



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: June 13, 2023

**PROPERTY OWNER /
APPLICANT:** Village of the Arts, LTD.

AGENT: Sean Jones

PROJECT NAME: Village of the Arts

CASE NUMBER: UDP-S23019

REQUEST: Site Plan Level II Review: 162 Multifamily Residential Units with 6,000 Square Feet of Retail/Commercial Use in the Northwest Regional Activity Center

LOCATION: 543 NW 5th Avenue

ZONING: Northwest Regional Activity Center-Mixed Use east District (NWRAC-MUe)

LAND USE: Northwest Regional Activity Center

CASE PLANNER: Adam Schnell



Case Number: UDP-S23019

CASE COMMENTS:

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2020 FBC.
2. Show provisions for either open or closed interior parking per Sections 406.5 or 406.6 of the 2020 FBC.
3. Specify height and area compliance per Chapter 5 of the 2020 FBC.
4. Provide building construction type designation per Chapter 6 of the 2020 FBC.
5. Specify fire-resistance rating requirements based on construction type and building separation per Tables 601 and 602 of the 2020 FBC.
6. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2020 FBC.
7. Indicate code compliant sprinkler system per Section 903 of the 2020 FBC.
8. Designate Fair Housing Provisions per 2020 FBC Accessibility volume.
9. Provide accessibility to retail area in accordance with the 2020 FBC Accessibility Code.
10. Reference the Florida Building Code 7th edition on plan for the proposed development per section 101.2 of the 2020 FBC.
11. Provide accessible parking spaces in accordance with the Fair Housing Act Design Manual and the 2020 FBC Accessibility volume.

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

- a. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



Case Number: UDP-S23019

CASE COMMENTS:

Prior to DRC sign-off, please provide updated plans and written response to the following review comments:

1. Provide permanent Sidewalk Easement as appropriate along south side of NE 6th Street to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication (per City's Northwest RAC Master Plan guidelines as appropriate); show / label delineation in the plans.
2. Provide permanent Sidewalk Easement as appropriate along east side of NE 6th Avenue to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication (per City's Northwest RAC Master Plan guidelines as appropriate); show / label delineation in the plans.
3. Provide 10' x 15' (min.) permanent Utility Easement for any 4 Inch or larger water meter and/or the first private sanitary sewer manhole located within the proposed development (for City Maintenance access); show / label delineation in the plans as appropriate.
4. On conceptual Water and Sewer Plan, provide sizes and material for the existing sewer infrastructure.
5. An 8" sanitary sewer main requires a manhole located within private property with a 10' x 15' (min.) permanent Utility Easement.
6. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website.
7. The provided survey shall be based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. If any encumbrances are found in the property, provide a copy of the recorded documents accordingly (i.e. easements, dedications, agreements, vacations, etc.).
 - a. Please correspond/label easements, entitlements, etc. on survey to match title notes.
8. Discuss status of existing encumbrances such as easement shown on Record Land Survey. Vacation of any platted Utility Easement (9' FPL Easement) or right of way would require a separate DRC submittal, DRC staff support, and City Commission approval.
 - a. Provide letters from all franchise utility providers, including Public Works, as appropriate, demonstrating their interest in maintaining or no objection to the vacation of these easements. The letters should specifically state whether the utility owners have existing facilities within the right-of-way vacation area that will need to be relocated or abandoned. A surveyed location of the utilities shall



be provided for staff review. Should relocation be necessary, the full cost of relocation shall be borne by the Applicant, and the utility relocation plan shall be reviewed and approved prior to implementation.

9. Provide additional information regarding the 15' Utility Easement, along NW 6th Ave wrapping around to NW 6th Street and what facilities are existing. Proposed foundation, building, entry ways, etc. shall be located outside of the 15ft utility easement.
10. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
11. Clearly indicate on plans the limits of construction and how the proposed improvements will transition into the existing (on-site and off-site) as applicable.
 - a. Depict existing sidewalk adjacent to the development along NW 6th Street, NW 5th Avenue, NW 5th Court, and NW 6th Avenue and how proposed sidewalk/ pedestrian path will transition into existing sidewalk.
 - b. The proposed ADA Ramp at the northeast corner of NW 5th Court and NW 6th Avenue, depicts a crossing leading to nowhere.
 - c. The proposed ADA Ramp at the northwest corner of NW 5th Court and NW 5th Ave depicts a crossing leading to the middle of an intersection.
12. Depict/ label existing/ proposed stop sign/ bar on right of way adjacent to the site and on driveway connections to right of way as applicable.
13. Depict/ label existing/ proposed stop sign/ bar on right of way adjacent to the site and on driveway connections to right of way as applicable.
14. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35. Ensure sight triangles are also depicted on adjacent driveways that would be impacted by proposed improvements on this project. Sight triangles located at the intersection of a local street or driveway with a right-of-way under County, State or Federal jurisdictions, are subject to the sight visibility requirements of those jurisdictions.
15. Proposed exterior building doors, etc. shall not open into the public Right-of-Way and/or permanently dedicated Right-of-Way Easements and Sidewalk Easements.
16. Clearly depict trash enclosure on site plan.



- a. Show truck turning movements in and out the proposed dumpster enclosure/ building as applicable.
 - b. Ensure sufficient height clearance is provided within the garage for truck access.
17. Sheets A3.0 & A3.1 (Building Elevations): Show and label existing Right-of-Way, proposed sidewalk easements and horizontal building clearances on all building elevation / section details, as appropriate. Label vertical clearance above public access sidewalks along NW 6th Street, NW 5th Avenue, NW 5th Court, and NW 6th Avenue.
 18. Provide and label typical roadway cross-sections for the proposed development side of NW 6th Street, NW 5th Avenue, NW 5th Court, and NW 6th Avenue at driveway access points, at on-street parallel parking lanes, and at landscape swale areas (i.e. between travel lane and sidewalk) as appropriate. Cross-sections should show existing right of way and proposed sidewalk easements.
 19. The proposed parking garage access located on the west side of the property is located within private property, therefore a public cross access agreement shall be granted from edge of pavement to edge of pavement along NW 6th Avenue or consider relocation of access point to NW 5th Court.
 20. Per ULDR Section 47-20.5.C.3, for two way travel, a minimum of twenty (20) feet in width shall be provided.
 21. Label on Site Plan Data Table the required and proposed type of loading zone(s) required, per ULDR Section 47-20.2 Table 2 and Section 47-20.6; also label location of ADA van-accessible parking stalls. If applicable, show truck turning template circulation (label typical minimum centerline turning radius) entering and exiting the site as required for the proposed development. Turning geometries and loading zone design shall be in accordance with ULDR Section 47-20.6.
 - a. Clarify on sheet SP-1 the type of loading required and the type of loading provided.
 22. Provide sufficient existing and proposed grades and information on conceptual Paving, Grading, and Drainage Plan and details to demonstrate how stormwater runoff will remain onsite (include typical cross-sections along all property lines as appropriate), and how the proposed project improvements (i.e. on-street parking, sidewalks, etc.) will not adversely impact the adjacent Right-of-Way, properties and waterways. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
 - a. Additional coordination maybe required for projects located within Progresso Village neighborhood, which are part of a City Drainage Master Plan.
 23. Per ULDR Sec. 47-20.13.D - On-site stormwater retention shall be provided in accordance with the requirements of the regulatory authority with jurisdiction over stormwater management System. Therefore, please provide drainage calculation showing proposed design will meet applicable South Florida Water Management District design criteria.
 - a. The provided 25year-3day storm event depicts the post elevation higher than the pre.
 24. Drainage mitigation is required for any impacts within adjacent City of Fort Lauderdale Right-of-Way, such as increased runoff, additional impervious areas, and reduction of existing storage or treatment (i.e. swale areas). Engineer of Record (EOR) shall evaluate the adjacent City roadway system capacity and demonstrate that the proposed improvements will not negatively impact the City's existing drainage system, and provide recommendations in compliance with the City's Comprehensive Plan (i.e. meets or exceeds the 10-year/1-day storm event drainage criteria).



25. Sheets C-2 and C-3:
- a. There are existing drainage facilities (inlets, exfiltration) located along NW 6th Street, NW 5th Avenue, NW 5th Court and NW 6th Avenue, that are not being depicted and labeled existing to remain or be relocated. The existing sizing shall be maintained for the purposes of relocation.
 - b. Connection between on-site and off-site drainage system is not allowed. Connections shown along NW 6th Avenue.
 - c. Typical roadway section along NW 5th Court and NW 5th shall be maintained at the existing edge of pavement.
26. Please provide reasonable assurances that the drainage system will be able to be effectively operated and maintained. Response shall include the following at a minimum:
- a. Provide plans demonstrating how the drainage structures will be accessible by equipment required to maintain the system and or replaced the system in the event of failure.
27. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflict, per City Utility Atlas Maps). A min. 5 feet and 10 feet horizontal clearance horizontal separation is required between city utilities infrastructure and proposed small and large trees, respectively (including proposed water and sewer services to the development). Any new trees (located within or adjacent to City Right-of-Way) should be placed with sufficient horizontal and vertical distances (per City, County, and State guidelines) to / from City's public infrastructure, including stormwater assets, to allow for continued Public Works maintenance without obstruction. If this cannot be accommodated due to field conditions, then the developer shall relocate the existing City's public infrastructure to resolve the conflict(s) and to comply with City's, County's & State's engineering standards/permits/policies. Ensure separation is provided and include a note regarding horizontal clearance requirement on the landscape plans.
28. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present.
29. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Label whether the adjacent Right-of-Way is FDOT, BCHCED, or City jurisdiction, as well as label all proposed improvements, including asphalt and other specialty paving, specialty sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements. Perpetual maintenance of newly constructed exfiltration trenches, inlets, etc. within adjacent City Right-of-Way will typically revert back to the City, upon successful inspection/acceptance by Public Works after 1-year warranty period.

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S23019

CASE COMMENTS:

Please provide a response to the following:

1. 2014 FEMA FIRM-Structure is in AH Flood Zone with a Base Flood Elevation of 6. A finished floor elevation of 7 ft NAVD is required and has been met.
2. No response is required.

GENERAL COMMENTS

The following comments are for informational purposes.

1. 2020 Preliminary FIRM shows this parcel will become AE 6.
2. Additional comments may follow pending submission of the complete plan set.

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CASE COMMENTS:

Please provide a response to the following.

1. For the proposed Crape Myrtle trees along Sistrunk BLVD, please provide with a minimum 6 feet canopy height clearance.
2. For visibility requirements, please propose single trunked Sliver Buttonwood trees within the bulb-outs that are proposed under the overhead utilities. Please provide at 12 feet height, 6 feet spread, and minimum 6 feet canopy clearance. Trees within and or encroaching a sight triangle must have a minimum 8 feet canopy clearance when installed. Please provide trees with a canopy of 60 percent to trunk of 40 percent ratio preferred, 50 to 50 percent acceptable.
 - a. For the ornamental trees adjacent to the parking stalls along NW 6th AVE, please provide *Tabebuia impetiginosa* (not *T. heterophylla*) species of tree. The Department, at the request of the mayor, is coordinating developments as to creating streets of distinction through streetscapes. NW 6th AVE has been designated to have Pink Tab trees and the *T. impetiginosa*, being not a large tree, would be supported by the Department for use adjacent to the overhead utilities.
3. Please propose street trees and palms as to Design Guidelines.
 - a. The use of palms within the streetscape are to have a minimum of 8 feet of wood and a minimum 18 feet height when installed.
 - b. Please propose shade tree street trees in the bulb-outs at 20 feet height, 8 feet spread, and 6 feet canopy clearance.
4. Design guidelines call for a bulb-out tree island after every two on-street parking stalls.
5. Design Guidelines call for a shade tree within the bulb-out (per existing conditions) and an ornamental tree adjacent to each parking stall.
6. Tree canopy within a sight triangle requires a clearance of 8 feet. Please maintain tree canopy 60% to tree clear trunk 40% ratio heights adjust overall height of trees in sight triangles.
7. Light fixtures with an overall height of more than ten feet shall be located a minimum of 15 feet away from shade trees, as per ULDR Section 47-21.12.
8. Illustrate and label the horizontal clearance from tree trunk to edge of utility on the landscape plan. Landscaping must provide a minimum horizontal clearance of 5 feet for small trees and palms, and a minimum of 10 feet for large trees and palms from underground utilities.
 - a. Please propose a drainage system so that proper placement of shade trees within the bulb-outs may be located.
9. Please provide clarity on the existing power lines that run through the middle of the site.
10. Tree preservation requirements apply and are to be followed. Please have ISA Arborist investigate candidates that would be good to save by relocation.
11. For specimen size trees, provide ISA Certified Arborist report for specimen trees, as per ULDR 47-21.15. This report is to be on an ISA Certified Arborist business letterhead with contact information and ISA



Certification number clearly stated. This report would include tree survey with numbered trees, a corresponding table which includes tree number, botanical name and common name, trunk diameter at breast height, clear trunk for palms, condition percentage, etc., and a written assessment of existing tree characteristics.

12. Please have a certified ISA Arborist provide the information as to the existing trees including the condition ratings that will be required for mitigation purposes. Please provide mitigation in equivalent replacement and in equivalent value. Please indicate how the mitigation will be provided on Landscape plans.
13. Additional comments may be forthcoming after the next review of new plans and written comment responses.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not submit for tree removal at this time of DRC submittal.
2. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.
3. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.



Case Number: UDP-S23019

CASE COMMENTS:

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180 degree view peephole.
2. Residential unit entry doors should be equipped with a quality secondary deadbolt locking system and have a 180 degree peephole or view port for security.
3. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
4. All glazing should be impact resistant.
5. Units should be pre-wired for an alarm system.
6. Lighting and landscaping should follow CPTED guidelines.
7. Stairs should be egress-only at the ground level to avoid unauthorized intrusion.
8. Pool and Recreation areas should be equipped with a child proof access control feature to prevent unsupervised children access to the area.
9. A Video Surveillance System (VSS) should be employed throughout the property with focus on entry/exit points, pool, elevators, parking garage, hallways, offices, stores, bike storage, and common areas. It should be capable of retrieving an identifiable image of a person.
10. Emergency communication devices should be placed in the parking garage, pool and common areas. These should be easily identifiable and accessible.
11. Light reflecting paint should be used in parking garage to increase visibility and safety.
12. The parking garage entry should be equipped with high-speed gates or crossbars, or in ground spikes to prevent unauthorized intrusion or "piggy-backing".
13. All restricted areas and resident only areas should be access controlled and labelled as such.
14. Elevators should be access controlled and labelled as such, to indicate resident only access versus public access.
15. Parking garage should have access control separating private residential parking from public access parking.
16. Bike storage area should have access control for residents only, as well as individual locking devices.
17. Office and storefront doors and common area doors should be lockable from the inside to provide safe shelter in the case of an active threat such as an active killer event.
18. Fort Lauderdale Police/Fire Dispatch should be notified of access for first responders

GENERAL COMMENTS

It is highly recommended that the managing company make arrangements for private security during construction.

Please submit responses in writing prior to DRC sign off.



Case Number: UDP-S23019

CASE COMMENTS:

Please provide a response to the following:

1. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
2. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
3. Solid Waste charges shall be included in the monthly maintenance fee as prescribed in owner's association documents (multi-family).
4. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
8. Commercial – Strip stores shall share bulk containers to avoid each tenant having a dumpster.
9. Solid waste collection shall be from a private loading dock.
10. Solid Waste transport to trash rooms or to primary waste container shall be performed inside building using interior service corridor (Retail, Office, Condo, Hotel).
11. Containers: must comply with 47-19.4
12. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
13. Draw equipment on the plan to show it will fit in trash room.
14. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
15. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to GWoolweaver@Fortlauderdale.gov. The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.



- Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. Please provide specific details of solid waste and recycling collection per building



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CASE COMMENTS:

1. Include the ITE trip Generation, ITE Pass by Rates and ITE Internal Capture Sheets for each proposed use in the traffic impact statement.
2. The proposed parking reduction methodology is accepted to justify the proposed 1.21 parking spaces per residential unit.
3. Your property's drive aisle is not wide enough to accommodate two-way travel for the proposed access point on NW 6th Ave. For your proposed ingress and egress to take place on the private road NW 6th Ave you will be required to attain a public access easement from the property to the west parcel ID #5042 03 23 0020. If a public access easement is not retained, then the proposed driveway will need to be placed on a public road.
4. The renderings are showing mast arms and signals at the intersection of Sistrunk Blvd & NW 5th Ave and the intersection of NW 6th Ave and NW 5th Ct. Is signalization being proposed at these intersections? If so, then signal warrants analysis is required for each of the subject intersections and must follow the MUTCD methodology, FDOT Traffic Engineering Manual (TEM) methodology and Broward County Traffic Engineering (BCTED) standards.
5. At no cost to the City, developer shall pursue design, permitting and construction of north-south crossing of Sistrunk Boulevard at NW 5th Avenue with an appropriate traffic control, through Broward County Traffic Engineering Division (BCTED).
6. At no cost to the City, developer shall pursue design, permitting and construction of north-south and east-west crossings at the intersection of NW 5th Avenue/NW 5th Ct including an appropriate traffic control at this intersection with BCTED.
7. At no cost to the City, developer shall pursue design, permitting and construction of north-south and east-west crossings at the intersection of NW 6th Avenue/NW 5th Ct including an appropriate traffic control at this intersection with BCTED.
8. At no cost to the City, developer shall improve conditions of pavement and pavement marking around perimeter of development on NW 6th Ave, NW 5th Ct and NW 5th Ave.
9. Provide a minimum of 7.5 feet wide sidewalk on **NW 6th Ave, NW 5th Ave & NW 5th Ct**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width.
10. Provide a minimum of 10.5 feet wide sidewalk on **Sistrunk Blvd**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width. Coordinate with Broward County Transit on minimum Transit stop dimensions and required amenities.
11. Add Pedestrian lighting along the perimeter of the site.
12. Provide a roadway cross section for each roadway being affected by the proposed development.



13. In the NW 5th Ave cross section show how all three lanes will remain one southbound receiving lane, one northbound left turn lane, and one northbound thru/right turn lane.
14. Dimension the sidewalk pinch points and ensure the minimum sidewalk width requirements are being met.
15. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. Please note that if there is a proposed gate at the ingress and egress points for this development, the gate will be considered the first conflict point.
16. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
 - a. It appears parts of your proposed building are within the 25-foot sight triangle at the intersection of Sistrunk Blvd & NW 5th Ave, remove those portions of the building from the sight triangle.
 - b. It appears parts of your proposed building are within the 25-foot sight triangle at the intersection of NW 5th Ct & NW 5th Ave, remove those portions of the building from the sight triangle.
17. To improve pedestrian visibility from vehicles exiting the driveways, draw a 10' X 10' triangle from the driveway and back of sidewalk and keep that area clear of any visual obstructions.
18. All parking must be provided in accordance with the design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls. Several sheets show 90 degree parking stalls on 6% cross slopes, adjust the plans so the cross slope is no greater than 5% for non-Handicap parking stalls.
19. Handicap parking stalls are not identified in the plan sets. For handicapped parking stalls, pursuant to Florida Statute 553.5041, each parking space must be at least 12 feet wide. Parking access aisles must be at least 5 feet wide and must be part of an accessible route to the building or facility entrance. The access aisle must be striped diagonally to designate it as a no-parking zone. Handicap Parking spaces shall be level, no more than a 2% slope.
20. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
21. Illustrate the upstream and downstream driveway and intersection sight triangle requirements in Table 212.11.2 Parking Restrictions for Driveways and Intersections of the FDOT FDM. All parking within the site triangles must be removed.
<https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/roadway/fdm/2022/2022fdm212intersections.pdf>



22. Please add the following note on the site plan for the on-street parking, "None of the on-street parking spaces in public right of way are reserved for the development and may be used by any member of the public. On-street spaces may not count towards the parking requirements for the project; The spaces may be removed at any time for any reason and the City of Fort Lauderdale will not relocate displaced on-street parking."
23. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
24. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
25. Additional comments may be provided upon further review.

GENERAL COMMENTS

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle repair stations, short term and long term bicycle parking and bicycle lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

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CASE COMMENTS:

Please provide a response to the following:

1. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: <https://www.fortlauderdale.gov/government/departments-a-h/city-manager-s-office/office-of-neighbor-support> and a map of neighborhood associations may be found at: <https://gis.fortlauderdale.gov/> Please provide acknowledgement and/or documentation of any public outreach.
2. The site is designated Northwest Regional Activity Center (NWRAC) on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
3. The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the Platting Determination Submittal Requirements or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: Administrative Review Application.
4. Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: <https://www.fortlauderdale.gov/government/departments-a-h/development-services/dsd-fee-schedules/park-impact-fee-calculator>
5. Please be advised that development applications requesting residential dwelling units in the Northwest Regional Activity Center (NWRAC) are subject to RAC availability at the time of site plan approval on a first come, first served basis. Staff will advise the applicant on the status of these units during the DRC approval process.
6. The proposed development application is subject to a 30-day review period by the City Commission. The applicant will be required to submit a separate application if the project is placed on the City Commission agenda and the applicant is responsible for all public notice requirements. Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. Power Point, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information (954-828-4798).
7. This project is subject to the requirements of Broward County Public School Concurrency. The applicant will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements



have been satisfied. The City cannot accept a building permit application, nor issue a building permit, for new or additional residential units, unless the applicant presents evidence from Broward County that the impact of the proposed development on public educational sites and facilities has been mitigated by payment of school impact fees.

8. A separate easement vacation application is required to remove the nine-foot-wide FPL utility easement bifurcating the site, identified as number 15 on the survey's title notes. Provide a utility relocation plan for staff to analyze the potential relocation of utilities.
9. Provide additional information regarding the 15-foot-wide utility easement fronting NW 6th Avenue and NW 6th Street. It is unclear if the utility easement is still in use or can be removed.
 - a. If the utility easement is not vacated, all encroachments pertaining to building access and functionality shall be removed from the utility easement area.
 - b. For all other remaining encroachments, obtain a 'letter of no objection' from the City of Fort Lauderdale Public Works Department, FPL, AT&T, Comcast Cable, and TECO Gas for the construction of any retaining walls, curbs, landscape trees, equipment pads, stormwater and sanitary sewer systems and any other applicable encroachments into the existing 15-foot utility easement.
10. The project does not meet certain Northwest Regional Activity Center – Mixed Use Design Standards per ULDR Section 47-13.52. Staff has commented below under the applicable category of the Design Review Team (DRT) comment checklist.

Street Design Standards

- a. S7- Update site plan set and show curb radii; 15-feet on street intersections and 20-feet at major arterials.
- b. S9- Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines should be placed underground. If utility lines cannot be placed underground, provide documentation from FPL indicating such.
- c. S10- Provide measurements between trees on the landscape plans; provide a minimum 20 feet separation for palms/ornamentals and 30feet for shade trees.

Building Design Standards

- d. B2-
 - i. It is difficult to understand what garage elements are perforated, verses what is screened. There are a lot of competing patterns on the garage screening that should be simplified. Provide an enlarged elevation sheet of the garage to better illustrate what elements of the garage are exposed; denote all parking garage openings via shading and provide details of garage screening openings and light fixture shields.
 - ii. Update the parking garage elevation sheet to identify screening product material, including images or pictures of actual application of the screening product material.
 - iii. Ensure screening adequately blocks out light and noise pollution and incorporates a high-quality architectural treatment solution. There are concerns that light exposure might be an issue if screening is mostly non-opaque.
 - iv. Indicate where ventilators will be placed on site plan and elevations.
- e. B5-
 - i. Provide street sections for each frontage, dimensioning the ROW, on-street parking spaces, landscaped swales, sidewalks, property lines and building setbacks, etc.



- ii. NW 6th Avenue is setback further than normal due to the existing 15-foot utility easement. If the utility easement is vacated, move the western portion of the building closer to the vacated road/private roadway or better activate the street frontage between the building and edge of sidewalk for pedestrian use, i.e. benches, bike racks, outdoor seating area. Reference graphic examples below:



- f. B8-
 - i. Incorporate a midblock recession along NW 6th Street to break up the 248 feet of linear frontage to provide enough width and depth to create a change in the building's massing.
 - ii. The north elevation along NW 6th Street should contain the same architectural elements as NW 5th Avenue, such as a more prominent centralized feature that highlights NW 6th Street as the primary frontage. This can be accomplished by providing a primary entrance to the building and mirroring the architecture of the east elevation that breaks up the building's façade by adding additional fenestration, articulation, and the layering of architectural features that are carried vertically along the building's façade.
- g. B9d- Provide larger first floor, floor to ceiling windows, and/or integrate transom windows where necessary to enhance the public realm along NW 6th Street and wrap these elements around NW 5th Avenue and NW 6th Avenue. Although the interior floor height is 15 feet, 8 inches, the building feels truncated due to the height of the windows and arcade. Increase the height of the arcade to reflect the actual height of the first floor.

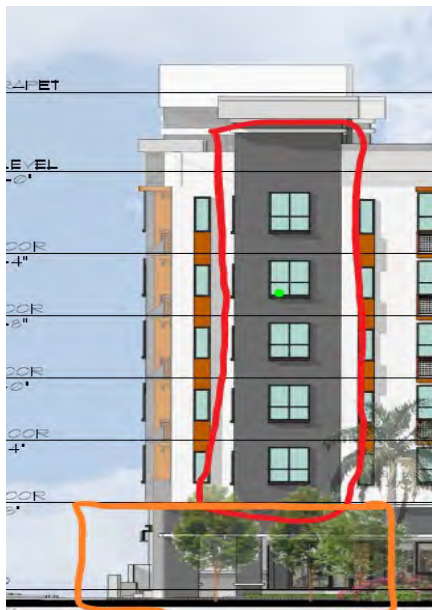


ELEVATION

- h. B14-
 - i. Additional architectural emphasis needs to be placed on the northeast corner. An example of a more active and expressive design is the building's northwest corner, which contains high levels of fenestration and balconies. Add additional architectural features to the northeast corner.. Reference images, below.

ii.

Northeast Corner



Northwest Corner



ELEVATION

- iii. Provide additional windows on northwest and southwest facing units as identified in the images below.



Northeast Frontage

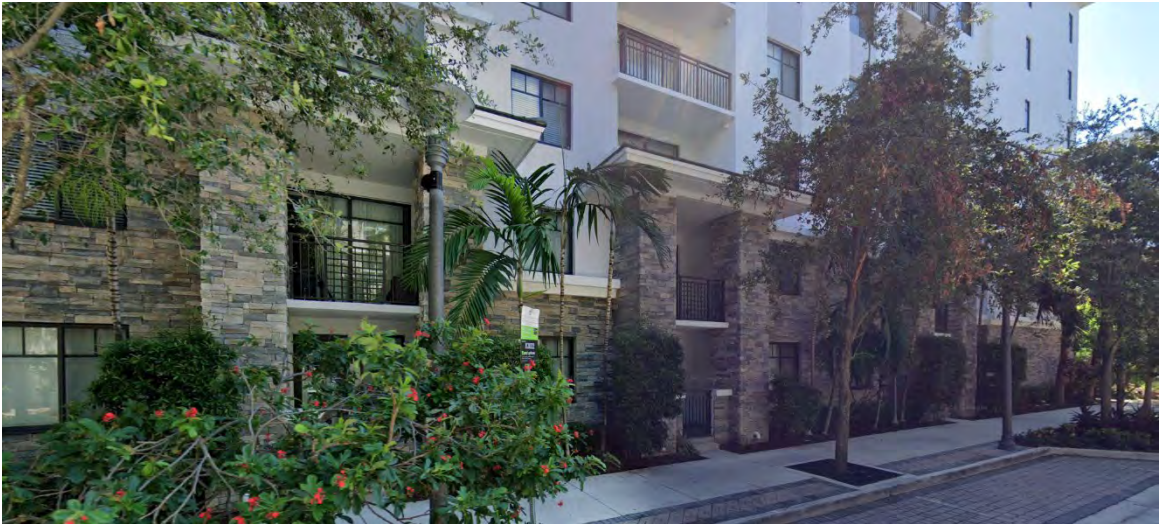


Southwest Corner



- i. B17-
 - i. Update elevations to show product material, including images or pictures of actual application of such.
 - ii. Differentiate the first floor public realm from the upper floors by changing the first floor façade materials along each frontage. Reference example, below.

First Floor Material Change Example



- j. B18- Provide a separate elevation for each frontage showing the percentage of clear glazing along each first floor. For additional first floor comments, reference comment B9d, herein.
- k. B22- Provide deeper retail bays to increase flexibility for future non-residential uses such as a bar or restaurant.
- l. B33- Relocate the emergency generator and electrical room to allow additional walkup units along

NW 5th Court to activate the street frontage and relocate back of house activities.

11. Provide the following changes on the site plan:
 - a. Work with Engineering on establishing a cross access easement over NW 6th Avenue for vehicular and pedestrian site access.
 - b. Provide a separate site plan sheet that clearly delineates all existing, remaining (not proposed to be vacated) and proposed easements.
 - c. Provide measurements of the swale systems.
 - d. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from FPL indicating such.
 - e. Updated sidewalk width and landscaped swale between each street tree Per the street design guidelines of the NWRAC Illustrations of Design Standards.
 - i. Sistrunk Boulevard (N.6th Street) is required to have a sidewalk that has a 10 foot, 6-inch-wide clear pathway. The current design shows a 10-foot-wide sidewalk.
 - ii. Secondary Streets (NW 5th Court, NW 6th Avenue, and NW 5th Avenue) are required to have sidewalks with a 7 foot, 6 inch wide clear pathway. The current design shows a 7-foot-wide clear pathway. Update the sidewalks to the required width. Additionally, a landscape swale is required between each street tree.

12. Provide the changes on the elevations:
 - a. Update rooftop plans and spot elevations to reflect the proposed parapet walls that are reflected on the elevation plans.
 - b. Provide dimensioned street sections for each elevation.
 The parapets will be highly visible from the ROW and will appear flat from vehicles and pedestrians approaching the building from the east and west. Provide additional depth to parapet walls denoted in blue below to match the design of the parapet walls denoted in green below.



13. Indicate lighting poles and landscape plan and clarify height. Be aware that lighting fixtures greater than 10 feet in height are used, they shall be located a minimum of 15 feet away from shade trees (ULDR Section 47-20.14).

14. Pursuant to Section 47-22.4.C.8 provide a master sign plan detailing the following:
 - a. Location and orientation of all proposed signage;
 - b. Dimensions of each proposed sign (height, width, depth, etc.);
 - c. Proposed sign copy; and,
 - d. Proposed color and materials
 - e. Please note any proposed signs will require a separate permit application.



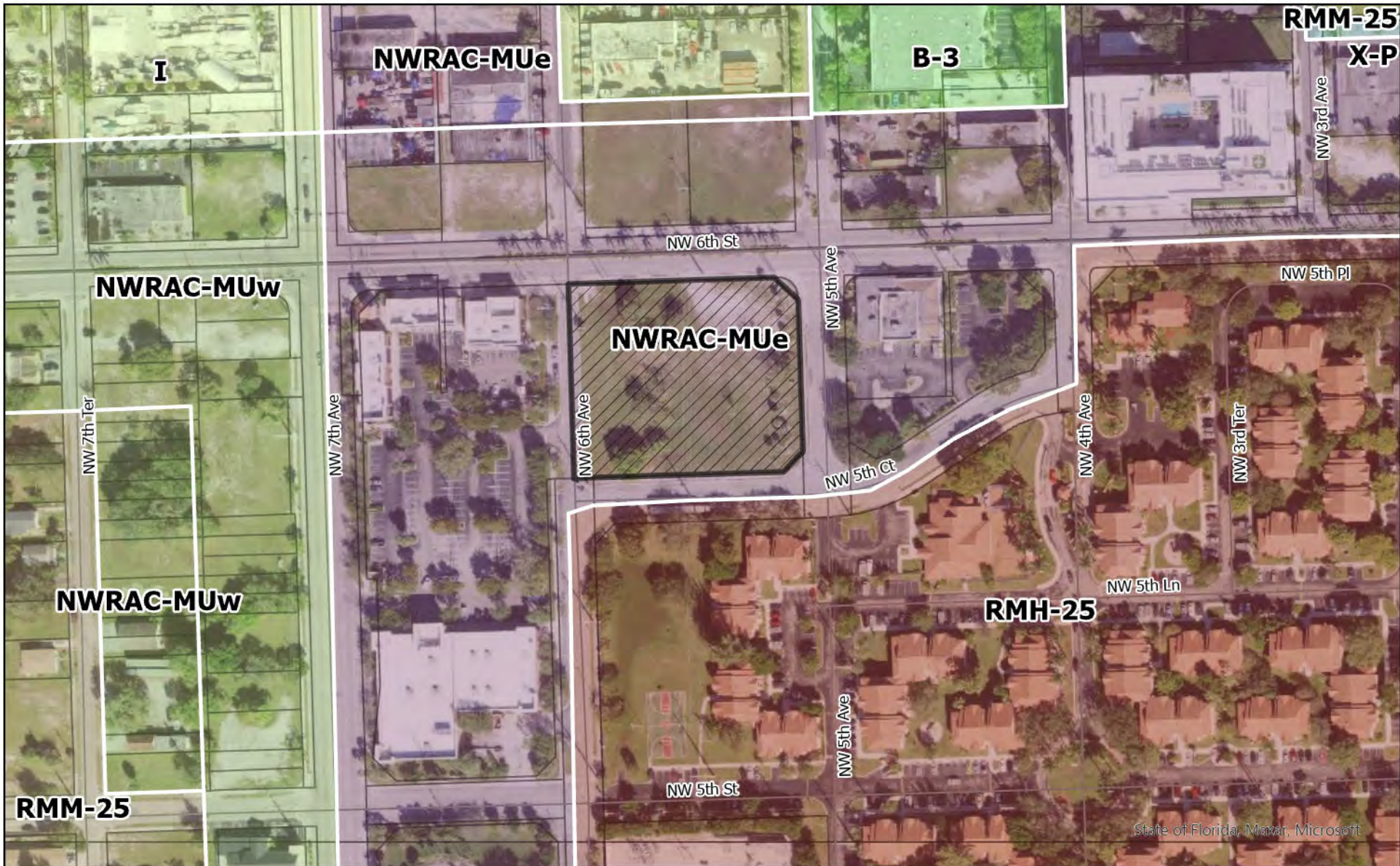
15. Provide a construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process.
16. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to: charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels, and green roofs.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Final Development Review Committee:

1. Pursuant to the State Statute 166.033(1) applications must be deemed approved, approved with conditions, or denied within 120 days, which falls on September 13, 2023, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension will result in the application being denied by the City and the applicant will be required to refile a new application and fees to proceed.
2. An additional follow-up coordination meeting may be required to review project changes necessitated by the Development Review Committee comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner Adam Schnell (954-828-4798) to review project revisions and/or to obtain a signature routing stamp.
3. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
4. Provide a written response to all Development Review Committee comments.
5. Additional comments may be forthcoming at the Development Review Committee meeting.



UDP-S23019 - Village of the Arts - 549 NW 5 AVE

