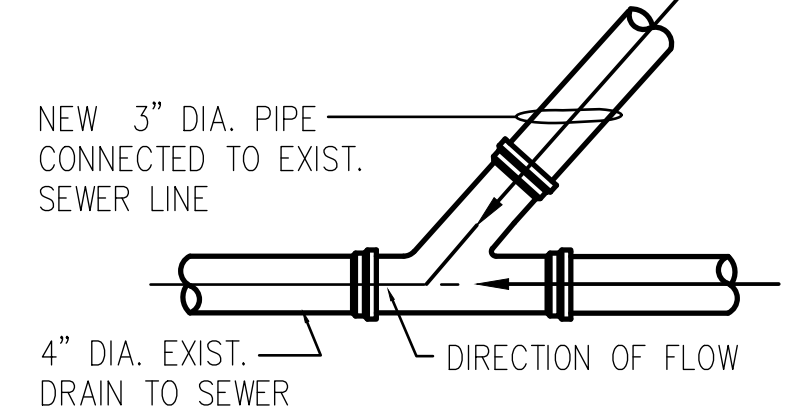


TABLE 604.4
MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES AND FIXTURE FITTINGS

| PLUMBING FIXTURE OR FIXTURE FITTING | MAXIMUM FLOW RATE OR QUANTITY b |
|--|---------------------------------|
| LAVATORY, PRIVATE (N/A) | 2.2 GPM AT 60 PSI |
| LAVATORY, PUBLIC (METERING) (N/A) | 0.25 GALLON PER METERING CYCLE |
| LAVATORY, PUBLIC (OTHER THAN METERING) (N/A) | 0.5 GPM AT 60 PSI |
| SHOWER HEAD a (N/A) | 2.5 GPM AT 80 PSI |
| SNK, FAUCET (KITCHEN SINK, LAUNDRY SINK) | 2.2 GPM AT 60 PSI |
| URINAL (N/A) | 1.0 GALLON PER FLUSHING CYCLE |
| WATER CLOSET (N/A) | 1.6 GALLONS PER FLUSHING CYCLE |

FOR SI: 1 GALLON = 3.785 L, 1 GALLON PER MINUTE = 3.785 L/M, 1 POUND PER SQUARE INCH = 6.895 KPA.
a. A HAND-HELD SHOWER SPRAY IS A SHOWER HEAD. (N/A)
b. CONSUMPTION TOLERANCES SHALL BE DETERMINED FROM REFERENCED STANDARDS.



NOTE: PIPE SIZE 3" OR LARGER @ 1/8"/L.F. SLOPE.
PIPE SIZE 2" OR SMALLER @ 1/4"/L.F. SLOPE
TUB & SHOWER SHALL HAVE MIXING VALVE.

FLOOR PLAN LEGEND

THESE ARE STANDARD SYMBOLS AND MAY NOT APPEAR ON PROJECT DRAWINGS. SEE G0.01 AND ENGINEERING DRAWINGS FOR ADDITIONAL SYMBOLS.

| | |
|--|---|
| | CMU WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWGS) |
| | CONCRETE WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWGS) |
| | STUD WALL/PARTITION, THICKNESS AS INDICATED |

TABLE 604.3
WATER DISTRIBUTION SYSTEM DESIGN CRITERIA REQUIRED CAPACITY AT FIXTURE SUPPLY PIPE OUTLETS

| FIXTURE SUPPLY OUTLET SERVING | FLOW RATE a (GPM) | FLOW PRESSURE (PSI) |
|-------------------------------|-------------------|---------------------|
| DISH-WASHER, RESIDENTIAL | 2.75 | 8 |
| SINK, RESIDENTIAL | 1.75 | 8 |
| SINK, SERVICE | 3 | 8 |

FOR SI: 1 GALLON = 3.785 L, 1 GALLON PER MINUTE = 3.785 L/M, 1 POUND PER SQUARE INCH = 6.895 KPA.
a. FOR ADDITIONAL REQUIREMENTS FOR FLOW RATES AND QUANTITIES, SEE SECTION 604.4.
b. WHERE THE SHOWER MIXING VALVE MANUFACTURER INDICATES A LOWER FLOW RATING FOR THE MIXING VALVE, THE LOWER VALUE SHALL BE APPLIED - (NOT APPLICABLE)

NOTE:
ALL PLUMBING FIXTURES SHALL COMPLY WITH TABLE 604.4 (MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES AND FIXTURE FITTINGS)

PROJECT
BRENNEN RESIDENCE RENOVATION & ADDITION
1824 N.W. 24TH TERRACE, FORT LAUDERDALE, FL 33311
CLIENT
CHRISTINA BRENNEN TAYLOR
ANTHONY TAYLOR
1824 N.W. 24TH TERRACE, FORT LAUDERDALE, FL 33311
PH: (954) 651-4333

ARCHITECT
AEC DESIGN CONSULTANTS
ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
AA26003730 | IB26001836
6910 W. BROWARD BLVD., STE 259, PLANTATION, FLORIDA 33317
TEL: (786) 664-8574
jsgelin@aecdesignconsultants.com

CONSULTANTS

PROFESSIONAL SEAL
Jerome S. Gelin
State of Florida - Registered Architect
License No. AR99638

DRAWING ISSUED

| No. | DESCRIPTION | DATE |
|-----|-------------------|----------|
| 1 | OWNER REVIEW - DD | 08/22/18 |
| 2 | 90% CDs | 09/14/18 |
| 3 | 100% CDs | 09/26/18 |

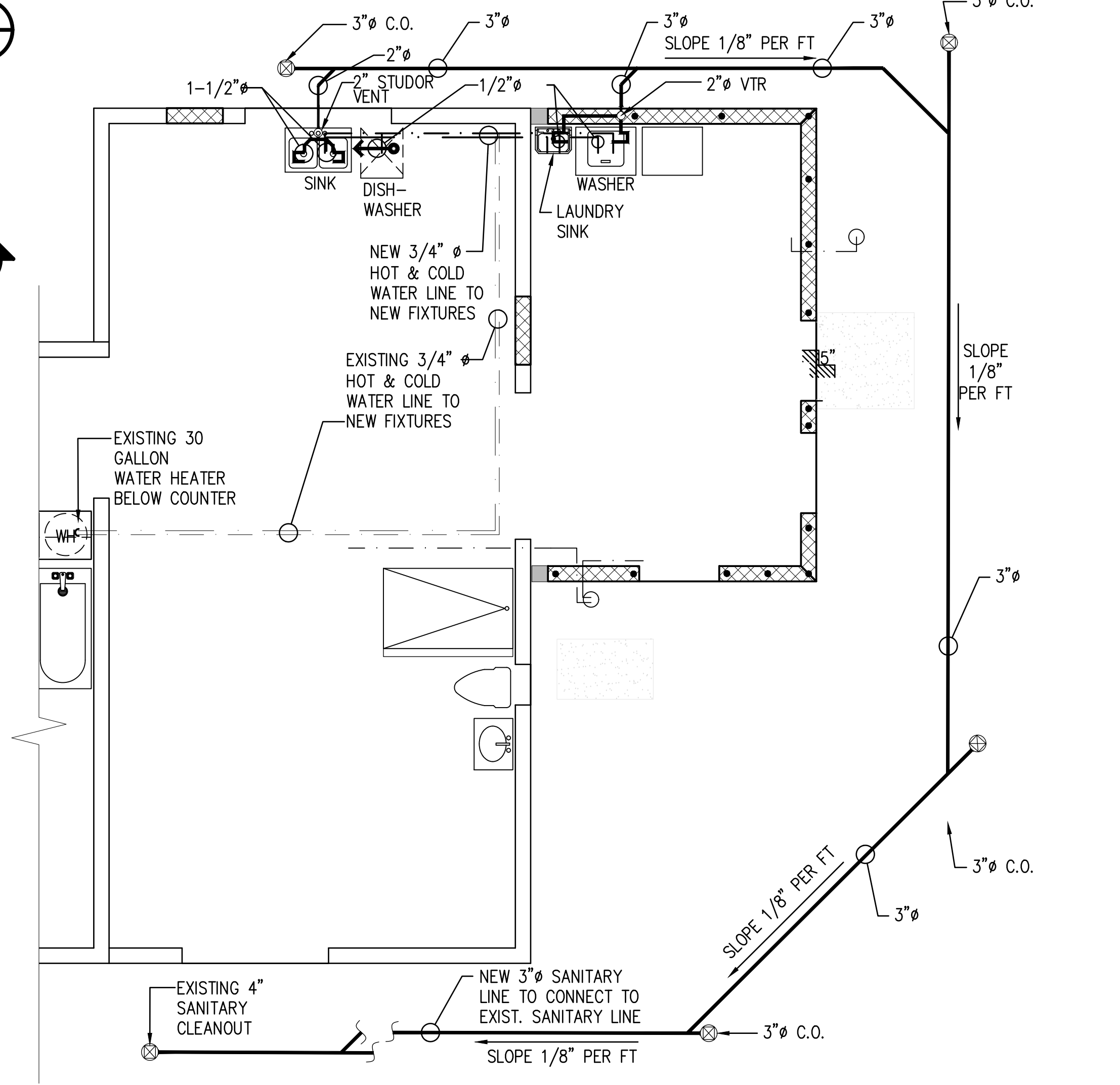
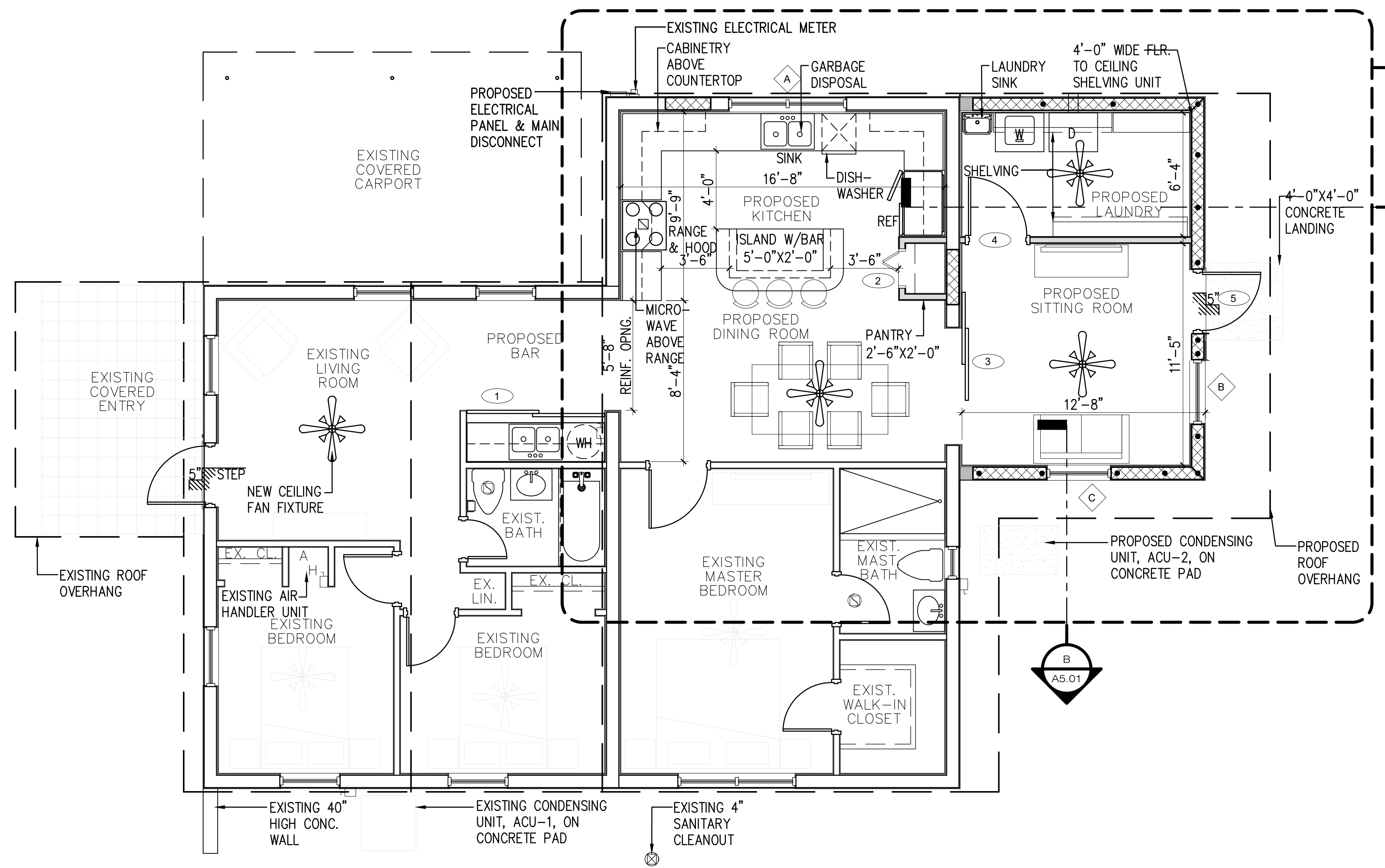
PROJECT NUMBER:
AEC001-18
DRAWN BY: JSG
CHECKED BY: JSG
DATE: AUG 2018
SCALE: 1/4" = 1'-0"

SHEET TITLE
**PROPOSED FLOOR PLAN
PLUMBING PLAN
LEGEND**
SHEET NUMBER
A2.01

A OPENING REINFORCEMENT
NOT TO SCALE

B SANITARY RISER DIAGRAM
NOT TO SCALE

C SANITARY CONNECTION
NOT TO SCALE



1 PROPOSED GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

2 PROPOSED PLUMBING PLAN
SCALE: 1/4" = 1'-0"

| DOOR SCHEDULE | | | | | | | | | | | |
|---------------|----------|-----------------|-----------|-------|-----------|----------------|-------------------|--------------|--------------|-------------------|--------|
| MARK | TYPE | THRES HOLD TYPE | DOOR | | | WIND PRESSURES | | | | IMPACT RESISTANCE | NOTES |
| | | | SIZE | | | NOA | ALLOWED (PER NOA) | ACTUAL | | | |
| | | | W | HT | THK | | | ZONE 4 | ZONE 5 | | |
| 1 | SLIDING | | (2) 3'-6" | 6'-8" | 0'-1" | | | | | | |
| 2 | BI-FOLD | | 2'-6" | 6'-8" | 0'-1" | | | | | | |
| 3 | SLIDING | | (2) 3'-0" | 6'-8" | 0'-1" | | | | | | |
| 4 | INTERIOR | | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | | |
| 5 | EXTERIOR | ALUMINUM | 3'-0" | 6'-8" | 0'-1 3/4" | FL#4940 | +76.0, -76.0 | +43.2, -48.0 | -33.6, +14.4 | YES | EGRESS |

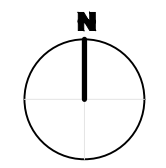
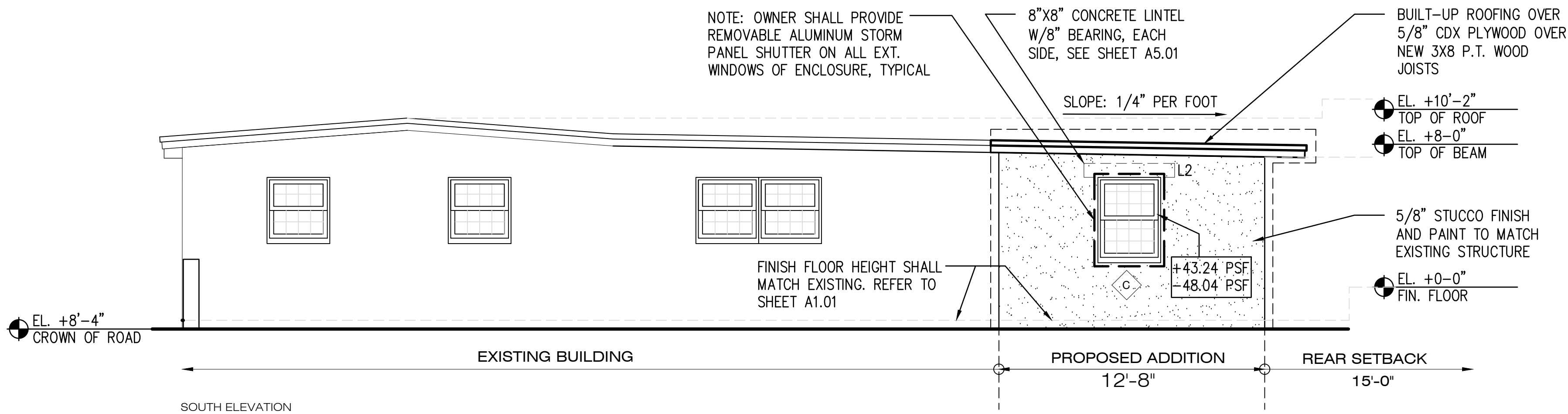
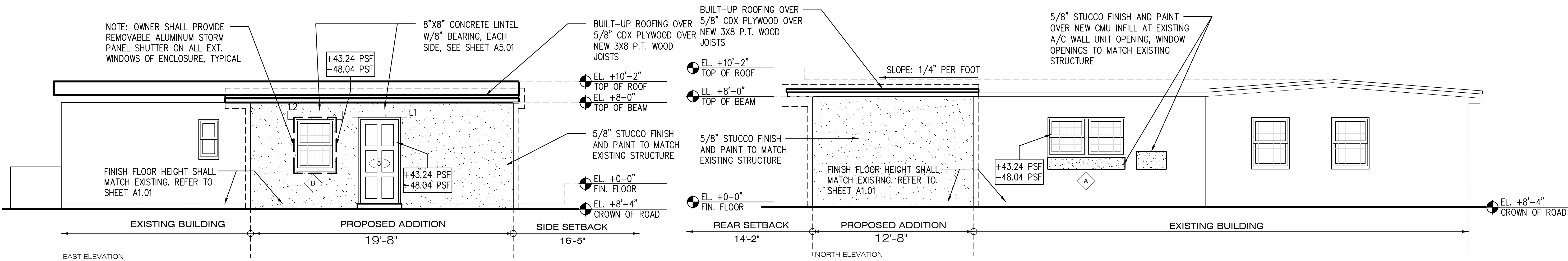
DOOR & WINDOW GENERAL NOTES

- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH MANUFACTURER PRIOR TO FABRICATION AND INSTALLATION.
- CONTRACTOR SHALL SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL (NOA), PRODUCT DATA AND SIGNED AND SEALED SHOP DRAWINGS FOR DOORS, FRAMES AND LITE KITS FOR A/E REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- ALL NEW EXTERIOR DOORS AND WINDOWS MUST MEET THE WIND LOAD REQUIREMENTS PER DADE COUNTY PRODUCT APPROVAL AND MEET DADE COUNTY IMPACT TEST REQUIREMENTS.
- ALL SECOND MEANS OF EGRESS SILL HEIGHT SHALL BE MIN 44" ABOVE FINISH FLOOR.

INTRUSION & BURGLARY SECURITY

- ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING FORCE OF 300 LBS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE FLORIDA BUILDING CODE.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MIN. OF 6000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS.
- THE ACTIVE LEAF OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MIN. THROW BOLTS WITH INSERTS.
- SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOOR DEAD BOLTS OR A BOLT OR PIN NOT REMOVABLE OR OPERABLE FROM THE EXTERIOR, AT THE JAMB, HEAD, SILL OR AT MEETING MULLIONS. THESE DOORS SHALL BE REINFORCED IN THE STRIKE AND LOCK AREA TO MAINTAIN BOLT STRENGTH EFFECTIVENESS, IF NECESSARY, AND SUCH DOORS SHALL HAVE ON SCREWS REMOVABLE FROM THE OUTSIDE WHICH WOULD FACILITATE READY ENTRY FROM OUTSIDE.
- NOT APPLICABLE.
- HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.
- JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWING DOORS SHALL BE RABBETED, OR OF SIMILAR FABRICATION, TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
- SINGLE, SWINGING, EXTERIOR DOORS, IF WOOD SHALL BE SOLID CORE OF NO LESS THAN 1 3/4" THICK.
- GLASS EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTES - STANDARD 297.1.
- VISION PANELS IN EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTES - STANDARD 297.1.
- SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN ON THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MOUNTINGS ASSOC. STANDARDS FOR FORCED ENTRY RESISTANCE, AAMA 1303.3.
- NOT APPLICABLE.
- NOT APPLICABLE.
- FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH DOOR SCOPE OR VISION PANELS.

| WINDOW SCHEDULE | | | | | | | | | | | | | |
|-----------------|-------------|----------|-----------|-----------|-------|-----------|----------------|-------------------|--------------|--------------|-----------------|-------------------|-------|
| MARK | TYPE | AREA | WINDOW | | | SILL TYPE | WIND PRESSURES | | | | EGRESS / ESCAPE | IMPACT RESISTANCE | NOTES |
| | | | SIZE | | | | NOA | ALLOWED (PER NOA) | ACTUAL | | | | |
| | | | W | HT | THK | | | | ZONE 4 | ZONE 5 | | | |
| A | SINGLE HUNG | 13.12 SF | (2) 3'-1" | 25'-1/2" | 7/16" | MARBLE | 17-0630.03 | +90.0, -130.0 | +43.2, -48.0 | -33.6, +14.4 | | | |
| B | SINGLE HUNG | 9.86 SF | 3'-1" | 3'-2 3/8" | 7/16" | MARBLE | 17-0630.03 | +90.0, -130.0 | +43.2, -48.0 | -33.6, +14.4 | | | |
| C | SINGLE HUNG | 9.86 SF | 3'-1" | 3'-2 3/8" | 7/16" | MARBLE | 17-0630.03 | +90.0, -130.0 | +43.2, -48.0 | -33.6, +14.4 | | | |



BRENNEN RESIDENCE RENOVATION & ADDITION

1824 N.W. 24TH TERRACE,
FORT LAUDERDALE, FL 33311
CLIENT
CHRISTINA BRENNEN TAYLOR
ANTHONY TAYLOR
1824 N.W. 24TH TERRACE,
FORT LAUDERDALE, FL 33311
PH: (954) 651-4333

ARCHITECT
AEC DESIGN CONSULTANTS
ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
AA26003730 | IB26001836
6919 W. BROWARD BLVD., STE 259,
PLANTATION, FLORIDA 33317
TEL: (786) 664-8574
jsgelin@aecdesignconsultants.com

CONSULTANTS

PROFESSIONAL SEAL
Jerome S. Gelin
State of Florida - Registered Architect
License No. AR99638

DRAWING ISSUED

| No. | DESCRIPTION | DATE |
|-----|-------------------|----------|
| | OWNER REVIEW - DD | 08/22/18 |
| | 90% CDs | 09/14/18 |
| | 100% CDs | 09/26/18 |

PROJECT NUMBER:
AEC001-18
DRAWN BY: JSG
CHECKED BY: JSG
DATE: AUG 2018
SCALE: 1/4" = 1'-0"

PROPOSED BUILDING ELEVATIONS

DOOR & WINDOW SCHEDULES

SHEET NUMBER
A3.01

N.W. 24th TERRACE

50' RIGHT OF WAY
ASPHALT PAVEMENT

N00°50'06"E

60.00

5' WALK

25'

BM
SET NAIL
& DISC.
#LB3635
ELEV. = 8.43'

BM
SET NAIL
& DISC.
#LB3635
ELEV. = 8.31'

FOUND 1/2"
IRON ROD
(NO ID)
FENCE
0.65' N.
0.30' E.

FOUND 1/2"
IRON ROD
(NO ID)
FENCE
0.05' N.
0.20' E.

S90°00'00"W

100.00'

LOT 4 BLOCK 4

N90°00'00"E

100.00'

LOT 2 BLOCK 4

ONE STORY
RESIDENCE #1824
LOT 3 BLOCK 4

ELEVATION 9.00'
AT THIS
ENTRANCE

NEW ADDITION
CONC SLAB
& STEM WALLS
ONLY

SHED
26.86'

S00°50'06"W

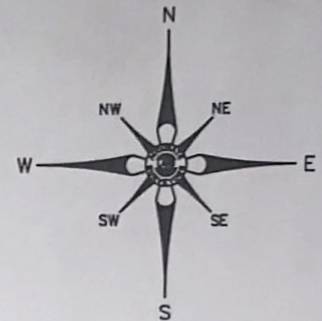
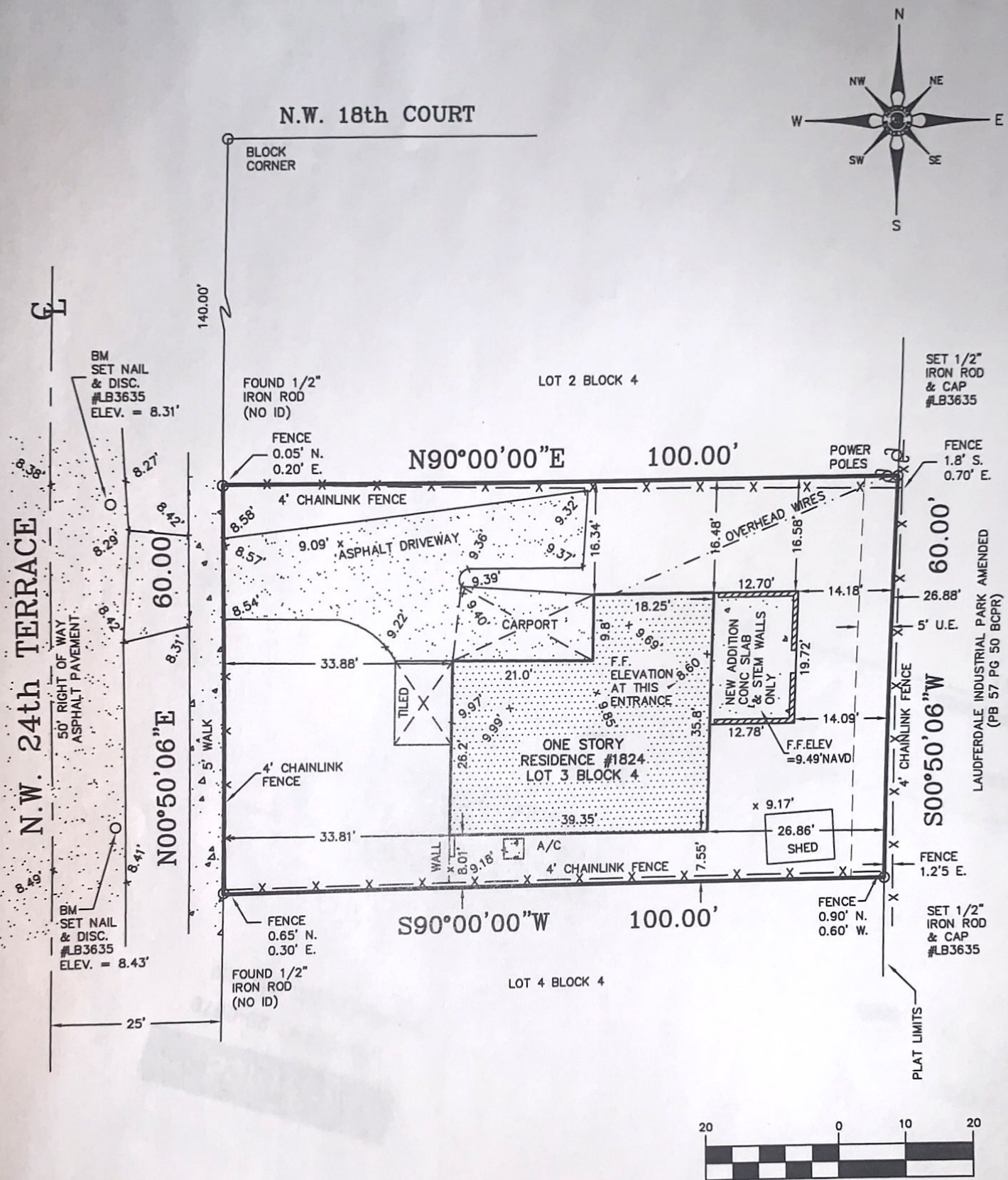
60.00'

LAUDFERDALE INDUSTRIAL PARK AMENDED
(PB 57 PG 50 BCPR)

SET 1/2"
IRON ROD
& CAP
#LB3635

SET 1/2"
IRON ROD
& CAP
#LB3635

PLAT LIMITS



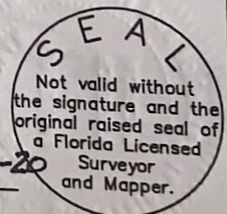
* 9.85' DENOTES ELEVATIONS PER NAVD

NOTES:

- UNLESS OTHERWISE NOTED FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
- BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF S00°50'06"W, ALONG THE EAST LINE OF BLOCK 4, PLAT BOOK 34 PAGE 21, BROWARD COUNTY PUBLIC RECORDS.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS, OR OTHER MATTERS OF RECORDS BY ACCURATE LAND SURVEYORS, INC.
- OWNERSHIP OF FENCES AND WALLS IF ANY NOT DETERMINED.
- THIS DRAWING IS THE PROPERTY OF ACCURATE LAND SURVEYORS, INC. AND SHALL NOT BE USED FOR REPRODUCTION IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- THIS SURVEY CONSISTS OF A MAP AND TEXT REPORT. ONE IS NOT VALID WITHOUT THE OTHER.
- THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON, TO BE VALID ONE YEAR FROM THE LAST DATE OF SURVEY AS SHOWN.
- THE FLOOD ZONE INFORMATION SHOWN HEREON IS FOR THE DWELLABLE STRUCTURE ONLY UNLESS OTHERWISE INDICATED.
- THE LOCATION OF OVERHEAD UTILITY LINES ARE APPROXIMATE IN NATURE DUE TO THEIR PROXIMITY ABOVE GROUND. SIZE, TYPE & QUANTITY MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
- THIS SURVEY MEETS OR EXCEEDS SUBURBAN LINEAR: 1 FOOT IN 7,500 FEET.

CERTIFICATION:

THIS IS TO CERTIFY THAT THIS ABOVE GROUND SKETCH OF BOUNDARY SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SKETCH MEETS THE CURRENT STANDARDS OF PRACTICE, ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



Robert L. Thompson 4-10-20
ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA

| REVISIONS & SURVEY UPDATES | | DATE OF SURVEY & REVISIONS | | BY |
|----------------------------|----------|----------------------------|------------|--------|
| SPOT SURVEY SU-20-0679 | | 04-09-2020 | | AL/RLT |
| DATE OF SURVEY | DRAWN BY | CHECKED BY | FIELD BOOK | |
| 08/29/18 | SP | RLT | 18-2727 | |

SCALE 1"= 20' SKETCH NUMBER SU-18-2727

TYPE OF SURVEY: BOUNDARY & TOPOGRAPHIC

JOB NUMBER: SU-18-2727

LEGAL DESCRIPTION:

LOT 3, BLOCK 4 OF LAUDERDALE MANOR HOMESITES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ADDRESS: 1824 NW 24TH TERRACE FORT LAUDERDALE, FL 33311.

FLOOD ZONE: X(0.2%)
BASE FLOOD ELEVATION: N/A
CONTROL PANEL NUMBER: 1251050368H
EFFECTIVE: 8/18/2014 REVISED:

LOWEST FLOOR ELEVATION: SEE SURVEY
GARAGE FLOOR ELEVATION: SEE SURVEY
LOWEST ADJACENT GRADE : SEE SURVEY
HIGHEST ADJACENT GRADE : SEE SURVEY

REFERENCE BENCH MARK: COFTL NW 364 ELEV: 8.30'NAVD

CERTIFY TO:

1. CHRISTINA BRENNEN
- 2.
- 3.
- 4.
- 5.
- 6.

NOTICE:

THIS SURVEY IS MADE FOR MORTGAGE AND TITLE PURPOSES ONLY AND SHOULD NOT BE USED FOR DESIGN OR CONSTRUCTION PURPOSES.

NOTES:

1. THIS SURVEY CONSISTS OF A MAP AND A TEXT REPORT. ONE IS NOT VALID WITHOUT THE OTHER.
2. OWNERSHIP OF FENCE AND WALLS IF ANY, NOT DETERMINED.
3. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON. TO BE VALID ONE YEAR FROM THE DATE OF SURVEY AS SHOWN HEREON.

| | | | | | |
|------|---|--------------------|------|----|------|
| A | = | CENTRAL ANGLE | 7.00 | OR | 7.00 |
| A | = | ARC LENGTH | | | |
| CB | = | CHORD BEARING | | | |
| R | = | RADIUS | | | |
| RW | = | RIGHT OF WAY | | | |
| P.C. | = | POINT OF CURVATURE | | | |
| P.T. | = | POINT OF TANGENCY | | | |
| WM | = | WATER METER | | | |
| OH | = | OVERHANG | | | |
| N | = | NORTH | | | |
| S | = | SOUTH | | | |
| E | = | EAST | | | |
| W | = | WEST | | | |
| B.M. | = | BENCHMARK | | | |
| FH | = | FIRE HYDRANT | | | |
| ofs | = | OFFSET | | | |
| SEC. | = | SECTION | | | |
| TWP. | = | TOWNSHIP | | | |
| RGE. | = | RANGE | | | |

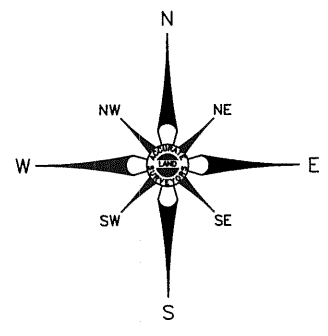
LEGEND OF ABBREVIATIONS:

| | | | | | |
|----------|---|---------------------------|-----------------------|---|------------------------|
| SQ. FT. | = | SQUARE FEET | MAINT. | = | MAINTENANCE |
| P.C.P. | = | PERMANENT CONTROL POINT | B.C.R. | = | BROWARD COUNTY RECORDS |
| P.B.C.R. | = | PALM BEACH COUNTY RECORDS | D.C.R. | = | DADE COUNTY RECORDS |
| P | = | PLAT | P.B. | = | PLAT BOOK |
| N&D | = | NAIL & DISC | O.R.B. | = | OFFICIAL RECORDS BOOK |
| P.O.C. | = | POINT OF COMMENCEMENT | F.F. | = | FINISHED FLOOR |
| P.O.B. | = | POINT OF BEGINNING | ENCH. | = | ENCROACH |
| A/C | = | AIR CONDITIONER | | | |
| FND. | = | FOUND | — x — x — x — x — | = | CHAIN LINK FENCE |
| CHATT. | = | CHATTAHOOCHEE | — // // // // // | = | WOOD FENCE |
| F.P.L. | = | FLORIDA POWER & LIGHT | — □ — □ — □ — □ — | = | METAL FENCE |
| ELEV. | = | ELEVATION | — ○ — ○ — ○ — ○ — | = | PVC FENCE |
| MH | = | MANHOLE | — — — — — | = | CONCRETE FENCE |
| ESMT. | = | EASEMENT | — / / / / / / / / | = | CONCRETE WALL |
| ELEC. | = | ELECTRIC | — * — * — * — * — | = | WIRE FENCE |

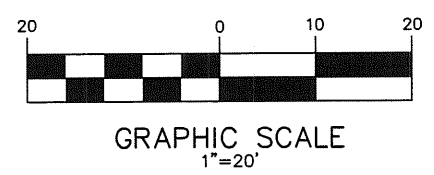
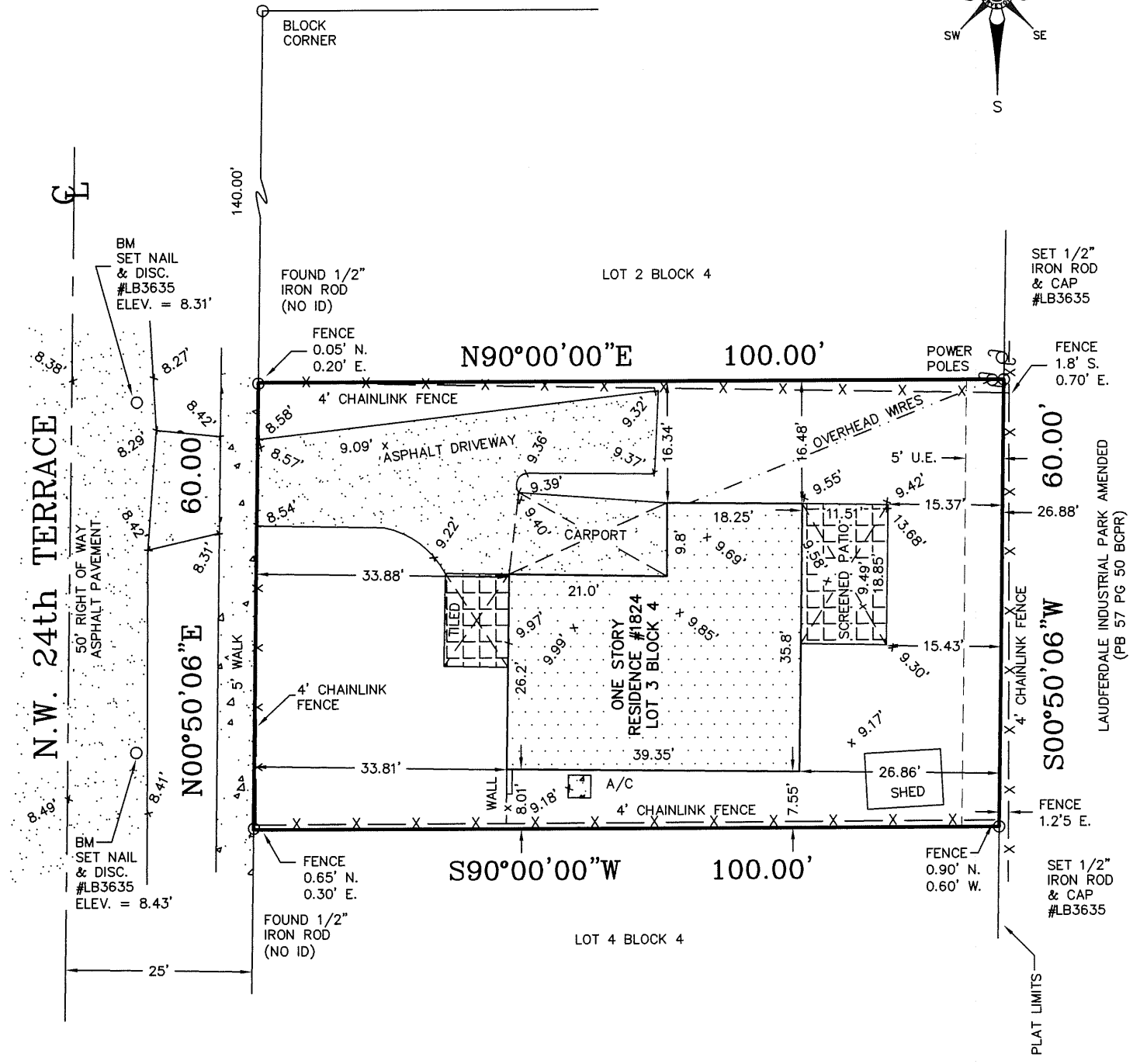
BROWARD COUNTY NAVD1988

| | | |
|----------|---|------------------------------------|
| D.B. | = | DEED BOOK |
| CLF | = | CHAIN LINK FENCE |
| WF | = | WOOD FENCE |
| BLVD. | = | BOULEVARD |
| AD | = | ASSUMED DATUM |
| I.M. | = | IRON PIPE |
| I.R. | = | IRON ROD |
| GAR. | = | GARAGE |
| C/L | = | CENTERLINE |
| (M) | = | MEASURED |
| LP | = | LIGHT POLE |
| U.E. | = | UTILITY EASEMENT |
| D.E. | = | DRAINAGE EASEMENT |
| A.E. | = | ANCHOR EASEMENT |
| P.R.M. | = | PERMANENT REFERENCE MONUMENT |
| N.A.V.D. | = | NORTH AMERICAN VERTICAL DATUM 1988 |





N.W. 18th COURT



x 9.85' DENOTES ELEVATIONS PER NAVD

- NOTES:**
- UNLESS OTHERWISE NOTED FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
 - BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF S00°50'06\"/>

CERTIFICATION:
 This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter 5J-17, Florida Administrative Codes, pursuant to current Section 472.027, Florida Statutes.



Robert L. Thompson
ROBERT L. THOMPSON (PRESIDENT)
 PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA

| REVISIONS | DATE | BY |
|-----------|------|----|
| | | |
| | | |
| | | |

| | | | |
|----------------------------|----------------|-------------------|-----------------------|
| DATE OF SURVEY 08/29/18 | DRAWN BY SP | CHECKED BY RLT | FIELD BOOK 18-2727 |
|----------------------------|----------------|-------------------|-----------------------|

SCALE 1" = 20' SKETCH NUMBER SU-18-2727

Color Photographs – Rear Addition



Rear Addition –South Elevation



Rear Addition – North Elevation



Rear Addition – East Elevation