



BOARD OF ADJUSTMENT MEETING NOTICE

May 25, 2023

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, June 14, 2023 at 6:00 P.M.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-23040003
OWNER:	817 NW 1ST STREET LLC
AGENT:	ANDREW J. SCHEIN, ESQ./LOCHRIE & CHAKAS P. A
ADDRESS:	817 NW 1 STREET, FORT LAUDERDALE, FL 33311
LEGAL DESCRIPTION:	LOTS 12,13, AND 14, BLOCK B, AMENDED PLAT OF SUBDIVISION OF BLOCK 7, FORT LAUDERDALE, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 60, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (SEE SURVEY)
ZONING DISTRICT:	B-3 HEAVY COMMERCIAL/LIGHT INDUSTRIAL BUSINESS
COMMISSION DISTRICT:	3
REQUESTING:	<p><u>Sec. 47-20.15.1. - Backout parking.</u></p> <ul style="list-style-type: none"> Requesting a Variance from ULDR Section 47-20.15.1. to permit backout parking onto a street rather than an unimproved alley. <p><u>Sec. 47-20.15.3. - Backout parking.</u></p> <ul style="list-style-type: none"> Requesting a variance from ULDR Section 47-20.15.3. to allow the existing backout parking to remain with one peninsular landscape island for every eleven (11) spaces. <p><u>Sec. 47-20.15.5. e. - Backout parking.</u></p> <ul style="list-style-type: none"> Requesting a variance from ULDR Section 47-20.15.5. e. to allow the existing backout parking to remain with one peninsular landscape island for every eleven (11) spaces. <p><u>Sec. 47-20.15.5. b. - Backout parking.</u></p> <ul style="list-style-type: none"> Requesting a variance from ULDR Section 47-20.15.5. b. to expand backout parking that was previously legally permitted. <p><u>Sec. 47-20.15.5. h. - Backout parking.</u></p> <ul style="list-style-type: none"> Requesting a variance from ULDR Section 47-20.15.5. h. to allow the existing backout parking to remain without brick decorative pavers.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

1 OF 2

BOARD OF ADJUSTMENT VIRTUAL MEETING

DATE: MAY 10, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23040003

Requesting: Sec. 47-20.15.1. - Backout parking.

- Requesting a Variance from ULDR Section 47-20.15.1. to permit backout parking onto a street rather than an unimproved alley.

Requesting: Sec. 47-20.15.3. - Backout parking.

- Requesting a variance from ULDR Section 47-20.15.3. to allow the existing backout parking to remain with one peninsular landscape island for every eleven (11) spaces.

Requesting: Sec. 47-20.15.5. e. - Backout parking.

- Requesting a variance from ULDR Section 47-20.15.5. e. to allow the existing backout parking to remain with one peninsular landscape island for every eleven (11) spaces.

LOCATION: The City of Fort Lauderdale will be hosting the Board of Adjustment meeting Virtually using audio/video conferencing software

Visit <http://www.youtube.com/CityofFortLauderdale> to watch and listen to the Board of Adjustment meeting.

If you wish to sign up and speak on an item visit:

https://fortlauderdale.zoomgov.com/webinar/register/WN_MS_m5licWS0CKtC5t_RWtFw



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment. In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a





CITY OF FORT LAUDERDALE
PUBLIC NOTICE

2 OF 2

BOARD OF ADJUSTMENT VIRTUAL MEETING

DATE: MAY 10, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23040003

Requesting: Sec. 47-20.15.5. b. - Backout parking.

- **Requesting a variance from ULDR Section 47-20.15.5. b. to expand backout parking that was previously legally permitted.**

Requesting: Sec. 47-20.15.5. h. - Backout parking.

- **Requesting a variance from ULDR Section 47-20.15.5. h. to allow the existing backout parking to remain without brick decorative pavers.**

LOCATION: The City of Fort Lauderdale will be hosting the Board of Adjustment meeting Virtually using audio/video conferencing software

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Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must POST SIGNS (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-23040003

APPLICANT: Andrew J. Schein, Esq.

PROPERTY: 817 NW 1st Street

PUBLIC HEARING DATE: June 14, 2023

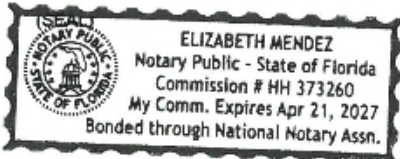
BEFORE ME, the undersigned authority, personally appeared Andrew J. Schein, who upon being duly sworn and cautioned, under oath deposes and says:

- Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. AS (initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 5 day of June, 2023



NOTARY PUBLIC MY COMMISSION EXPIRES:

CITY OF FORT LAUDERDALE
PUBLIC NOTICE 12 OF 25

BOARD OF ADJUSTMENT MEETING
DATE: JUNE 14, 2023 TIME: 6:00 P.M. CASE: PLN-BOA-23040003

Requesting: Sec. 42-20.15.5, h.- Backout parking.
• Requesting a variance from ULDR Section 42-20.15.5, b. to expand backout parking that was previously legally permitted.
Requesting: Sec. 42-20.15.5, h.- Backout parking.
• Requesting a variance from ULDR Section 42-20.15.5, b. to allow the existing backout parking to remain without brick decorative pavers.

PLANNING AND ZONING DEPARTMENT
300 N. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33301
CONTACT: 784-888-3333

FOR MORE INFORMATION OR TO REQUEST AN AGENDA ITEM, VISIT:
www.cityoffortlauderdale.com/planning

CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING
DATE: JUNE 14, 2023 TIME: 6:00 P.M. CASE: PLN-BOA-23040003

Requesting: Sec. 42-20.15.5, h.- Backout parking.
• Requesting a variance from ULDR Section 42-20.15.5, b. to expand backout parking that was previously legally permitted.
Requesting: Sec. 42-20.15.5, h.- Backout parking.
• Requesting a variance from ULDR Section 42-20.15.5, b. to allow the existing backout parking to remain without brick decorative pavers.

PLANNING AND ZONING DEPARTMENT
300 N. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33301
CONTACT: 784-888-3333

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CODE SECTIONS:

Sec. 47-20.15.1 Backout parking.

Backout parking into public rights-of-way shall be prohibited except as follows:

1. Backout parking shall be permitted in connection with residential or commercial uses into improved alleys. For purposes of this section, improved alleys are defined as a right-of-way twenty (20) feet in width or less surfaced with a hard, dust-free material and provided with drainage in accordance with city construction standards.

Sec. 47-20.15.3 Backout parking.

3. Backout parking may not be located on or require vehicular movement over bufferyards, as required by Neighborhood Compatibility Requirements, Section 47-25.3. The design of backout parking shall conform with this Section 47-20, and all backout parking spaces shall be provided entirely on-site. Backout parking spaces for residential uses and hotels shall have one (1) peninsular landscape area for every two (2) spaces. For all other uses there shall be one (1) peninsular landscape area for every four (4) spaces.

Sec. 47-20.15.5.b. Backout parking.

5. Existing legal nonconforming backout parking may be permitted to meet required parking for existing non-residential uses that are changing to another permitted non-residential use, subject to the following:
 - b. The backout parking is existing and was previously legally permitted. Expansion of backout parking will not be permitted.

Sec. 47-20.15.5.e Backout parking.

5. Existing legal nonconforming backout parking may be permitted to meet required parking for existing non-residential uses that are changing to another permitted non-residential use, subject to the following:
 - e. Landscape islands meeting the requirements of Section 47-21.9.A.4.c. and d. shall be provided for every six (6) parking spaces or fraction thereof. Perimeter landscape areas meeting the requirements of Section 47-21.9.A.2.b. shall be provided. If required landscape islands and perimeter landscape areas reduce the number of parking spaces available for the use, the parking requirement shall be reduced on a one (1) parking space to one (1) equivalent area of landscaping basis.

Sec. 47-20.15.5.h Backout parking.

5. Existing legal nonconforming backout parking may be permitted to meet required parking for existing non-residential uses that are changing to another permitted non-residential use, subject to the following:

CODE SECTIONS:

- h. Brick decorative pavers or similar paving material covering one hundred (100) percent of the parking surface shall be installed.

(Ord. No. C-97-19, § 1(47-20.15), 6-18-97; Ord. No. C-00-11, § 1, 3-7-00)

Record

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Showing 1-59 of 59

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Opened Date	Status
<input type="checkbox"/>	PLN-BOA-23040003	Sec. 47-20.15.1. - Backout parking. • Requesting...	BarkYard N Brews	Z- Board of Adjustment (BOA)	0		817	NW	1	ST	04/07/2023	Open
<input type="checkbox"/>	CE22110379	CHANGE OF USE		Code Case	0	Bernstein Saim...	817	NW	1	ST	11/17/2022	Open
<input type="checkbox"/>	CE22031026	THERE IS TIRES AND A BEDS, COUCH AND MULTIPLE DOO...		Code Case	0	Wilson Quinter...	817	NW	1	ST	03/23/2022	Closed
<input type="checkbox"/>	PLN-LIQFEE-21070061	2COP Series with outdoor bar	Barkyard N Brews	Liquor License Fee ONLY	0		817	NW	1	ST	07/09/2021	Approved
<input type="checkbox"/>	UDP-A21011	Site Plan Level I - Dog grooming with retail and ...	Barkyard N Brews	AR- Administrative Review	0	Tyler LaForme	817	NW	1	ST	04/15/2021	Withdrawn
<input type="checkbox"/>	BLD-ACC-21010011	DUMPSTER ENCLOSURE FOR BLD-CALT-20100009	DUMPSTER ENCLOSURE FOR BLD-C...	Accessory Structure Permit	0		817	NW	1	ST	01/12/2021	Complete
<input type="checkbox"/>	BLD-CPAV-21010005	PAVE FOR BLD-CALT-20100009	PAVE FOR BLD-CALT-20100009	Commercial Paving Permit	0		817	NW	1	ST	01/12/2021	Open
<input type="checkbox"/>	PLB-WAT-21010024	WATER HEATER FOR BLD-CALT-20100009	WATER HEATER FOR BLD-CALT-2...	Plumbing Water Heater Exact Changeout	0		817	NW	1	ST	01/12/2021	Open
<input type="checkbox"/>	ELE-LV-21010012	LOW VOLTAGE FOR BLD-CALT-20100009	LOW VOLTAGE FOR BLD-CALT-20...	Electrical Low Voltage Permit	0		817	NW	1	ST	01/12/2021	Open
<input type="checkbox"/>	BLD-CMIS-21010001	COMM. ALT. - EX. ASPHALT PARKING, RESTRIPE, ADA S...	COMM. ALT.	Commercial Miscellaneous Permit	0		817	NW	1	ST	01/12/2021	Open
<input type="checkbox"/>	LND-INST-21010016	LAND FOR BLD-CALT-20100009	LAND FOR BLD-CALT-20100009	Landscape Installation Permit	0		817	NW	1	ST	01/12/2021	Complete
<input type="checkbox"/>	BLD-FEN-21010035	FENCE FOR BLD-CALT-20100009	FENCE FOR BLD-CALT-20100009	Fence Permit	0		817	NW	1	ST	01/12/2021	Complete
<input type="checkbox"/>	BT-GEN-21070042	DOG GROOMING W/BAR	BARKYARD N BREWS LLC	General Business Tax Receipt	0		817	NW	1	ST	11/02/2020	Open
<input type="checkbox"/>	BT-GEN-APP-21070001	DOG GROOMING	BARKYARD N BREWS LLC	General Business Tax Application	0		817	NW	1	ST	11/02/2020	Closed
<input type="checkbox"/>	PLB-IRR-20100009	COMMERICAL ALTERATION - RE NEW EXISTING ASPHALT P...		Plumbing Irrigation Permit	0		817	NW	1	ST	10/08/2020	Complete
<input type="checkbox"/>	PLB-COM-20100018	PLUMB FOR BLD-CALT-20100009	PLUMB FOR BLD-CALT-20100009	Plumbing Commercial Permit	0		817	NW	1	ST	10/08/2020	Complete
<input type="checkbox"/>	ELE-COM-20100033	ELEC FOR BLD-CALT-20100009	ELEC FOR BLD-CALT-20100009	Electrical Commercial Permit	0		817	NW	1	ST	10/08/2020	Complete
<input type="checkbox"/>	BLD-CPAV-20100007	PAVE FOR BLD-CALT-20100009	PAVE FOR BLD-CALT-20100009	Commercial Paving Permit	0		817	NW	1	ST	10/08/2020	Complete
<input type="checkbox"/>	BLD-CALT-20100009	COMMERICAL ALTERATION - CHANGE OF USE COMMERCIAL ...		Commercial Alteration Permit	0		817	NW	1	ST	10/08/2020	Complete
<input type="checkbox"/>	BT-GEN-APP-20080029		duplicate	General Business Tax Application	0		817	NW	1	ST	08/09/2020	Closed
<input type="checkbox"/>	BT-LIQ-20080003			Liquor Measurement Request	0		817	NW	1	ST	08/09/2020	Closed
<input type="checkbox"/>	BLD-PR-20070030	Microfilm copies	817 NW 1 st	Property Record	0		817	NW	1	ST	07/17/2020	Complete
<input type="checkbox"/>	BT-GEN-APP-20060069		BARKYARD N BREWS LLC	General Business Tax Application	0		817	NW	1	ST	06/26/2020	Closed
<input type="checkbox"/>	CE20020571			Code Case	0	Patrice Jolly	817	NW	1	ST	02/15/2020	Closed
<input type="checkbox"/>	CE-20011497			Code Case	0		817	NW	1	ST	01/28/2020	Closed
<input type="checkbox"/>	VIO-CE19060654_1		RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	06/11/2019	Closed
<input type="checkbox"/>	CE19060654	MACHINERY EQUIPMENT LEFT OUT OVERNIGHT, BOATS ARE...	RST PARTNERS LLC	Code Case	0		817	NW	1	ST	06/11/2019	Closed
<input type="checkbox"/>	VIO-CE19060263_1		RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	06/05/2019	Closed
<input type="checkbox"/>	CE19060263	DERELICT VEHICLES	RST PARTNERS LLC	Code Case	0		817	NW	1	ST	06/05/2019	Closed
<input type="checkbox"/>	PL-ZL19091	ZVL -		Z- Zoning Verification Letter	0		817	NW	1	ST	05/28/2019	Closed
<input type="checkbox"/>	VIO-CE19022196_1		RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	02/28/2019	Closed
<input type="checkbox"/>	CE19022196	-NIGHT INSPECTION-, OVERNIGHT & DURING THE DA...	RST PARTNERS LLC	Code Case	0		817	NW	1	ST	02/28/2019	Closed
<input type="checkbox"/>	VIO-CE19020275_1		RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	02/05/2019	Closed
<input type="checkbox"/>	CE19020275	TRUCK AND RV PARKED IN THE STREET	RST PARTNERS LLC	Code Case	0		817	NW	1	ST	02/05/2019	Closed
<input type="checkbox"/>	VIO-CE18101019_6	PARKING LOT NOT MAINTAINED; OVERGROWTH, TRASH, AND	RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	10/11/2018	Complied
<input type="checkbox"/>	VIO-CE18101019_5	PARKING LOT NOT MAINTAINED; OVERGROWTH, TRASH, AND	RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	10/11/2018	Complied
<input type="checkbox"/>	VIO-CE18101019_4	PARKING LOT NOT MAINTAINED; OVERGROWTH, TRASH, AND	RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	10/11/2018	Complied
<input type="checkbox"/>	VIO-CE18101019_3	PARKING LOT NOT MAINTAINED; OVERGROWTH, TRASH, AND	RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	10/11/2018	Complied
<input type="checkbox"/>	VIO-CE18101019_2	PARKING LOT NOT MAINTAINED; OVERGROWTH, TRASH, AND	RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	10/11/2018	Complied
<input type="checkbox"/>	VIO-CE18101019_1	PARKING LOT NOT MAINTAINED; OVERGROWTH, TRASH, AND	RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	10/11/2018	Complied
<input type="checkbox"/>	CE18101019	PARKING LOT NOT MAINTAINED; OVERGROWTH, TRASH, AN...	RST PARTNERS LLC	Code Case	0		817	NW	1	ST	10/11/2018	Closed
<input type="checkbox"/>	VIO-CE16041341_1	FOUND THIS VACANT COMMERCIAL PROPERTY IS OVERGROWN	DFD CAPITAL DEVELOPMENT CORP	Violation-CODE Hearing	0		817	NW	1	ST	04/20/2016	Closed
<input type="checkbox"/>	CE16041341	FOUND THIS VACANT COMMERCIAL PROPERTY IS OVERGROW...	DFD CAPITAL DEVELOPMENT CORP	Code Case	0		817	NW	1	ST	04/20/2016	Closed
<input type="checkbox"/>	VIO-CE16040070_1	ILLEGAL DUMPING CASE (ALLEY BEHIND PROPERTY) #	DFD CAPITAL DEVELOPMENT CORP	Violation-CODE Hearing	0		817	NW	1	ST	04/01/2016	Closed
<input type="checkbox"/>	CE16040070	ILLEGAL DUMPING CASE (ALLEY BEHIND PROPERTY) #, 3...	DFD CAPITAL DEVELOPMENT CORP	Code Case	0		817	NW	1	ST	04/01/2016	Closed
<input type="checkbox"/>	VIO-CE16020276_1	ILLEGAL DUMPING ON ALLEY BEHIND BUILDING	DFD CAPITAL DEVELOPMENT CORP	Violation-CODE Hearing	0		817	NW	1	ST	02/03/2016	Closed
<input type="checkbox"/>	CE16020276	ILLEGAL DUMPING ON ALLEY BEHIND BUILDING, PD CASE...	DFD CAPITAL DEVELOPMENT CORP	Code Case	0		817	NW	1	ST	02/03/2016	Closed
<input type="checkbox"/>	VIO-CE13121037_1	THE PARKING AREA IS BEING USED TO STORE VEHICLES	RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	12/14/2013	Complied
<input type="checkbox"/>	VIO-CE13121036_1	THERE ARE SEVERAL DERELICT VEHICLES STORED IN THE	RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	12/14/2013	Complied
<input type="checkbox"/>	VIO-CE13121034_1	THERE IS RUBBISH, TRASH AND DEBRIS SCATTERED ABOUT	RST PARTNERS LLC	Violation-CODE Hearing	0		817	NW	1	ST	12/14/2013	Complied
<input type="checkbox"/>	CE13121037	THE PARKING AREA IS BEING USED TO STORE VEHICLES,...	RST PARTNERS LLC	Code Case	0		817	NW	1	ST	12/14/2013	Complied
<input type="checkbox"/>	CE13121036	THERE ARE SEVERAL DERELICT VEHICLES STORED IN THE...	RST PARTNERS LLC	Code Case	0		817	NW	1	ST	12/14/2013	Complied
<input type="checkbox"/>	CE13121034	THERE IS RUBBISH, TRASH AND DEBRIS SCATTERED ABOU...	RST PARTNERS LLC	Code Case	0		817	NW	1	ST	12/14/2013	Complied
<input type="checkbox"/>	BL-9902213		MY AUTO SPA INC	Retail - Wholesale Business Tax Receipt	0		817	NW	1	ST	05/04/2010	Closed
<input type="checkbox"/>	PM-09032095	VOID PERMIT NEVER ISSUED OVER 180 DAYS -30DAY TEM...	VOID PERMIT NEVER ISSUED OVE...	Sign Permit	61.8		817	NW	1	ST	03/27/2009	Void
<input type="checkbox"/>	PM-08100934	SEWER CONNECTION	SEWER CONNECTION	Plumbing Sewer Cap Permit	0		817	NW	1	ST	10/15/2008	Complete
<input type="checkbox"/>	FS-08040010		817 NW 1 STREET LLC	Fire Safety Account	0		817	NW	1	ST	04/04/2008	Active
<input type="checkbox"/>	BL-9701951		AB AUTO REPAIR INC	General Business Tax Receipt	0		817	NW	1	ST	03/07/2008	Closed
<input type="checkbox"/>	BL-9701825		CARTRIDGES DIRECT LLC	Retail - Wholesale Business Tax Receipt	0		817	NW	1	ST	02/21/2008	Closed



BOARD OF ADJUSTMENT (BOA) INFORMATION AND APPLICATION

- Cover : Deadlines, Notes, Fees, and General Information
- Page 1 : Applicant Information Sheet
- Page 2 : Variance Request Criteria
- Page 3 : Required Documentation & Mail Notice Requirements
- Page 4 : Sign Notice Requirements & Affidavit
- Page 5 : Technical Specifications

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. A meeting can be requested by submitting an email request to the [Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable deadline dates can be found on the City’s website at the [Board of Adjustment](#) webpage.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the City’s online citizen access portal and payment of fees [LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes.

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the City stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City’s website.

- Variance/Special Exception/Interpretation (Before): \$2,200
- Variance/Special Exception/Interpretation (After): \$2,800
- Variance/Special Exception/Interpretation (Before): \$650
Residential (Homesteaded Only) Accessory Structures & Existing Non-Conforming Structures.
- Variance/Special Exception/Interpretation (After): \$850
Residential (Homesteaded Only) Accessory Structures & Existing Non-Conforming Structures.
- Request For Continuance: \$900
- Request for Rehearing: \$300
- Rehearing Request before the board: \$1,150

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	817 NW 1st Street LLC
Property Owner's Signature	<small>If a signed right letter is provided, no signature is required on this application by the owner.</small>
Address, City, State, Zip	
E-mail Address	
Phone Number	
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Andrew J. Schein, Esq. / Lochrie & Chakas, P.A.
Applicant / Agent's Signature	<i>[Signature]</i>
Address, City, State, Zip	1401 E. Broward Boulevard, Suite 110, Fort Lauderdale, FL 33301
E-mail Address	ASchein@Lochrielaw.com
Phone Number	954-617-8919
Letter of Consent Submitted	<input checked="" type="checkbox"/>

Development / Project Name	Barkyard n' Brews	
Existing / New	Existing: <input checked="" type="checkbox"/>	New: <input type="checkbox"/>
Project Address	Address: 817 NW 1st Street	
Legal Description	Lots 12, 13 and 14, Block B, AMENDED PLAT OF SUBDIVISION OF BLOCK 7, FORT LAUDERDALE, according to the plat thereof, as recorded in Plat Book 1, Page 60 of the public records of Miami-Dade County, Florida	
Tax ID Folio Numbers (For all parcels in development)	504210200200	
Variance Request (Describe)	Variance to permit existing backlot parking to remain in its current condition, where Section 47-20.15 does not permit backlot parking on the property in lieu of the requirements of ULDR Sections Sections 47-20.15.1, 47-20.15.3, 47-20.15.5(b), 47-20.15.5(e) and 47-20.15.5(n)	
Applicable ULDR Sections	47-20.15.1, 47-20.15.3, 47-20.15.5(b), 47-20.15.5(e), 47-20.15.5(n)	

Current Land Use Designation	NWRAC
Current Zoning Designation	B-3
Current Use of Property	Dog Park
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)		Required	Proposed
Front	S	5'	30.5' (existing)
Side	E	0'	0'
Side	W	0'	100' (existing)
Rear	N	0'	59.7' (existing)

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

Variance to permit existing backout parking to remain in its current condition, where Section 47-20.15 does not permit backout parking; see narrative for full request

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

See narrative

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

See narrative

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

See narrative

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

See narrative

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

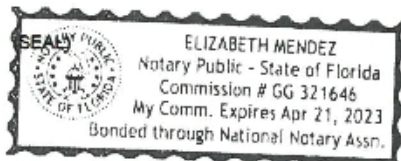
See narrative

AFFIDAVIT: I, Andrew Schein the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Andrew Schein
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 18 day of April, 2023



Elizabeth Mendez
NOTARY PUBLIC
MY COMMISSION EXPIRES:



Site Address	817 NW 1 STREET, FORT LAUDERDALE FL 33311	ID #	5042 10 20 0200
Property Owner	817 NW 1ST STREET LLC	Millage	0312
Mailing Address	2428 NE 8 ST FORT LAUDERDALE FL 33304	Use	48-01
Abbr Legal Description	AMEN PLAT SUB BLK 7 FT LAUD 1-60 D LOTS 12 THRU 14 BLK B		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$231,000	\$502,820	\$733,820	\$733,820	
2022	\$231,000	\$502,820	\$733,820	\$700,220	\$14,493.76
2021	\$231,000	\$405,570	\$636,570	\$636,570	\$13,959.87

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$733,820	\$733,820	\$733,820	\$733,820
Portability	0	0	0	0
Assessed/SOH	\$733,820	\$733,820	\$733,820	\$733,820
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$733,820	\$733,820	\$733,820	\$733,820

Sales History			
Date	Type	Price	Book/Page or CIN
3/9/2020	SWD-D	\$1,000,000	116410267
8/6/2014	CET-T	\$100	112486026
3/12/2008	WD-Q	\$350,000	45186 / 1248
5/1/1975	WD	\$56,000	2355 / 18
6/1/1971	WD	\$30,000	

Land Calculations		
Price	Factor	Type
\$11.00	21,000	SF
Adj. Bldg. S.F. (Card, Sketch)		3869
Eff./Act. Year Built: 1966/1956		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F2		
W								
3869						21000		

No Events No Name History

Detail by Entity Name

Florida Limited Liability Company
817 NW 1ST STREET LLC

Filing Information

Document Number L20000059062
FEI/EIN Number 84-4962067
Date Filed 02/21/2020
State FL
Status ACTIVE

Principal Address

2428 NE 8TH STREET
FORT LAUDERDALE, FL 33304

Mailing Address

2428 NE 8TH STREET
FORT LAUDERDALE, FL 33304

Registered Agent Name & Address

vaisman, adam
2428 NE 8TH STREET
FORT LAUDERDALE, FL 33304

Name Changed: 01/31/2021

Address Changed: 01/31/2021

Authorized Person(s) Detail

Name & Address

Title MGR

VAISMAN, ADAM

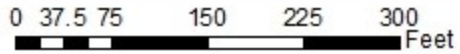
2428 NE 8TH STREET
FORT LAUDERDALE, FL 33304

Annual Reports

Report Year	Filed Date
2021	01/31/2021
2022	01/18/2022
2023	01/23/2023

Document Images

01/23/2023 -- ANNUAL REPORT	View image in PDF format
01/18/2022 -- ANNUAL REPORT	View image in PDF format
01/31/2021 -- ANNUAL REPORT	View image in PDF format
02/21/2020 -- Florida Limited Liability	View image in PDF format



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



817 NW 1 ST
DATE OF PRINT: 01/06/2023

801 NW 1ST STREET LLC
470 NE 5 AVE #3523
FORT LAUDERDALE, FL 33301

805 WEST BROWARD BLVD LLC
937 KOKOMO KEY LN
DELRAY BEACH, FL 33483

811 NW 1ST STREET LLC
6051 N OCEAN DR #704
HOLLYWOOD, FL 33019

817 NW 1ST STREET LLC
2428 NE 8 ST
FORT LAUDERDALE, FL 33304

ALDEN HOTEL CORP OF HWD
PO BOX 616
FORT LAUDERDALE, FL 33302

B & C LLC
937 KOKOMO KEY LN
DELRAY BEACH, FL 33483

BASHFUL MANORS L L C
4289 DIAMOND DR
WESTON, FL 33331

BOYS & GIRLS CLUBS OF BROWARD
COUNTY INC
877 NW 61 ST
FORT LAUDERDALE, FL 33309

CUBESMART LP %PTA CS # 355
PO BOX 320099
ALEXANDRIA, VA 22320

DEVOE, RONALD L SR & OLLIE
912 NW 2 ST
FORT LAUDERDALE, FL 33311

DISCOUNT AUTO PARTS INC
% ADVANCE STORES CO INC #9215
PO BOX 2710
ROANOKE, VA 24001

DIVERSIFIED CONSTRUCTION
CONCEPTS LLC
11651 NW 4 ST
PLANTATION, FL 33325

E&M 5700RP LLC
16801 SW 49 CT
MIRAMAR, FL 33027

EUROMEX GROUP LLC
260 CAPE FLORIDA DR
KEY BISCAYNE, FL 33149

FLORIDA DEPT OF TRANSPORTATION
OFFICE OF RIGHT OF WAY
3400 W COMMERCIAL BLVD
FORT LAUDERDALE, FL 33309

GATES, RUSSELL A
12754 77 PL N
WEST PALM BCH, FL 33412

HOUSING AUTHORITY OF THE CITY OF
FORT LAUDERDALE
437 SW 4 AVE
FORT LAUDERDALE, FL 33315

J L LAVALLEE CONSTRUCTION INC
835 NW 1 ST
FORT LAUDERDALE, FL 33311

JOMA INVESTMENT CORP
15 NW 9 AVE
FORT LAUDERDALE, FL 33311

MAR HOLDING INC
729 NW 1 ST
FORT LAUDERDALE, FL 33311

MCCLINTON HOLDINGS LLC
3000 ISLAND BLVD #2403
AVENTURA, FL 33160

MOSLEY, BERNICE EST %SAUNDRA M
CARTER
809 UNDERWOOD ST N.W.
WASHINGTON DC, DC 20012

NORTHWEST VILLAS INC
2627 NE 203 ST #110
AVENTURA, FL 33180

NSP III FT LAUDERDALE DST
PO BOX 71870
SALT LAKE CITY, UT 84171

PROMESSE LAND TR & PIERRE, AXENVIO
TRSTEE
5496 NW 44 WAY
COCONUT CREEK, FL 33073

PUBLIC LAND % CITY OF FORT
LAUDERDALE
100 N ANDREWS AVE
FORT LAUDERDALE, FL 33301

ROBERSON, EDDIE J
833 NW 2 ST
FORT LAUDERDALE, FL 33311

ROBINSON, BETTY J & WILLIAMS, IVY L
1820 NW 26 TER
FORT LAUDERDALE, FL 33311

ROPER, JAMES W & MAEHELEN
1201 NW 9 AVE
FORT LAUDERDALE, FL 33311

SANTOS, VALNEI L
920 NW 1 ST
FORT LAUDERDALE, FL 33311

SATOR INVESTMENTS LLC
4123 NW 79 AVE
SUNRISE, FL 33351

SERVIUS, YVENNETTE & LUC,ELUSNOR
823 NW 2 ST
FORT LAUDERDALE, FL 33311

SJW INVESTMENT IRREV TR
11651 NW 4 ST
PLANTATION, FL 33325

TAYLOR, STEPHANIE
829 NW 2 ST
FORT LAUDERDALE, FL 33311

Applicant: Andrew J. Schein / Lochrie & Chakas, P.A.
Owner: 817 NW 1st Street LLC
Address: 817 NW 1st Street (“Property”)
Request: Variance from ULDR Sections 47-20.15.1, 47-20.15.3, 47-20.15.5(b), 47-20.15.5(e) and 47-20.15.5(h)

Application for Variance

1. General Information and Request

Owner leases the Property to BarkYard n’ Brews (“Tenant”), an outdoor dog park with a beer/wine component. Tenant’s agent, a certified engineer, submitted two (2) applications for the Property: a change of use application through the City’s Urban Design and Planning Division under DRC Case No. UDP-A21011, and a building permit through the City’s permitting department under Permit No. BLD-CALT-20100009 (along with the associated subpermits).

The DRC application was submitted on April 15, 2021 and the DRC meeting was held on May 6, 2021. The building permit application was submitted on October 8, 2020, and the building permit was issued on February 15, 2021. The Property was constructed pursuant to the approved building permit, and the final certificate of occupancy was received on July 2, 2021. Generally, building permits that are subject to DRC review are not issued until DRC approval is received. In this instance, the permit was issued well before the DRC comments were issued on May 6, 2021. The DRC comments required and/or requested changes to the plans that were inconsistent with the building permit drawings; however, by the time the DRC comments were received, the building permit was already issued and construction was underway.

Although the Property was constructed in accordance with the approved building permit, Applicant and Tenant have been working with City staff to address the DRC comments. Most of the DRC comments can be addressed, though at a great expense to the Tenant. The backout parking can also be removed or relocated at a great expense to the Tenant, however removing the backout parking would create a significant non-financial hardship to the operations of the business and their patrons as explained below.

2. Code Provisions

ULDR Section 47-20.15 (excerpts): “Backout parking shall be permitted in connection with residential or commercial uses into improved alleys... improved alleys are defined as a right-of-way twenty (20) feet in width or less surfaced with a hard, dust-free material and provided with drainage in accordance with city construction standards.”

“Backout parking may be constructed on properties in an RO, ROA, and ROC zoning district...”

3. Variance Criteria

- a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property;

RESPONSE: The Property is zoned B-3. Backout parking is permitted in the RO, ROA and ROC zoning districts under certain circumstances. Backout parking is also permitted in every other zoning district for non-residential uses, so long as the existing backout parking is legally nonconforming.

According to historic aerials, backout parking previously existed on the site as late as 2004; the backout parking was removed by the end of 2005. Assuming the backout parking that existed on the Property in 2004 was properly permitted, a change of use in 2005 would have allowed the Property to remain with backout parking. However, since the backout parking was removed by the end of 2005, the backout parking lost its nonconforming status.

The north side of NW 1st Street, from NW 7th Avenue to NW 11th Avenue, has multiple business with backout parking, including numerous auto repair shops, a coffee shop, a butcher shop, and a brewery. Every one of these businesses has nonconforming backout parking (legal nonconforming or otherwise). Without building structured parking, which is inconsistent with many of these uses, the only way to provide parking that could meet the City’s parking requirements is to utilize backout parking.

This area of NW 1st Street is unique in the City and represents a special condition that prevents the reasonable use of the Property, as well as the other properties on NW 1st Street. Adequate parking that meets the City’s ULDR cannot reasonably be provided unless it is in a backout parking configuration, hence the proliferation of backout parking on this street.

- b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district;

RESPONSE: As stated above, this area of NW 1st Street is unique in the City. The alley behind the Property is only 12.5’ in width, which is too narrow to provide backout parking in the alley. The existing buildings, including the one on the Property, were mostly building the 1950s and 1960s with site layouts that don’t allow for additional parking to be provided in a way that meets the ULDR. Most of these buildings are grandfathered in to their existing backout parking configurations. Without demolishing the buildings and building structured parking, it is nearly impossible to provide the required parking for most uses

unless it is in a backout parking configuration – hence the proliferation of backout parking in this area.

The existence of backout parking in older commercial/industrial areas is fairly unique compared to other areas in the City, but what makes the Property unique specifically is that it is the only Property on this block or adjacent blocks where the backout parking can no longer be used to serve the building as it lost its nonconforming status by the end of 2005. Merely by looking at the proliferation of backout parking on this street as well as similar streets in older commercial/industrial areas, it is apparent that this Property represents a marked exception.

- c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district;

RESPONSE: Other property owners can provide backout parking to serve the building. Utilizing backout parking to serve the building is nearly essential in this area as there is no other reasonable way to provide the required parking without building structured parking. Structured parking is not reasonable for every use, particularly for uses which are typically single-story uses (such as auto repair shops, breweries, and a dog park – the main uses on this street). The ability to legally open a business is a substantial property right that is enjoyed by other property owners in the same zoning district. Among other requirements, the ability to legally open a business on this street essentially requires backout parking, otherwise adequate parking cannot be provided.

- d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result or mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

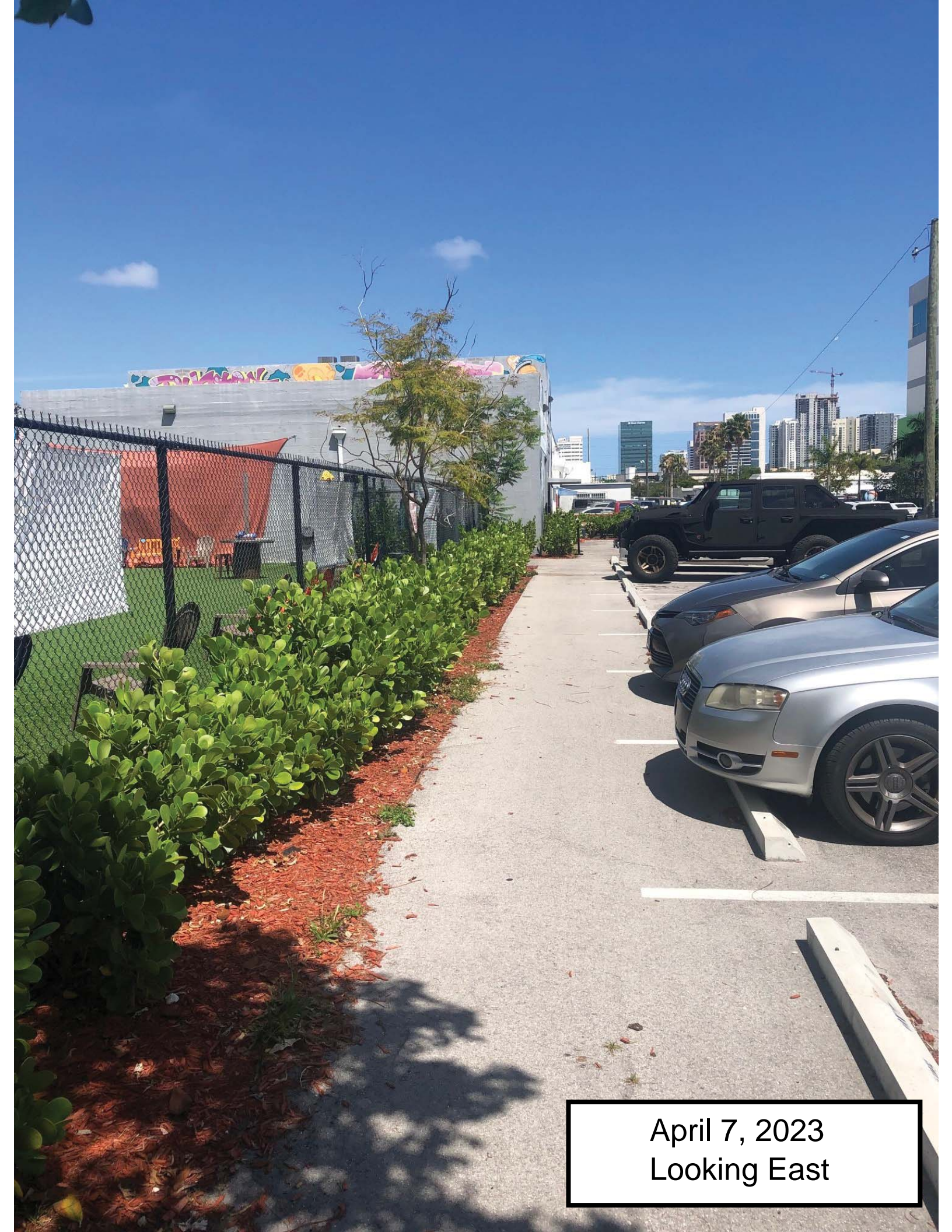
RESPONSE: The hardship of being unable to provide adequate parking without it being backout parking is not self-created by the applicant or their predecessors, nor is it a mere disregard for or ignorance of the provisions of the ULDR. This hardship is merely a function of how these blocks were originally developed on substandard alleys that cannot legally accommodate backout parking and in single-story buildings that cannot reasonably accommodate structured parking.

Rather than a disregard for antecedent zoning regulations, the Property was constructed pursuant to antecedent zoning regulations, which previously allowed backout parking – hence the proliferation of backout parking in this area.

- e. The variance is the minimum variance that will make possible a reasonable use of the property, and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining

properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

RESPONSE: Permitting backout parking, as almost every other property in this area of NW 1st Avenue currently has, is the minimum variance that will make possible a reasonable use of the Property. This variance will be compatible with adjoining properties, as adjoining properties also have backout parking. Allowing backout parking, as all of the neighboring properties currently have, is not expected to be detrimental to the public welfare.



April 7, 2023
Looking East



April 7, 2023
Looking North



April 7, 2023
Looking West/Southwest



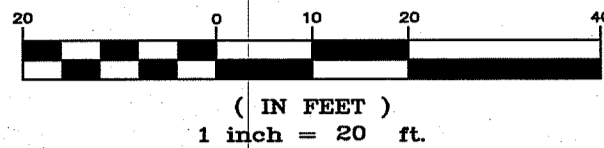
April 7, 2023
Looking East



prepared by:
McLAUGHLIN ENGINEERING COMPANY (LB#285)

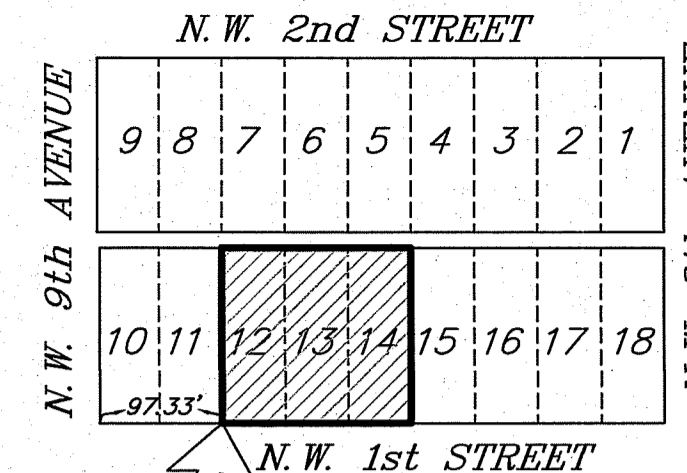
1700 N.W. 64th STREET, SUITE 400
 FORT LAUDERDALE, FLORIDA 33309
 PHONE: (954) 763-7611,
 WEB SITE: MECO400.COM, EMAIL: INFO@MECO400.COM

GRAPHIC SCALE



RECORD LAND SURVEY

LOTS 12, 13, & 14, BLOCK B, AMENDED PLAT OF SUBDIVISION OF BLOCK 7, PLAT BOOK 1, PAGE 60, M.D.C.R.



THIS SURVEY Location Sketch
 Not To Scale

Legal Description

Lots 12, 13, and 14, Block B, AMENDED PLAT OF SUBDIVISION OF BLOCK 7, FORT LAUDERDALE, FLORIDA, according to the plat thereof, as recorded in Plat Book 1, Page 60, of the public records of Miami-Dade County, Florida.

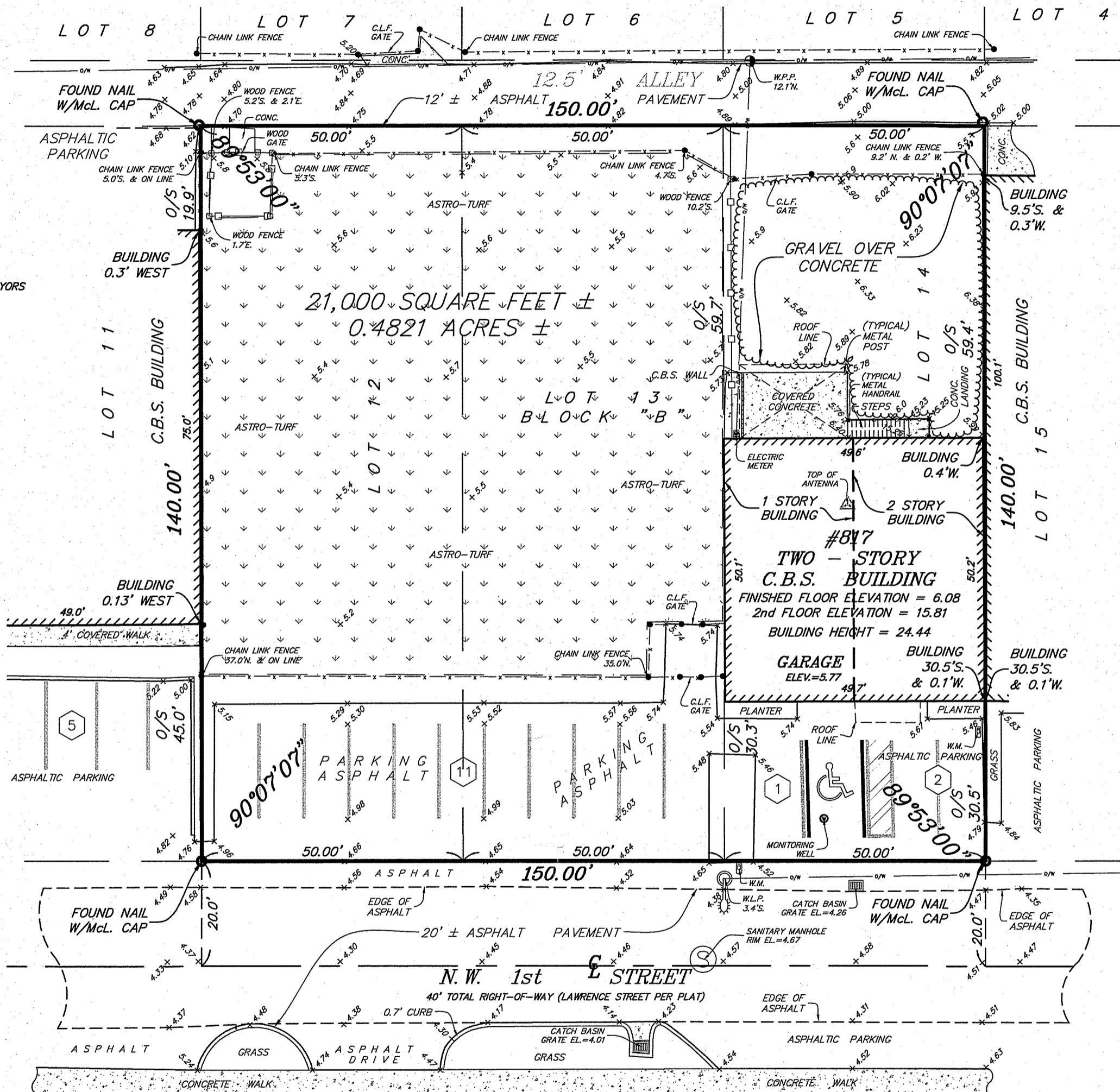
Said land situate, lying and being in the City of Fort Lauderdale, Broward County, Florida and containing 21,000 square feet or 0.4821 acres, more or less.

LEGEND

- | | |
|---|--|
| <ul style="list-style-type: none"> Δ = CENTRAL ANGLE (DELTA) A/C = AIR CONDITIONING A.K.A. = ALSO KNOWN AS A.L.P. = ALUMINUM LIGHT POLE ALTA = AMERICAN LAND TITLE ASSOCIATION A OR L = ARC LENGTH B.C.R. = BROWARD COUNTY RECORDS B.F.P. = BACK FLOW PREVENTOR B.H. = BULKHEAD B = BASE LINE B.O.S. = BOTTOM OF STRUCTURE C.A.T.V. = CABLE TV TERMINAL OR BOX CALC. = CALCULATED C.B.S. = CONCRETE BLOCK AND STUCCO C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE C.E.P. = CENTRAL ENERGY PLANT CH = CHORD CH.BRG. = CHORD BEARING C = CENTERLINE OF RIGHT-OF-WAY C.L.F. = CHAIN LINK FENCE C.L.P. = CONCRETE LIGHT POLE C.M.P. = CORRUGATED MIDDLE PIPE C.P.L.P. = CONCRETE POWER LIGHT POLE C.P.P. = CONCRETE POWER POLE CO. = COMPANY CONC. = CONCRETE C/O = CLEAN OUT D.B. = DEED BOOK DESC. = DESCRIPTION FROM FORMER DESCRIPTION DIA. = DIAMETER D.B.H. = DIAMETER AT BREAST HEIGHT ELEC. = ELECTRIC ELEV. OR EL. = ELEVATION FL. = FEET F.H. = FIRE HYDRANT F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION F.I.N.D. = FLORIDA INLAND NAVIGATION DISTRICT F/A = FORMERLY KNOWN AS F.P.L. = FLORIDA POWER AND LIGHT CO. G.S. = GAS VALVE G.T.M. = GREASE TRAP MANHOLE H.H. = HAND HOLE I.C.V. = IRRIGATION CONTROL VALVE INV. = INVERT L.P.G. = LIQUID PROPANE GAS MAG. = MAGNETIC M.D.C.R. = MIAMI DADE COUNTY RECORDS MEAS. = FIELD MEASURE ⊞ = PARKING SPACES | <ul style="list-style-type: none"> MHW = MEAN HIGH WATER MISC. = MISCELLANEOUS M.L.P.(X) = METAL LIGHT POLE ± = MORE OR LESS MW = MONITORING WELL NGS = NATIONAL GEODETIC SURVEY NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS NAVDS9 = NATIONAL GEODETIC VERTICAL DATUM (1929) NAVDB8 = NORTH AMERICA VERTICAL DATUM (1988) N.S.I.D. = NORTH SPRINGS IMPROVEMENT DISTRICT NO. = NUMBER O.R.B. = OFFICIAL RECORDS BOOK O/S = OFFSET O/W = OVERHEAD UTILITY LINES PG. = PAGE P.B. = PLAT BOOK P.B.C.R. = PALM BEACH COUNTY RECORDS P.C. = POINT OF CURVE P.C.D. = POLLUTION CONTROL DEVICE P.I. = POINT OF INTERSECTION P.I.V. = POST INDICATOR VALVE P/L = PROPERTY LINE P.O.B. = POINT OF BEGINNING P.O.C. = POINT OF COMMENCEMENT P.R.C. = POINT OF REVERSE CURVE P.R.M. = PERMANENT REFERENCE MONUMENT R = RADIUS R.C.P. = REINFORCED CONCRETE PIPE R/W = RIGHT-OF-WAY S.B.T. = SOUTHERN BELL TELEPHONE S.V. = SEWER VALVE S.H.W. = SEASONAL HIGH WATER LINE S.P. = STATE PLANE SO.FT. = SQUARE FEET S.L. = SURVEY TIE LINE TAN. = TANGENT TAN.BRG. = TANGENT BEARING T.O.B. = TOP OF BAFFLE T.O.W. = TOP OF WALL WM. = WATER METER WV. = WATER VALVE W.F. = WET FACE OF BULKHEAD W/F. = WET FACE OF CAP W.L.P. = WOOD STREET LIGHT POLE W.P.L.P. = WOOD POWER STREET LIGHT POLE W.P.P. = WOOD POWER POLE W/McL. CAP. = WITH McLAUGHLIN ENGINEERING CO. CAP W/W.C. = WITH WITNESS CAP # 285 ♿ = HANDICAPPED PARKING SPACE — — — = NON-VEHICULAR ACCESS LINE |
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NOTES:

- 1) This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
- 2) Underground improvements if any not located.
- 3) This drawing is not valid unless sealed with an authorized surveyors seal.
- 4) Boundary survey information does not infer Title or Ownership.
- 5) All iron rods 5/8", unless otherwise noted.
- 6) Reference Bench Mark: City of Fort Lauderdale, BM # NW 804, Elevation = 5.310 (NAVD88).
- 7) Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: $\text{Elev.} = 4.35$
- 8) This property lies in Flood Zone "X", 0.2% Annual Chance of Flood Hazard Per Flood Insurance Rate Map No. 12011C0557 H, Dated: August 18, 2014. Community Panel No. 125105.
- 9) Underground Utility locations shown hereon, if any, are based upon point marks on the ground provided by others. McLaughlin Engineering Company did not confirm the accuracy of this data. The exact location of all utilities should be confirmed prior to design or construction.
- 11) Elevations per North American Vertical Datum (1988) derived from National Geodetic Vertical Datum (1929) data and converted using U.S. Army Corps of Engineers software (Corpscon 6.0.1) obtained from <http://www.tech.army.mil/>



TITLE NOTES:

There are no other Easements, Road Reservations or Rights-of-way of record affecting this property per Fidelity National Title Insurance Company Commitment Order Number 8151588, dated January 21st, 2020 at 11:00 P.M.

CERTIFIED TO:

817 NW 1st STREET LLC,
 Fidelity National Title Insurance Company,
 Kurkin Forehand Brandes LLP

CERTIFICATION

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 27th day of January, 2020.
 Resurveyed this 8th day of February, 2023.

McLAUGHLIN ENGINEERING COMPANY

(Signature)
 JERALD A. McLAUGHLIN
 Registered Land Surveyor No. 5269
 State of Florida.