



BOARD OF ADJUSTMENT MEETING NOTICE

February 15, 2023

A Public Hearing will be held before the Board of Adjustment on: **Tuesday, March 7, 2023, at 6:00 P.M**

This meeting will be held in the City Commission Chambers, City Hall, 1st Floor, 100 North Andrews Avenue, Fort Lauderdale, Florida 33301 to determine whether the following application should be granted:

CASE:	PLN-BOA-23020004
OWNER:	ARMSTRONG, SHARON H/E; ARMSTRONG, STEVEN
AGENT:	N/A
ADDRESS:	1208 MANDARIN ISLE, FORT LAUDERDALE, FL., 33315-1647
LEGAL DESCRIPTION:	LOT 41, OF "SOUTH NEW RIVER" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40, AT PAGE 5, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY)
ZONING DISTRICT:	RS-8 – RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	4
REQUESTING:	<u>Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district.</u> <ul style="list-style-type: none"> • Requesting a variance to allow a garage and a second floor living space at a front yard setback of 24.10 feet, whereas the code allows a minimum of 25 feet setback, a total variance request to reduce the front setback by 0.90 feet.

Note: This property had an existing non-conforming garage at the same location (24.10 feet) which was demolished.

Note: To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALI
ZONING ADMINISTRATOR

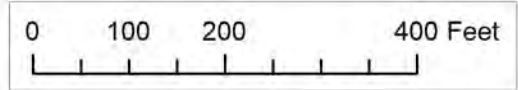
Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.



PLN-BOA-23020004

Path: J:\DSD\DRCLocationMaps_16_RM\ArcMap\2023\BOA_2023_03-07\PLN-BOA-23020004.mxd



Graphic Scale



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: March 7, 2023

TIME: 6:00 PM

CASE: PLN-BOA-23020004

Sec. 47-5.31.-Table of dimensional requirements for the RS-8 district.

- Requesting a variance to allow a garage and a second floor living space at a front yard setback of 24.10 feet, whereas the code allows a minimum of 25 feet setback, a total variance request to reduce the front setback by 0.90 feet.

LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE

INFORMATION: CONTACT (954) 828-6506
<http://www.fortlauderdale.gov>

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must POST SIGNS (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. 23020004

APPLICANT: Steve Armstrong

PROPERTY: 1208 Mandarin Isle, Ft. Laud., Fl. 33315

PUBLIC HEARING DATE: March 7th, 2023

BEFORE ME, the undersigned authority, personally appeared Steve Armstrong, who upon being duly sworn and cautioned, under oath deposes and says:

- Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. (initial here)


Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 21 day of February, 2023

(SEAL)

Roseanne Outten
Notary Public
State of Florida
Comm# HH055601
Expires 11/17/2024

NOTARY PUBLIC
MY COMMISSION EXPIRES:

 CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: March 7, 2023 TIME: 6:00 PM CASE: PLN-BOA-23020004

Sec. 47-5.31 - Table of dimensional requirements for the RS-8 district.

- Requesting a variance to allow a garage and a second floor living space at a front yard setback of 24.10 feet, whereas the code allows a minimum of 25 feet setback, a total variance request to reduce the front setback by 0.90 feet.

LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE

INFORMATION: CONTACT (954) 828-6506
<http://www.fortlauderdale.gov>

The notice is the property of the City of Fort Lauderdale. It shall be returned for any person to whom it is loaned. It shall be returned to the City of Fort Lauderdale, Office of the City Clerk, 100 N. Andrews Avenue, Fort Lauderdale, FL 33301. It shall be returned to the City of Fort Lauderdale, Office of the City Clerk, 100 N. Andrews Avenue, Fort Lauderdale, FL 33301. It shall be returned to the City of Fort Lauderdale, Office of the City Clerk, 100 N. Andrews Avenue, Fort Lauderdale, FL 33301.



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING
DATE: March 7, 2023 TIME: 6:00 PM CASE: PLN-BOA-23020004
Sec. 47-5.31 - Table of dimensional requirements for the RS-8 district.

- Requesting a variance to allow a garage and a second floor living space at a front yard setback of 24.10 feet, whereas the code allows a minimum of 25 feet setback, a total variance request to reduce the front setback by 0.90 feet.

LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE

INFORMATION: CONTACT (954) 828-6506
<http://www.fortlauderdale.gov>



Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district. (Note A)

Requirements	RS-8	RS-8A
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side yard	5 ft. - up to 22 ft. in height Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height. 25 ft. when abutting a waterway Special side yard setbacks 7.5 ft.: Coral Ridge Country Club Addition 4, P.B. 53 P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J. Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16. Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T. Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 & 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G & H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L & M.	For a building with a height no greater than 12 ft.- 5 ft. For a building with a height greater than 12 ft. - 7.5 ft. That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height 25 ft. when abutting a waterway Special side yard setbacks as provided in RS-8
Minimum rear yard	15 ft. 25 ft. when abutting a waterway Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions: Coral Ridge Isles Flamingo Pk.—Section "C" & "D" Lakes Estates Golf Estates Imperial Pt.—4th Sec. The Landings Rio Nuevo Isle—Block 1	25 ft. 25 ft. when abutting a waterway Special rear yard setbacks as provided in RS-8

Minimum distance between buildings	None			None	
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤7,500 sf	50%	0.75	40%	0.55
Lot coverage and FAR	7,501—12,000 sf	45%	0.75	35%	0.55
	>12,000 sf	40%	0.60	30%	0.50

Note A: Dimensional requirements may be subject to additional regulations, see [Section 47-23](#), Specific Location Requirements, and [Section 47-25](#), Development Review Criteria.

*Allowances for modifications of lot widths may be permitted in accordance with the requirements of [Section 47-23.10](#), Specific Location Requirements.

**An increase in the maximum FAR or lot coverage may be permitted subject to the requirements of a site plan level III, see [Section 47-24.2](#).

***All other regulations relating to district RS-8 shall apply to RS-8A.

(Ord. No. C-97-19, § 1(47-5.4), 6-18-97; Ord. No. C-99-26, § 1, 4-20-99; Ord. No. C-99-62, § 1, 9-21-99; Ord. No. C-04-67, § 1, 1-4-05; Ord. No. C-08-05, § 3, 2-5-08)

Record

Menu Refine Search New GIS Create a Set View Log Reports Help My Filters --Select-- Module Planning

Showing 1-19 of 19

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Opened Date	Status
<input type="checkbox"/>	PLN-BOA-23020004	Sec. 47-5.31. - Table of dimensional requirements...	Variance Exception/Interpret...	Z- Board of Adjustment (BOA)	0		1208		MANDARIN	ISLE	02/03/2023	Open
<input type="checkbox"/>	PLB-GAS-23010003	ADDITION OF 2000 SQFT	ADDITION OF 2000 SQFT	Plumbing Gas Permit	0		1208		MANDARIN	ISLE	01/03/2023	Awaiting Client Reply
<input type="checkbox"/>	BLD-ROOF-22120082	RE-ROOF 2,900 SQ FT OF METAL	STEVEN ARMSTRONG	Re-Roof Permit	0		1208		MANDARIN	ISLE	12/21/2022	Issued
<input type="checkbox"/>	MEC-HVCHG-22120049	KITCHEN EXHAUST HOOD CONNECTION	KITCHEN EXHAUST HOOD CONNECTION	Mechanical HVAC Changeout Permit	0		1208		MANDARIN	ISLE	12/12/2022	Void
<input type="checkbox"/>	MEC-RES-22050023	MECH FOR BLD-RADD-22030016	MECH FOR BLD-RADD-22030016	Mechanical Residential Permit	0		1208		MANDARIN	ISLE	05/06/2022	Issued
<input type="checkbox"/>	ELE-RES-22050053	ELEC FOR BLD-RADD-22030016	ELEC FOR BLD-RADD-22030016	Electrical Residential Permit	0		1208		MANDARIN	ISLE	05/06/2022	Issued
<input type="checkbox"/>	BLD-RADD-22030016	ADDITION OF 2000 SQFT	ADDITION OF 2000 SQFT	Residential Addition Permit	50		1208		MANDARIN	ISLE	03/17/2022	Issued
<input type="checkbox"/>	PLB-RES-22030142	PLUMBING INSTALLATION	PLUMBING INSTALLATION	Plumbing Residential Permit	0		1208		MANDARIN	ISLE	03/17/2022	Issued
<input type="checkbox"/>	PLB-MET-20070010	INSTALL 1 INCH IRRIGATION METER AND BACKFLOW	Irrigation Water Meter	Plumbing Meter Install Permit	0		1208		MANDARIN	ISLE	07/23/2020	Complete
<input type="checkbox"/>	BLD-WIN-20070078	WINDOWS 18 & DOORS 3 REPLACE WITH IMPACT	WINDOWS 18 & DOORS 3 REPLACE...	Window and Door Permit	0		1208		MANDARIN	ISLE	07/08/2020	Complete
<input type="checkbox"/>	BLD-BDSP-20050029	INSTALL 75' X 7' WOOD DOCK OVER CAP; INSTALL 2700...		Boatlift-Dock-Seawall-Pile Permit	0		1208		MANDARIN	ISLE	05/27/2020	Complete
<input type="checkbox"/>	ELE-RES-20050161	ELECTRICAL FOR BOATLIFT BLD-BDSP-20050029		Electrical Residential Permit	0		1208		MANDARIN	ISLE	05/27/2020	Complete
<input type="checkbox"/>	PLB-RES-20050125	TUNNEL UNDER BLDG AND REPLACE CAST IRON DRAIN LIN...	TUNNEL UNDER BLDG AND REPLAC...	Plumbing Residential Permit	0		1208		MANDARIN	ISLE	05/21/2020	Complete
<input type="checkbox"/>	LS20040062	L/S ONE-STEP LIEN SEARCH -0- CASE FOUND		Lien Search	0		1208		MANDARIN	ISLE	04/03/2020	Closed
<input type="checkbox"/>	LS20020622	L/S ONE-STEP LIEN SEARCH -0- CASE FOUND		Lien Search	0		1208		MANDARIN	ISLE	02/25/2020	Closed
<input type="checkbox"/>	CE17042010	CART PULL BACK, RESIDENTS DUMP TRASH AND LEAVES O...	DAVIS,F A & ELSIE	Code Case	0		1208		MANDARIN	ISLE	04/24/2017	Closed
<input type="checkbox"/>	VIO-CE17042010_1		DAVIS,F A & ELSIE	Violation-CODE Hearing	0		1208		MANDARIN	ISLE	04/24/2017	Closed
<input type="checkbox"/>	PM-16111644	REPLACE 1 GARAGE DOOR	REPLACE 1 GARAGE DOOR	Window and Door Permit	0		1208		MANDARIN	ISLE	11/17/2016	Complete
<input type="checkbox"/>	PM-03061075	REROOF TILE 1750SF FLAT 620SF TOTAL SF=2370	REROOF TILE 1750SF FLAT 620S...	Re-Roof Permit	0		1208		MANDARIN	ISLE	06/13/2003	Complete

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Steven and Sharon Armstrong	
Property Owner's Signature	If a signed letter is provided, no signature is required on the application by the owner.	
Address, City, State, Zip	1208 Mandarin Isle Ft. Lauderdale, FL 33315	
E-mail Address	steve@designandcutlandscape.com	
Phone Number	954-410-0278	
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or	<input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Letter of Consent Submitted	<input type="checkbox"/>

Development / Project Name	Citrus Isles	
Existing / New	Existing: <input checked="" type="checkbox"/>	New: <input type="checkbox"/>
Project Address	Address: 1208 Mandarin Isle, Ft. Lauderdale, FL 33315	
Legal Description	See Survey	
Tax ID Folio Numbers (For all parcels in development)	504216280410	
Variance Request (Describe)	Requesting a variance to allow a garage + second floor living space at a front yard set back of 24.10 feet, a total setback reduction of 0.90 feet	
Applicable ULDR Sections	Section: 47-5.31	

Current Land Use Designation	Residential Single family / Low Medium Density	
Current Zoning Designation	RS-8 - Single family	
Current Use of Property	Residential	
Site Adjacent to Waterway	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	25'	24.10'
Side	5'	5'
Side		
Rear	25'	25'

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

N/A

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

N/A

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

N/A

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

N/A

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

The variance requested is the minimum and is compatible with surrounding properties.

AFFIDAVIT: I, Steve Armstrong the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.


(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 2 day of February, 2023

(SEAL)


NOTARY PUBLIC
MY COMMISSION EXPIRES:



Roseanne Outten
Notary Public
State of Florida
Comm# HH055601
Expires 11/17/2024



Proof of Ownership

Site Address	1208 MANDARIN ISLE, FORT LAUDERDALE FL 33315-1647	ID #	5042 16 28 0410
Property Owner	ARMSTRONG, SHARON H/E ARMSTRONG, STEVEN	Millage	0312
Mailing Address	1208 MANDARIN ISLE FORT LAUDERDALE FL 33315-1647	Use	01-01
Abbr Legal Description	SOUTH NEW RIVER ISLES SEC D 40-5 B LOT 41		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$198,750	\$321,320	\$520,070	\$363,330	
2022	\$198,750	\$321,320	\$520,070	\$352,750	\$6,341.14
2021	\$198,750	\$269,040	\$467,790	\$342,480	\$6,155.69

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$520,070	\$520,070	\$520,070	\$520,070
Portability	0	0	0	0
Assessed/SOH 21	\$363,330	\$363,330	\$363,330	\$363,330
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$313,330	\$338,330	\$313,330	\$313,330

Sales History			
Date	Type	Price	Book/Page or CIN
5/8/2020	WD-Q	\$503,000	116500513
12/7/2013	QCD-T	\$100	112102962
9/1/1968	WD	\$26,000	

Land Calculations		
Price	Factor	Type
\$25.00	7,950	SF
Adj. Bldg. S.F. (Card, Sketch)		1572
Units/Beds/Baths		1/2/2
Eff./Act. Year Built: 1957/1956		

Special Assessments					

504216270610

GUAVA ISLE

SW 15TH ST

504216270320

504216270330

504216270340

504216270350

504216270360

504216270370

504216270380

504216270390

504216270400

504216270410

504216270420

504216270430

504216270440

504216270450

504216270460

504216270470

504216270620

504216280310

504216280300

504216280290

504216280280

504216280270

504216280260

504216280250

504216280240

504216280230

504216280220

504216280210

504216280200

504216280190

504216280180

504216280170

504216280160

504216280150

504216281150

MANDARIN ISLE

504216280330

504216280340

504216280350

504216280360

504216280370

504216280380

504216280390

504216280400

504216280410

504216280420

504216280430

504216280440

504216280450

504216280460

504216280470

504216280480

504216280490

504216281160

504216280710

504216280700

504216280690

504216280680

504216280670

504216280660

504216280650

504216280640

504216280630

504216280620

504216280610

504216280600

504216280590

504216280580

504216280570

504216280560

504216281150

TANGELO ISLE

504216280750

504216280760

504216280770

504216280780

504216280790

504216280800

504216280810

504216280820

504216280830

504216280840

504216280850

504216280860

504216280870

504216280880

504216280890

504216281160

150 75 0

150 Feet

MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



1208 Mandarin Isle



FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP	ADDRESS__1	
504216270430	ALMOND SHORES PROPERTIES I LLC		2929 SW 3 AVE SUITE 210	MIAMI	FL	33129	MIAMI	FL33129
504216270420	FERNANDEZ,KENNETH		1212 GUAVA ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216270410	WAGENFUHR,GISLAINE SEDANO	WAGENFUHR,JORGE JUNIOR	1791 BLOUNT RD SUITE 913	POMPANO BEACH	FL	33069	POMPANO BEACH	FL33069
504216270400	HUMPHRIES,ANTHONY		1220 GUAVA ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216270390	STAUFFER,DIDIER R & SOPHIE M		1300 GUAVA ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216270380	DEBRUIJN,BEVERLY A	DEBRUIJN,JOHN R ETAL	1304 GUAVA ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216270370	CABLE,ELIZABETH		1308 GUAVA ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216270360	1312 GUAVA ISLE LLC		PO BOX 934114	MARGATE	FL	33093	MARGATE	FL33093
504216281150	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301	FORT LAUDERDALE	FL33301
504216280180	MAXWELL,GAINNEY O		1109 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280190	ANNE,LORAIN		1113 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280200	HUGUET,ROBERTO H/E	HUGUET,KELLY A	1117 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280210	INFANTES,VANESSA D	NISSIM,SHAUL S	1201 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280220	W E INVESTMENTS LLC		1205 MADARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280230	KELLY,PATRICK S & JAMIE W		1209 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280240	SCHULTZ,LEROY H		1213 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280250	OAKMAN,PAUL & KIMBERLY		1217 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280260	CHATMAN,SCOTT M & MICHELLE J		1301 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280270	DORNAU,GREGOR M		1305 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280280	VOLMERT,PAUL M		1309 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280460	WILLIAMS,SUZANNE		1108 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280450	INNOVAX GROUP LLC		50 BISCAYNE BLVD #2206	MIAMI	FL	33122	MIAMI	FL33122
504216280440	CAUSEY,MATTHEW		1116 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280430	LINCOLN,DENNIS P &	LINCOLN,JUDY R	1200 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280420	HORN,DONALD & VERA		1204 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280410	ARMSTRONG,SHARON H/E	ARMSTRONG,STEVEN	1208 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280400	ZOGA,CHRIST		1212 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280390	MCDANIEL,DARREL H/E	MCDANIEL,JULIE	1216 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280380	PENA,FRANK O		1300 MANDARIN ISLES	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315

504216280370	LEVISON,KEITH		1304 MANDARIN ISLE	FORT LAUDERDALE	FL	33316	FORT LAUDERDALE	FL33316
504216280360	SCOTT,WILLIAM A & DOROTHY E	WILLIAM A & DOROTHY SCOTT LIV TR	1308 MANDARIN ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280590	GREEN,MARK & SHUSHANIK		1109 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280600	MACIAS,MICHAEL & MARTA		1113 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280610	DE LARA,JOSE LUIS		1117 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280620	DRUMMOND,MARK S		1201 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280630	LORENZ,RAYMOND		1205 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280640	CONRY,WILLIAM LEE &	BABICH,JANINE	1209 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280650	SCHEURER,CHRISTOPHER J	ROSEN,CYNTHIA R	1213 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280660	SEYBOLD,CHARLES H/E	SEYBOLD,KATHRYN M F	1217 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280670	TZELEPIS,GEORGE	KOMNINAKI,DIMITRA	1317 SW 17 ST	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280680	AYER,EDWIN SHANNON		1305 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280850	MANGAN,MICHAEL P & CYNTHIA A		1112 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280840	JONES,GEORJAN & TIMOTHY		1116 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280830	BEILLY,BRADFORD J		1200 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280820	ROSENROCK LLC		1304 CITRUS ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280810	DONALDSON,STEWART G		1208 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280800	SZAMIER,BRUCE H/E	STRYDOM,INGRID	1212 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280790	TAYLOR,RICHARD	RICHARD TAYLOR LIV TR	1216 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280780	BOGGIARDINO,MICHAEL L & JULIE M		1300 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216280690	FARRELL,TIMOTHY M & JENNIFER S		1309 TANGELO ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
504216281160	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301	FORT LAUDERDALE	FL33301
504216270620	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301	FORT LAUDERDALE	FL33301

LEGAL_LINE	LEGAL_LI_1	LEGAL_LI_2
SOUTH NEW RIVER ISLES SEC C	37-15 B	LOT 43
SOUTH NEW RIVER ISLES SEC C	37-15 B	LOT 42
SOUTH NEW RIVER ISLES SEC C	37-15 B	LOT 41
SOUTH NEW RIVER ISLES SEC C	37-15 B	LOT 40
SOUTH NEW RIVER ISLES SEC C	37-15 B	LOT 39
SOUTH NEW RIVER ISLES SEC C	37-15 B	LOT 38
SOUTH NEW RIVER ISLES SEC C	37-15 B	LOT 37
SOUTH NEW RIVER ISLES SEC C	37-15 B	LOT 36
	ROAD RIGHTS OF WAY DEDICATED	
SOUTH NEW RIVER ISLES 40-5 B	PER	PLAT
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 18
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 19
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 20
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 21
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 22
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 23
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 24
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 25
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 26
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 27
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 28
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 46
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 45
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 44
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 43
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 42
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 41
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 40
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 39
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 38

SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 37
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 36
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 59
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 60
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 61
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 62
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 63
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 64
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 65
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 66
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 67
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 68
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 86
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 85
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 84
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 83
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 82
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 81
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 80
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 79
SOUTH NEW RIVER ISLES SEC D	40-5 B	LOT 69
	CANALS AS DEDICATED	
SOUTH NEW RIVER ISLES 40-5 B	PER PLAT	
SOUTH NEW RIVER ISLES SEC C	37-15 B	CANAL AS DEDICATED PER PLAT


Steven Armstrong

1208 Mandarin Isle
Fort Lauderdale, FL 33315
954-410-0278

February 9, 2023

NARRATIVE:

The request for this variance is regarding the failed spot elevation survey during the construction of a home addition, due to minor encroachment in the front yard setback. The pre-existing legal non-conforming structure that encroached into the setback was demolished and rebuilt. The survey shows that the foundation placement is exactly where the previous garage was located. The encroachment into the front yard setback is approximately .9 foot for the 19 foot width garage. This condition has existed since the home was built in 1955, with the carport in this location, and later permitted and built the carport enclosed and widened into a two-car garage in 1969. Following section 47-5.31 regarding nonconforming use and nonconforming structures, when the nonconformity is not increased the nonconforming structure and use can remain. The 2nd floor addition could be set back .9 foot to meet the front yard setback requirements. The percentage of encroachment into the front yard setback is less than 1/10 of 1% of the area of the front yard. The majority of the home is setback considerably further than the minimum front yard setback.



Steven Armstrong
Homeowner

Front of house 1208



02/02/2023

Front of house 1208



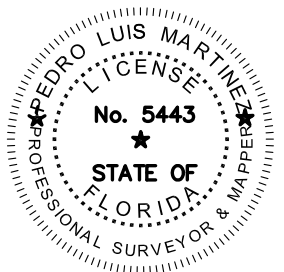
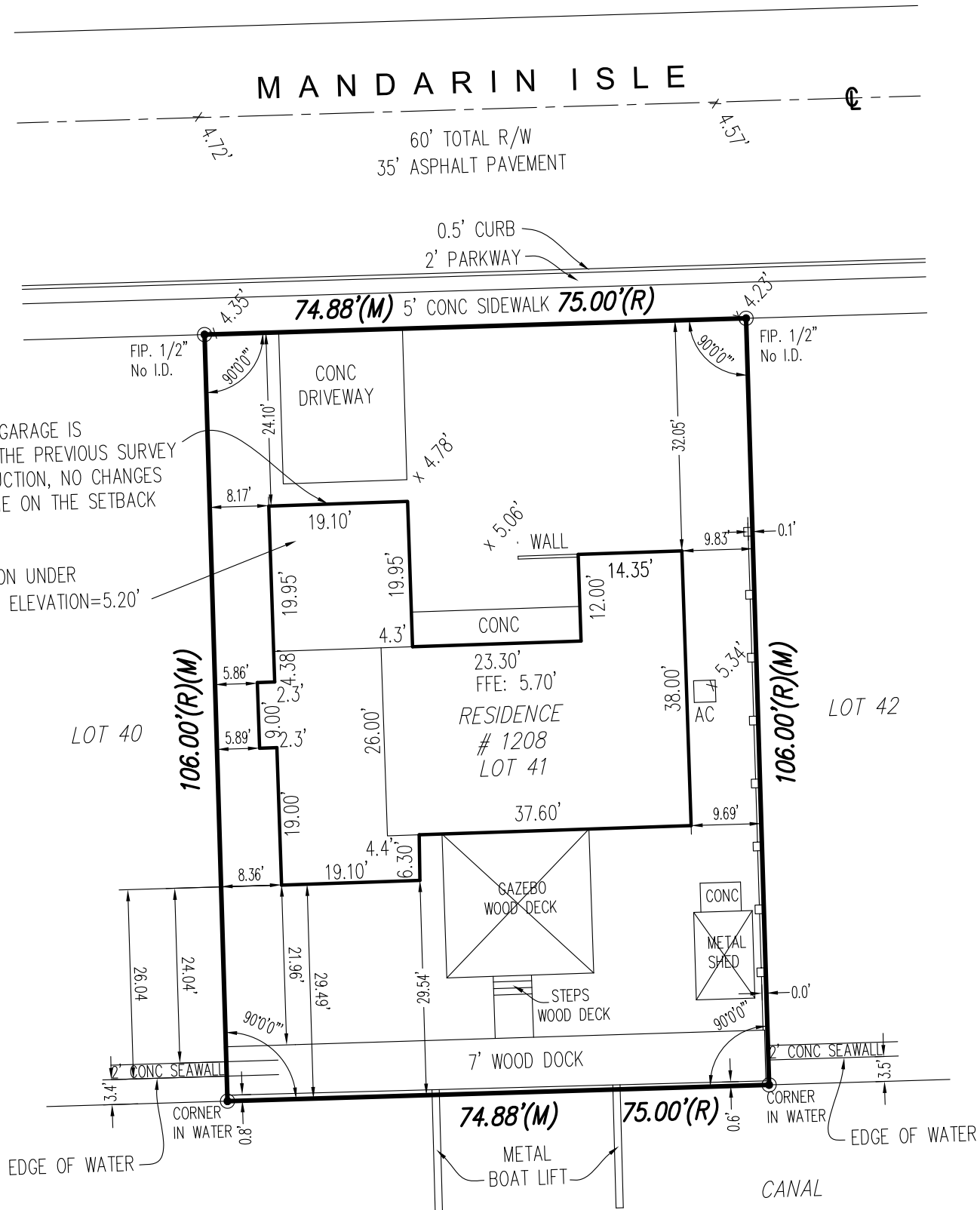
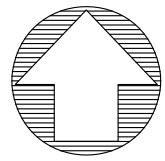
02/02/2023

East side of house 1208



02/02/2023

BOUNDARY SURVEY



ABBREVIATIONS AND LEGEND:

AC	= DENOTES AIR CONDITIONING UNIT
B.C.	= DENOTES BLOCK CORNER
B.M.	= DENOTES BENCH MARK
C.B.S.	= DENOTES CONCRETE BLOCK STUCCO
C & G	= DENOTES CURVE & GUTTER
V.G.	= DENOTES VALLEY GUTTER
CL	= DENOTES CENTERLINE
ML	= DENOTES MONUMENT LINE
F.F.E.	= DENOTES FINISH FLOOR ELEVATION
E.M.	= DENOTES ELECTRIC METER
D.H.	= DENOTES DRILL HOLE
(M)	= DENOTES MEASURE
(R)	= DENOTES RECORD
R/W	= DENOTES RIGHT-OF-WAY
U.E.	= DENOTES UTILITY EASEMENT
P.B.	= DENOTES PLAT BOOK
PG.	= DENOTES PAGE
P.C.P.	= DENOTES PERMANENT CONTROL POINT
☀	= DENOTES LIGHT POLE
x 0.00'	= DENOTES EXISTING ELEVATION
☐	= DENOTES CATCH BASIN
☐	= DENOTES WATER METER
---	= DENOTES WOOD FENCE
- - -	= DENOTES CHAIN LINK FENCE
—○—	= DENOTES IRON FENCE
—○—	= DENOTES OVERHEAD LINE
○	= DENOTES FOUND IRON PIPE (NO I.D.)
○	= DENOTES FOUND NAIL AND DISC
○	= DENOTES FOUND POWER POLE
○	= DENOTES MANHOLE SANITARY
○	= DENOTES MANHOLE STORM
■	= DENOTES ASPHALT
▨	= DENOTES BRICK
▩	= DENOTES CONCRETE PAD
▧	= DENOTES TILE

GENERAL NOTES:

LEGAL DESCRIPTION PROVIDED BY OTHERS. EXAMINATION OF THE ABSTRACT OF THE TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECT THIS PROPERTY.

THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED. ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED. WALL TIES ARE THE FACE OF THE WALL. FENCE OWNERSHIP NOT DETERMINED. BEARINGS REFERENCED TO LINE NOTED AS B.R. BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.

NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED. NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED SEAL. DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN. ELEVATIONS IF SHOWN ARE BASED UPON N.A.V.D. 1988 UNLESS OTHERWISE NOTED.

THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED. THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

BOUNDARY SURVEY		
DATE	DRAWN BY	SCALE
11-04-2022	I.C.	1"=20'
REVISION / UPDATE OF SURVEY		
DATE	DESCRIPTION	
01-20-2023	FIXED FRONT TIE TYPO	

PROPERTY ADDRESS:
1208 MANDARIN ISLE, FORT LAUDERDALE, FLORIDA, 33315

LEGAL DESCRIPTION:
LOT 41, OF " SOUTH NEW RIVER " ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40, AT PAGE 5, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

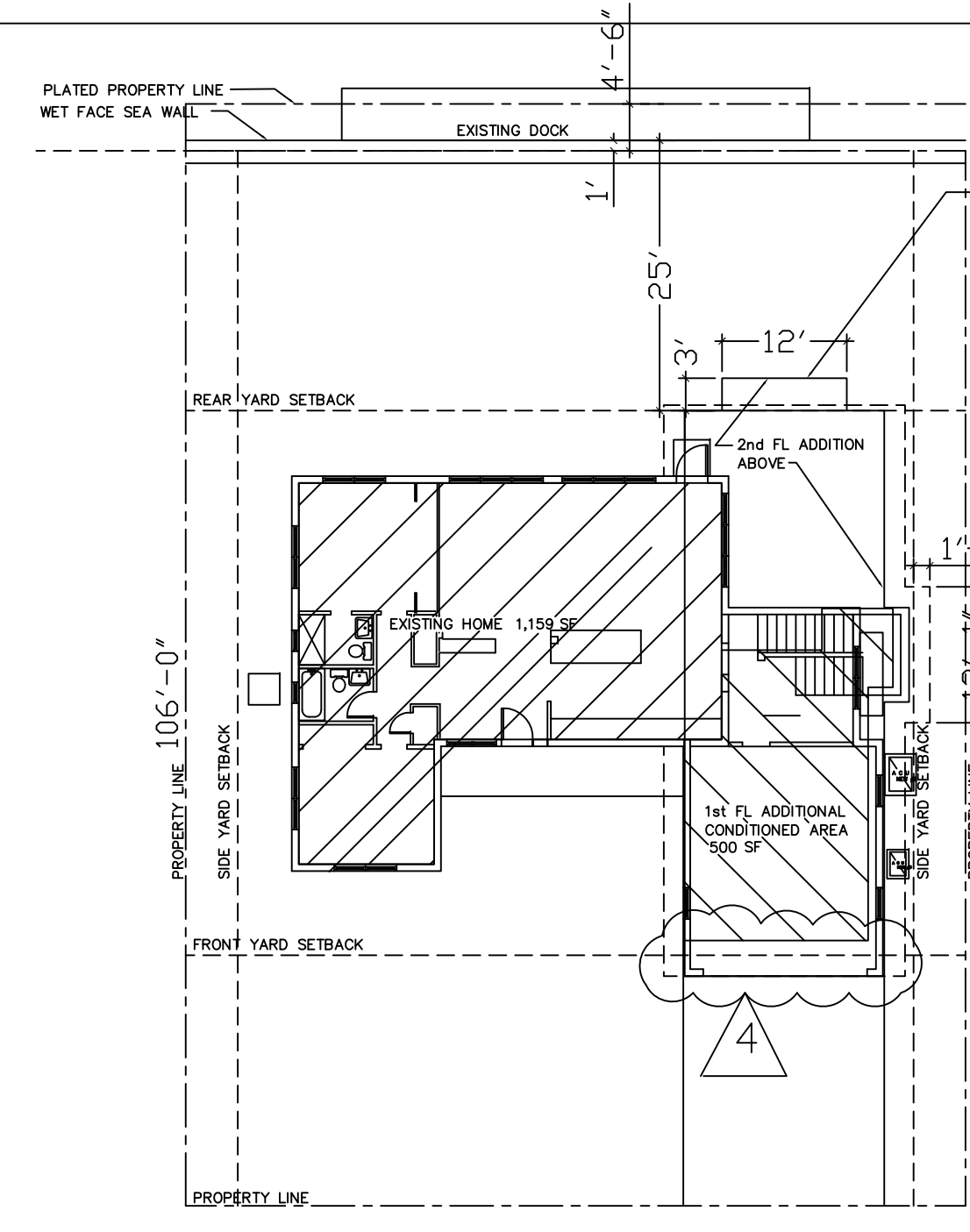
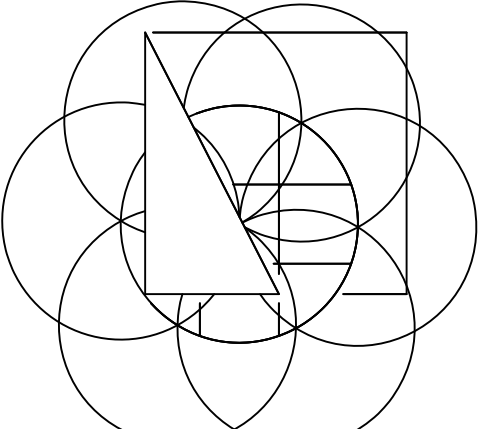
CERTIFIED TO:
SHARON H/E ARMSTRONG
STEVEN ARMSTRONG

FIELD DATE OF SURVEY	11-03-2022	FLOOD ZONE:	COMMUNITY:	PANEL:
BENCH MARK:	N-2886		125105	0133
ELEVATION:	6.20' NGVD 4.70' NAVD	ELEVATION:	DATE OF FIRM:	SUFFIX:
		NA	08-18-2014	H

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND MEASURED UNLESS OTHERWISE NOTED.

MARTINEZ & MARTINEZ ENTERPRISES, INC.
LICENSE BUSINESS NO. 7702
7179 WEST 13 AVENUE, HIALEAH, FL 33014
PH: (786) 277-4851 PLSPSM@GMAIL.COM
WEBSITE: MARTINEZ AND MARTINEZ.COM

SIGNED 12-28-2022 FOR THE FIRM
PEDRO LUIS MARTINEZ, LS No. 5443-STATE OF FLORIDA NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.



SEC. 47-19.2 - ACCESSORY BUILDINGS, STRUCTURES AND EQUIPMENT, GENERAL.
B. ARCHITECTURAL FEATURES IN RESIDENTIAL DISTRICTS. ARCHITECTURAL FEATURES SUCH AS EAVES, CORNICES, UNENCLOSED BALCONIES WITH OPEN RAILINGS, WINDOW SILLS, AWNINGS, CHIMNEYS, BAY WINDOWS, AND DORMERS ACCESSORY TO A RESIDENTIAL USE ARE PERMITTED TO EXTEND INTO A YARD AREA A MAXIMUM DISTANCE OF THREE (3) FEET FROM THE FACE OF THE BUILDING, OR ONE-THIRD (1/3) OF THE REQUIRED YARD, WHICHEVER IS LESS. UNENCLOSED BALCONIES WITH OPEN RAILINGS MAY EXTEND INTO THE FRONT YARD A MAXIMUM DISTANCE OF FIVE (5) FEET FROM THE FACE OF THE BUILDING AND MAY EXTEND THE ENTIRE LINEAR LENGTH OF THE FRONT FACADE. ACCESSORY USES WHICH ENCR OACH INTO ANY YARD AREA, EXCLUDING UNENCLOSED BALCONIES ENCR OACHING INTO THE FRONT YARD, ARE PERMITTED TO HAVE A TOTAL COMBINED LINEAR FACADE LENGTH NOT GREATER THAN TWENTY (20) PERCENT OF THE TOTAL LINEAR LENGTH OF THE FACADE TO WHICH THEY ARE ATTACHED.

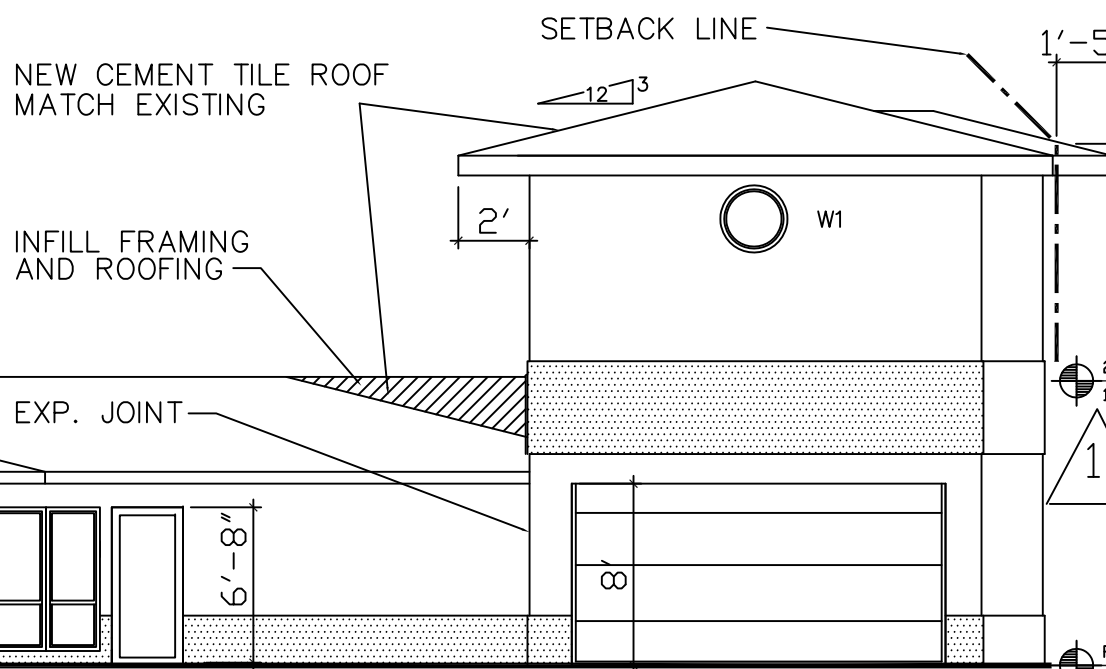
ADDRESS NUMBERS: FBCR 319
PROVIDE ADDRESS NUMBERS FOR NEW BUILDINGS, VISIBLE AND LEGIBLE FROM THE STREET. FBCR 319

FLORIDA BUILDING CODE EXISTING
CLASSIFICATION OF WORK: ADDITION
OCCUPANCY: RESIDENTIAL SINGLE-FAMILY

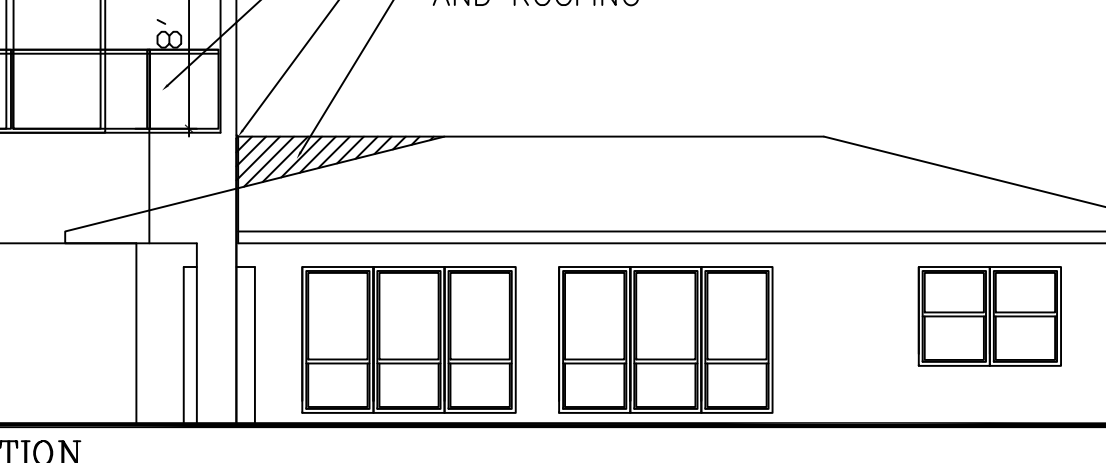
EXISTING HOME = 1,159 SF
1st FL. ADDITIONAL CONDITIONED AREA = 500 SF
2nd FL. ADDITION = 855 SF
TOTAL A/C AREA = 2,514 SF

- CONSTRUCTION NOTES
- CONTRACTORS AND SUB-CONTRACTORS SHALL CONSTRUCT THE BUILDING IN ACCORDANCE WITH ALL CODES, REGULATIONS, AND RESTRICTIONS, HAVING JURISDICTION AND SHALL BE RESPONSIBLE FOR THE SAME.
 - ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR. THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT AND PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. IF CONTRACTOR AND/OR SUBCONTRACTOR ELECTS NOT TO NOTIFY THE ARCHITECT OR PROJECT MANAGER, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL BEAR THE EXPENSE OF THE CORRECTION.
 - WOOD TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS, WHICH SHALL INCLUDE ROOF DETAILS, FRAMING PLAN AND CERTIFICATION BY A FLORIDA REGISTERED ENGINEER, TO
 - CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY PRIOR TO CONSTRUCTION AND SHALL SUBMIT REPORT TO ARCHITECT AND PROJECT MANAGER. FOUNDATION IS DESIGNED FOR SOIL BEARING OF 2500 P.S.F.
 - ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
 - BATHROOM - PROVIDE CEMENT BOARD OR EQUIVALENT FOR WET AREAS. PROVIDE IMPERMEABLE MATERIAL IN BATHROOM WET AREAS TO 6 FEET MINIMUM ABOVE FLOOR IN COMPLIANCE WITH FBC R307
 - CONCRETE SHALL OBTAIN THE FOLLOWING STRENGTHS IN 28 DAYS: FOOTINGS -- COLUMNS, TIE BEAM -- 3,000 P.S.I. SLABS -- 2,800 P.S.I.
STEEL REINFORCEMENTS: ASTM 615, GRADE 60 KSI.
 - MINIMUM LENGTH OF LAP SPLICES SHALL BE 48 BAR DIAMETERS IN INCHES. SPLICES OF HORIZONTAL REINFORCEMENT SHALL OCCUR ONLY AT REINFORCEMENT MASONRY COLUMNS. CORNER BARS SHALL BE PROVIDED AT THE CORNERS OF ALL BEAMS
 - DESIGN LOADING IN ACCORDANCE WITH THE F.B.C. 2017:
DESIGN WIND VELOCITY: 170 MPH
ROOF LIVE LOAD: 30 PSF
SOIL BEARING PRESSURE: 2500 PSF

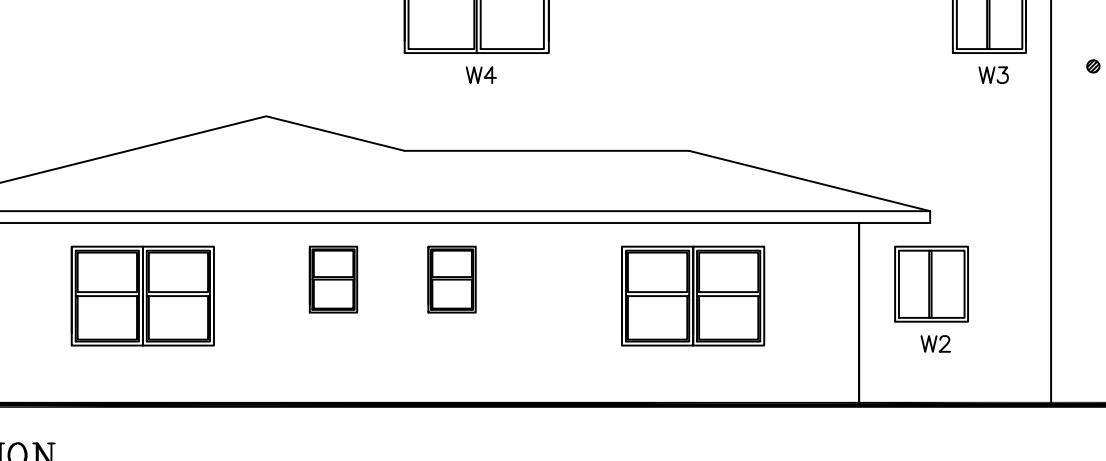
SITE PLAN
1208 MANDARIN ISLE
1/8"=1'-0"
Abbreviated Legal Description SOUTH NEW RIVER ISLES SEC D 40-5 B LOT 41
SEE SURVEY FOR ALL SITE IMPROVEMENTS AND DIMENSIONS



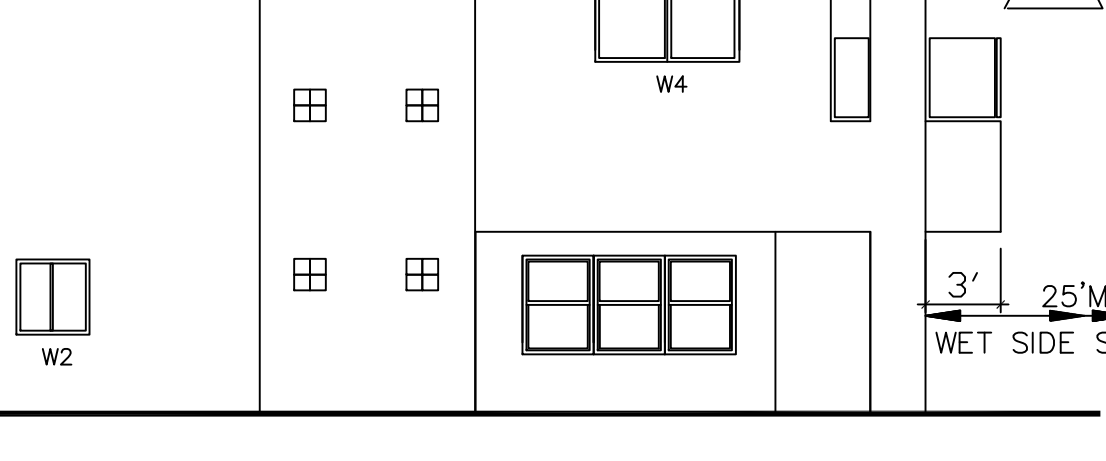
NORTH ELEVATION
1/8"=1'-0"
NEW CEMENT TILE ROOF MATCH EXISTING
INFILL FRAMING AND ROOFING
EXP. JOINT
BALCONY RAILING SEE DETAIL PER MANUFACTURERS PRODUCT APPROVAL NOA NO. 17-0807.25
EXP. JOINT
INFILL FRAMING AND ROOFING



SOUTH ELEVATION
1/8"=1'-0"
SETBACK LINE
EXP. JOINT
INFILL FRAMING AND ROOFING



EAST ELEVATION
1/8"=1'-0"
25' MIN WET SIDE SEA WALL



WEST ELEVATION
1/8"=1'-0"
25' MIN WET SIDE SEA WALL

WALL SYMBOL LEGEND

	NEW INTERIOR WALLS: 3 5/8" STANDARD GAUGE METAL STUDS @ 16" O.C. WITH 1/2" GYP. BD. EACH SIDE WITH BATT. INSULATION TO REDUCE SOUND TRANSMISSION
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED

WINDOW SCHEDULE

MK	SIZE	TYPE	FINISH	MTL	FR	REMARKS
W1	30 X 30	CIRCLE	PAINT	ALUM	ALUM	NOA No. 20-0401.10
W2	37 X 38	HR	PAINT	ALUM	ALUM	NOA No. 20-0406.04
W3	37 X 50	HR	PAINT	ALUM	ALUM	NOA No. 20-0406.04
W4	74 X 50	HR	PAINT	ALUM	ALUM	NOA No. 20-0406.04

WINDOW TYPES

TYPE	REMARKS
24"H X 20"W	1 EGRESS WINDOW AT BEDROOM MIN OPENING 24"H X 20"W

DOOR SCHEDULE

MK	DOOR SIZE	TYPE	MTL	FR	REMARKS
1	3'-0" X 6'-8"	A	WD/SC	WD	NOTE 1
2	3'-0" X 6'-8"	C	WD/SC	WD	
3	3'-0" X 6'-8"	A	WD/SC	WD	POCKET DOOR
5	3'-0" X 6'-8"	A	WD/SC	WD	45MIN. FIRE RATED W/ CLOSER
6	8'-0" X 8'-0"	B	GLASS	MTL	ST. GLASS - NBA No. 20-0429.09

DOOR TYPES

TYPE	REMARKS
A	1. ALL GLASS DDORS SHALL BE TEMPERED
B	2. ALL WOOD DDORS SHALL BE STAIN GRADE

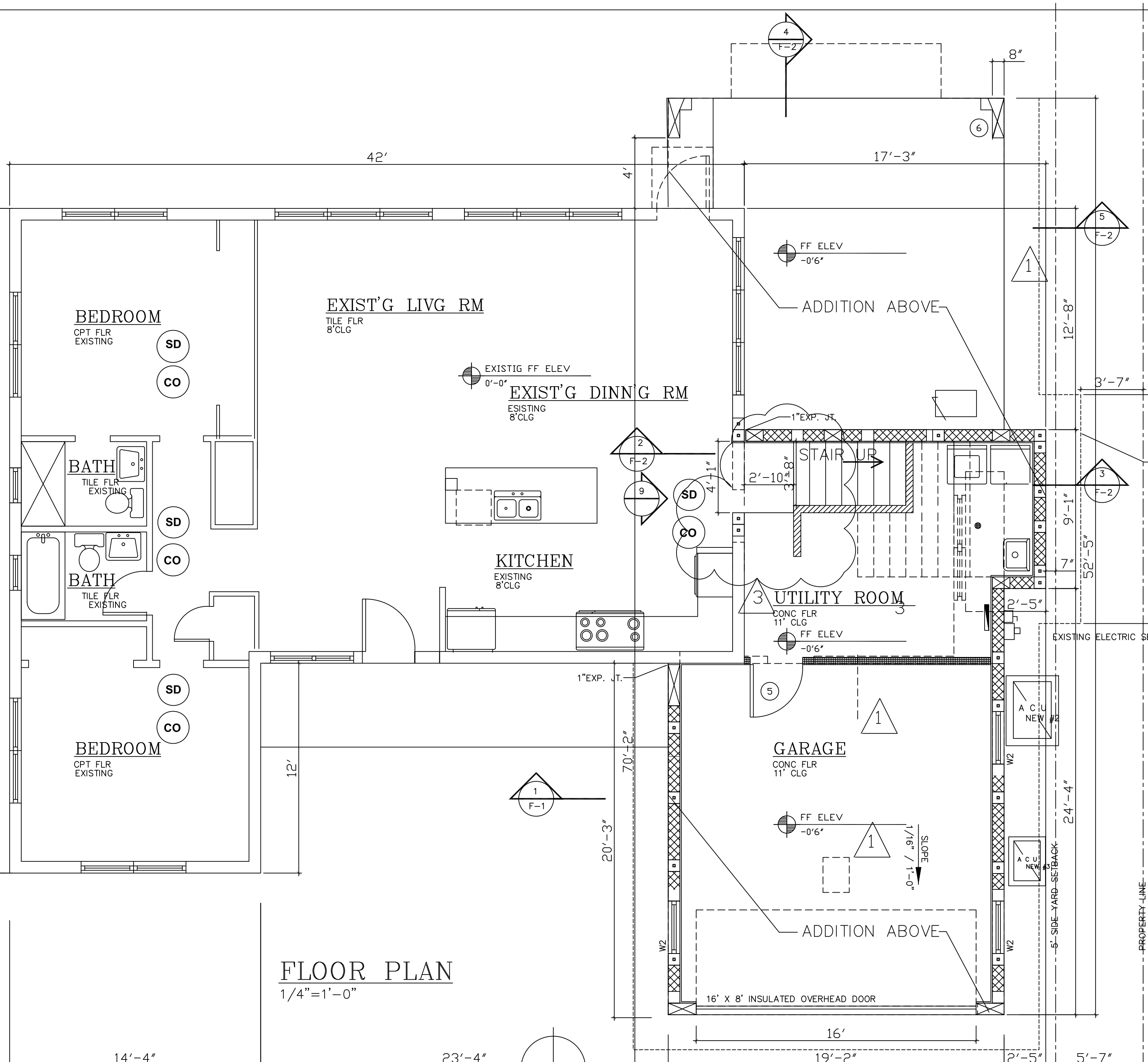
date revision / issue

date	revision / issue
10/24/21	A/C DESIGN CALCS AND SPEC
11/01/21	80% REVIEW
11/30/21	STRUCT.
12/3/21	STRUCT. FOUNDATION
12/3/21	STRUCT. 2ND FL. FRAMING
12/3/21	STRUCT. ROOF FRAMING
12/10/21	STRUCT. WALL SECTIONS
12/14/21	OWNER CONTRACTOR REVIEW
12/27/21	100% SCHEDULE
02/03/22	ISSUE FOR BUILDING PERMIT
02/24/22	CHANGE WINDOWS
03/05/22	AS WH LOCATION
04/11/22	PERMIT REVIEW COMMENTS REV
05/11/22	ZONING & STRUCT. COMMENTS REV
08/22/22	CONCRETE FILING NOTES
12/22/22	REVISED STAIR
02/02/23	REVISED PER AS-BUILT

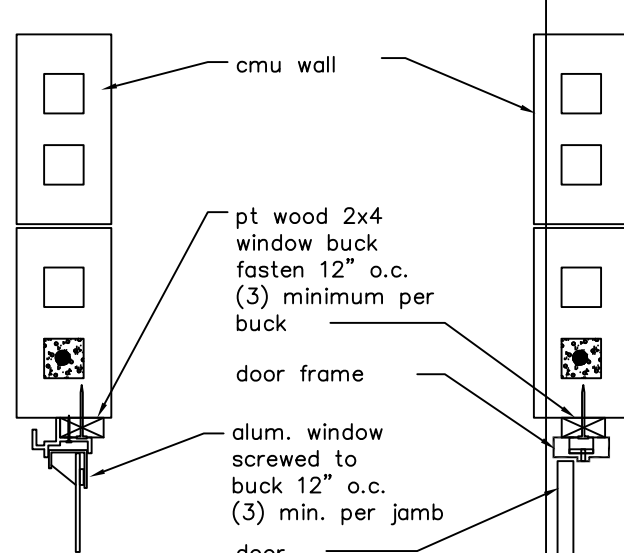
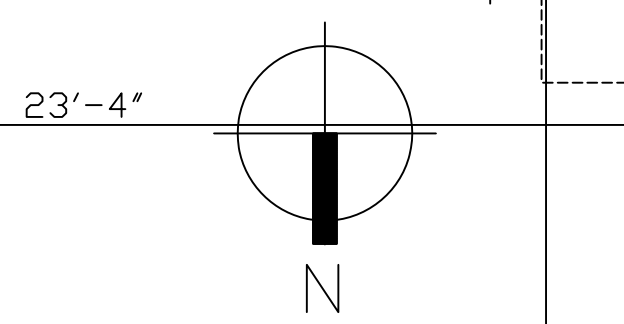
designed MM
drawn MM
checked MM
approved MM
project no 210814
scale AS NOTED
date SEPTEMBER 2021

drawing title
COVER SHEET
FLOORPLAN SITE PLAN
ELEVATIONS
SCHEDULES AND DETAILS

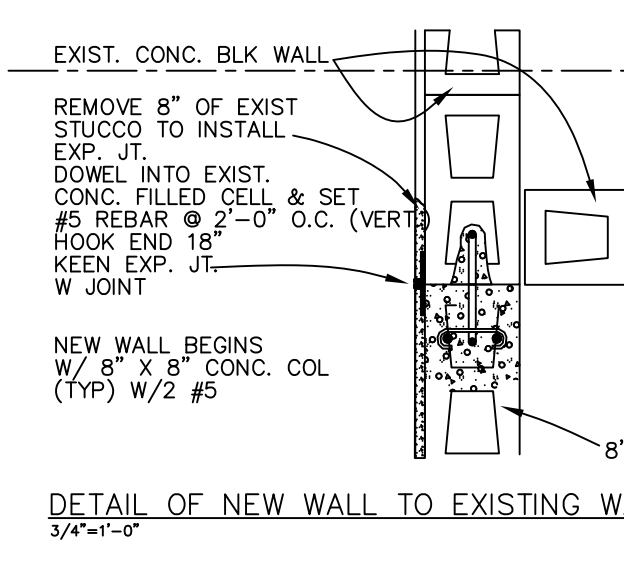
drawing no.
A-1



FLOOR PLAN
1/4"=1'-0"

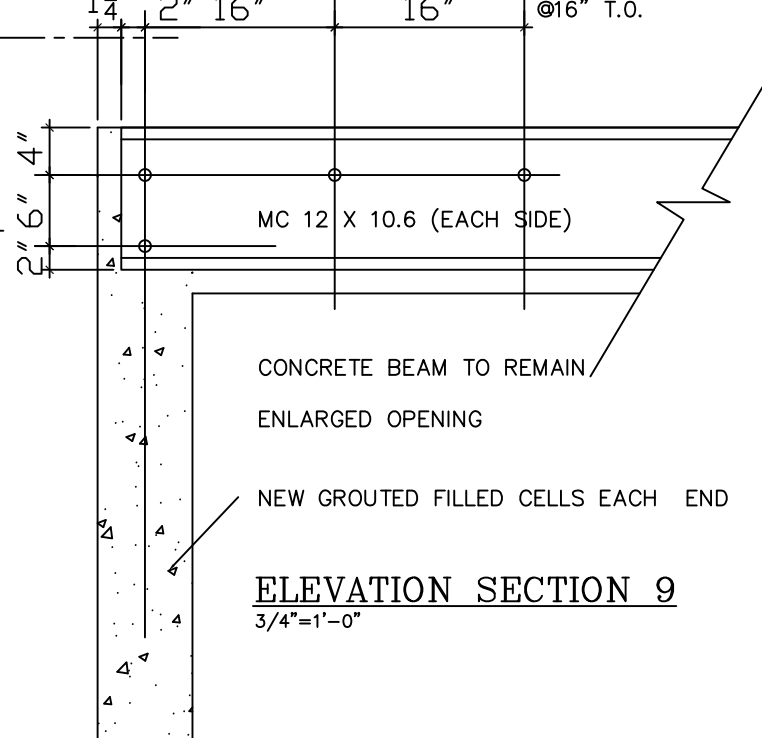


JAMB DETAIL
3/4"=1'-0"



DETAIL OF NEW WALL TO EXISTING WALL
3/4"=1'-0"

(2) 3/4" THRU BOLTS EACH END
3/4" THRU BOLTS (A307) @ 16" OC MAXIMUM SPACING T.O.



ELEVATION SECTION 9
3/4"=1'-0"

ROOF ABOVE

NORTH ELEVATION
1/8"=1'-0"

SOUTH ELEVATION
1/8"=1'-0"

EAST ELEVATION
1/8"=1'-0"

WEST ELEVATION
1/8"=1'-0"

BALCONY RAILING
SEE DETAIL PER MANUFACTURERS PRODUCT APPROVAL NOA NO. 17-0807.25

ELEVATION SECTION 9
3/4"=1'-0"