



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: August 24, 2021

PROPERTY OWNER: Bud Robinson Memorial Church of the Nazarene

APPLICANT/AGENT: Robert Lochrie, Lochrie and Chakas, P.A.

PROJECT NAME: Marina Landings

CASE NUMBER: UDP-S21033

REQUEST: Site Plan Level III Review: Zero Lot Line Development
with 34 Residential Units

LOCATION: 2300 SW 15th Avenue

ZONING: Residential Single Family and Duplex/Medium Density
(RD-15)

LAND USE: Medium Residential

CASE PLANNER: Tyler Laforme



Case Number: UDP-S21033

CASE COMMENTS:

Please provide a response to the following:

1. Specify that for zero lot line developments openings and roof overhang projections shall be permitted on the exterior wall of a building located on a zero lot line when the building exterior wall is separated from an adjacent building exterior wall by a distance of 6 feet or more, and the roof overhang projection is separated from an adjacent building projection by a distance of 4 feet or more, with 1-hour fire-resistive construction on the underside of the overhang required, unless the separation between projections is 6 feet or more per section R302.1.7 of the 2020 FBC Residential Volume.
2. Specify fire-resistance separation requirements based on section R302 of FBC 2020 Residential Volume.
3. Provide building construction type designation per Chapter 6 of the FBC

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. Florida Building Code Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

- a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeld=C OOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - a. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
 - b. https://floridabuilding.org/bc/bc_default.aspx
 - c. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



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DEDICATION OF RIGHTS-OF-WAY: The following property shall be conveyed to the public by plat, deed or grant of easement as needed or applicable in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards:

- a. Provide permanent Sidewalk Easement as appropriate along east side of SW 15th Avenue to accommodate the required pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way; show / label delineation in the plans.
- b. Prior to issuance of Final C.O., applicant shall record a pedestrian sidewalk access easement along the east side of SW 15th Avenue to accommodate the required pedestrian clear path located outside of existing right-of-way.
- c. Proposed sanitary sewer manhole # 1 shall be center on easement, 7.5-ft from manhole center to easement line. Additionally, the manhole shall be installed at 2.5-ft from the property line to the center of the manhole if conditions allow.
- d. Prior to issuance of Final C.O., applicant shall dedicate minimum ten (10) foot by fifteen (15) foot utility easement or as indicated on plan for the first private sanitary sewer manhole located within the proposed development and outside of existing right-of-way to facilitate City maintenance and access.
- e. Proposed 8-inch public water main and 8-inch meter requires a 15-ft wide utility easement center on main and meter. The utility easement shall extend 7.5-ft beyond the center of the meter. For the northern connection proposed parallel to the right of way, please extend any parallel side of the utility easement to meet right-of-way line.
- f. Prior to issuance of Final C.O., applicant shall dedicate a minimum ten (10) foot by fifteen (15) foot utility easement for the proposed 8-inch public water mains and meters or as indicated on plan located within the proposed development and outside of existing right-of-way to facilitate City maintenance access as approved by the City Engineer.

CASE COMMENTS:

Prior to Planning and Zoning Board Meeting sign-off, please provide updated plans and written response to the following review comments:

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department in order to meet the City's adequacy requirements per ULDR Section 47-25.2 of the City's Code of Ordinances. Submit water and wastewater capacity availability request form and documents/ plans at <https://www.fortlauderdale.gov/departments/sustainable-development/building-services/engineering-forms-and-contact-info/development-review-committee-service-demand-calculations-for-water-sewer-request-form>



2. The survey shall be based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale.
3. Continue concrete sidewalk across the proposed SW 15th Avenue driveways access point.
4. Wet Retention design shall comply with South Florida Water Management District area dimensional criteria, please refer to AH VOL.II 5.4.2
5. Delineate required 20-foot-wide maintenance and operation easements, in compliance South Florida Water Management District AH VOL.II 5.5.
6. Water meter assemblies to be located on slab above ground within utility easement.
7. Any road cuts for utilities or curb cuts within City Right-of-Way shall be restored to full lane width for 50' minimum length (by contractor), per City Code of Ordinances Section 25-108; show and label in plans as appropriate.
8. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles, construction fence gates shall not swing into the public Right-of-Way. Any City Right-of-Way closure over 72 hours requires a Revocable License Agreement, processed by Property Right-Of-Way Committee (DRC) and approved by the City's Commission, prior to Right-of-Way permit issuance by the Department of Sustainable Development for Maintenance of Traffic.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S21033

CASE COMMENTS:

Please provide a response to the following:

Comments may be forthcoming.



Case Number: UDP-S21033

CASE COMMENTS:

Please provide a response to the following:

1. Entry doors should be solid, impact-resistant, or metal.
2. Residential units entry doors should be equipped with a quality secondary deadbolt locking system and have a 180-degree peephole or viewport for security.
3. Sliding glass doors and sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or deadbolts. The door should also provide features to prevent the doors from being lifted off the track.
4. All glazing should be impact resistant.
5. Units should be pre-wired for an alarm system.
6. Garage doors should be impact resistant.
7. Lighting and landscaping should follow the City of Ft. Lauderdale C.P.T.E.D. Guidelines.

GENERAL COMMENTS

It is highly recommended that the managing company make arrangements for private security during construction.

Please submit responses in writing prior to DRC sign off.



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CASE COMMENTS:

Please provide a response to the following:

1. Solid Waste services shall be provided by the city of Fort Lauderdale.
2. Solid Waste charges shall be included in the City's monthly utility bill – each living unit with a water meter will pay city Sanitation.
3. Service Days shall be per the City's residential routing schedule.
4. Solid Waste collection shall be curbside.
5. Provide on the site plan a garbage truck turning radii for City review. Indicate how truck will circulate within property.
6. Containers shall be stored in garages on non-scheduled collection days.
7. Show garage storage area on the site plan.
8. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - o This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to dwilson@fortlauderdale.gov. Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
 - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None



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CASE COMMENTS:

1. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for the driveway.
 - a. For a development which generates less than five hundred (500) trips per day or less you may apply for a stacking requirement reduction based on a traffic impact statement prepared by licensed engineer, architect, or planner. See section 47-20.5.6.d.
2. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
3. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls.
4. Illustrate clear sight triangle for the intersections and driveways. USING FDOT sw 15 avenue
5. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
6. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances and slopes of the walkways.
7. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
8. Additional comments may be provided upon further review.

GENERAL COMMENTS:

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

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CASE COMMENTS:

Please provide a response to the following:

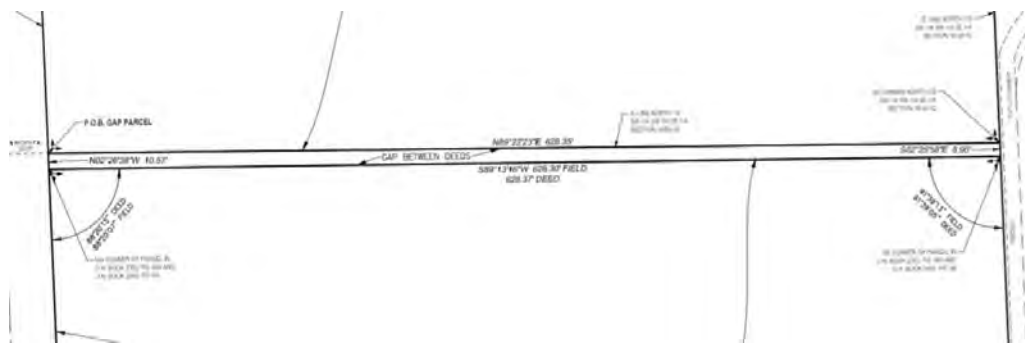
- 1) The proposed project requires review and approval by the Planning and Zoning Board (PZB). A separate application and fee are required for PZB submittal, and the applicant is responsible for all public notice requirements pursuant to Section 47-27. In addition, the development permit shall not take effect nor shall a building permit be issued until thirty (30) days after approval, and then only if no motion is adopted by the City Commission seeking to review the application.
- 2) Pursuant to Public Participation requirements of Unified Land Development Regulations (ULDR), Sections 47-24.1.F.14 and 47-27.4.A.2.c, the applicant must complete the following:
 - a. Prior to submittal of an application to the Planning and Zoning Board (PZB), the applicant shall:
 - i) Provide notice via e-mail and regular mail to the official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting (a listing of officially-recognized neighborhood associations is provided on the City of Fort Lauderdale website: <http://www.fortlauderdale.gov/neighbors/civic-associations>); and,
 - ii) Provide notice via mailed letter to property owners whose real property is located within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.
 - b. The applicant shall conduct the public participation meeting(s) a minimum of 30 days prior to the PZB. This date and location of the meeting are at the discretion of the applicant. Once the meeting(s) is conducted, the applicant shall provide a written report letter to the Department of Sustainable Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after a public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the administrative case file record. A minimum of ten (10) days prior to the PZB meeting, the applicant shall execute and submit an affidavit of proof of public notice to the Department.
- 3) The site is designated as Medium on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 4) Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#).
- 5) Provide the following changes on the site plan:
 - a. Building footprint, building egress/ingress, sidewalk from building entrance to public sidewalk, garages, driveway and each units' site layout to ensure compliance with ULDR Section 47-18.38;
 - b. Label the landscape strip between the sidewalk and internal road;
 - c. Provide the stacking dimension for inbound traffic at the call box;
 - d. Provide a trash area location within the garages for each unit;
 - e. Relocation of Building 16 away from drainage retention area;



- f. Currently, the internal roadway is 20 feet wide. The two parking stalls located along the roadway at the east corner of the plan need 24 feet of backout space.
g. Overhead powerlines (labeled on the west and south sides of the site plan) should be undergrounded;
h. Nothing can be built in the drainage easement on the northeast corner of the site. Revise the site plan and unit orientation accordingly. (Affected lots: #7,8,9,10,11,12).
6) Per ULDR Section 47-18.38, Specific Use requirements for zero lot line developments, please ensure compliance with the following:
a. Show minimum 3-foot sidewalk from front door to public sidewalk;
b. Label each of the different unit types on the site plan;
c. Provide the dimension from the side property lines to the driveway for the units, minimum distance is 12 inches from property line;
d. Ensure all building wall requirements are met.
e. Verify that all portions of each structure above 22 feet in height are set back a minimum of 1 foot for every additional 1 foot of height. Show this additional setback from property lines on elevations. (See images below).



- 7) On the survey, it shows a "gap between deeds". Provide information on the area and if the area is included in the development site. (See below image for reference.)



- 8) Consider providing pedestrian amenities or features for the lake such as, but not limited to, benches, shade trellises/structures (gazebo with overlook to the water), or a water feature/fountain? Include information in the narrative on amenities proposed.
9) Show in the site plan data table that the required parking for the church will still be available for the church use.
10) Be aware that the lots and new roadway will need to be platted at time of building permit.

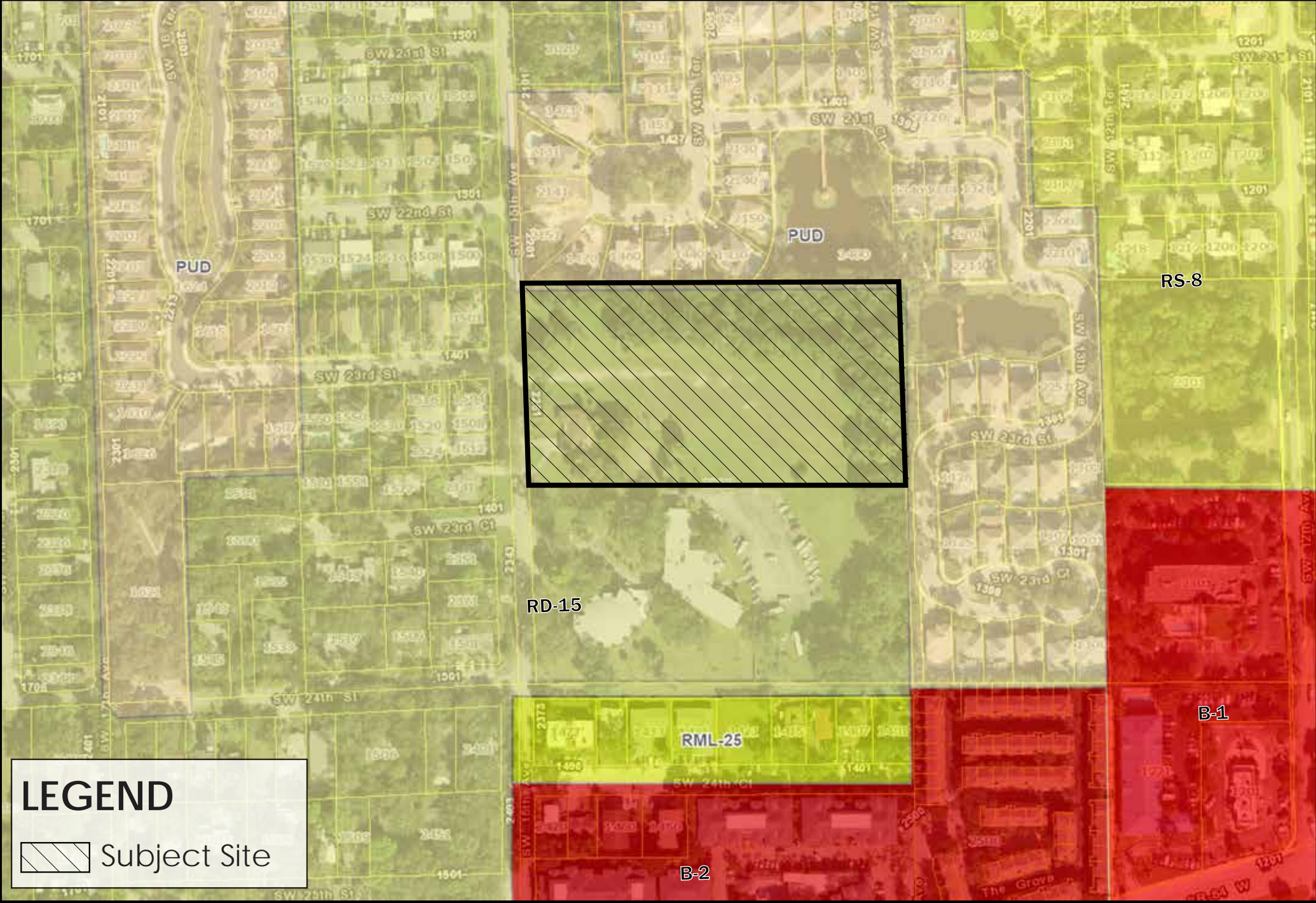


- 11) Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: <http://www.fortlauderdale.gov/departments/sustainable-development/building-services/permit-fees/park-impact-fee-calculator>
- 12) This project is subject to the requirements of Broward County Public School Concurrency. The applicant will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied. The City cannot accept a building permit application, nor issue a building permit, for new or additional residential units, unless the applicant presents evidence from Broward County that the impact of the proposed development on public educational sites and facilities has been mitigated by payment of school impact fees.
- 13) The City's Vision is to support sustainable infrastructure. Consider a green sustainable roof as part of this site plan. Green roofs help to conserve energy, improve air quality and may provide an extra amenity space. Other green building practices to be considered throughout the project include tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, and solar panels.


GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

- 14) Provide a written response to all DRC comments within 180 days.
- 15) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 16) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner (Tyler Laforme 954-828-5633) to review project revisions and/or to obtain a signature routing stamp.
- 17) Pursuant to the State Statute 166.033(1) applications must be deemed approved, approved with conditions, or denied within 120 days, or 180 days for applications subject to a quasi-judicial hearing or a public hearing, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension will result in the application being denied by the City and the applicant will be required to refile a new application and fees to proceed.
- 18) Additional comments may be forthcoming at the DRC meeting.
- 19) All construction activity must comply with Code of Ordinances, Section 24-11, Construction sites. Contact Noel Zamora, Structural Plans Examiner (954-828-5536) to obtain his signature on the final DRC plans.



LEGEND

 Subject Site

UDP-S21033: Marina Landings

2300 SW 15th Ave

