



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: July 25, 2023

**PROPERTY OWNER /
APPLICANT:** Jeansusan, Inc.

AGENT: Andrew Schein, Lochrie and Chakas, P.A.

PROJECT NAME: 11 Andrews

CASE NUMBER: UDP-S23038

REQUEST: Site Plan Level II Review: Amendment to Add 55 Multi-family Residential Units and Thirteen (13) Floors in the Downtown Regional Activity Center

LOCATION: 11 N. Andrews Avenue

ZONING: Regional Activity Center - City Center District (RAC-CC)

LAND USE: Downtown Regional Activity Center

CASE PLANNER: Jim Hetzel



Case Number: UDP-S23038

CASE COMMENTS:

Prior to City Commission Meeting, please provide updated plans and written response to the following review comments:

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website.

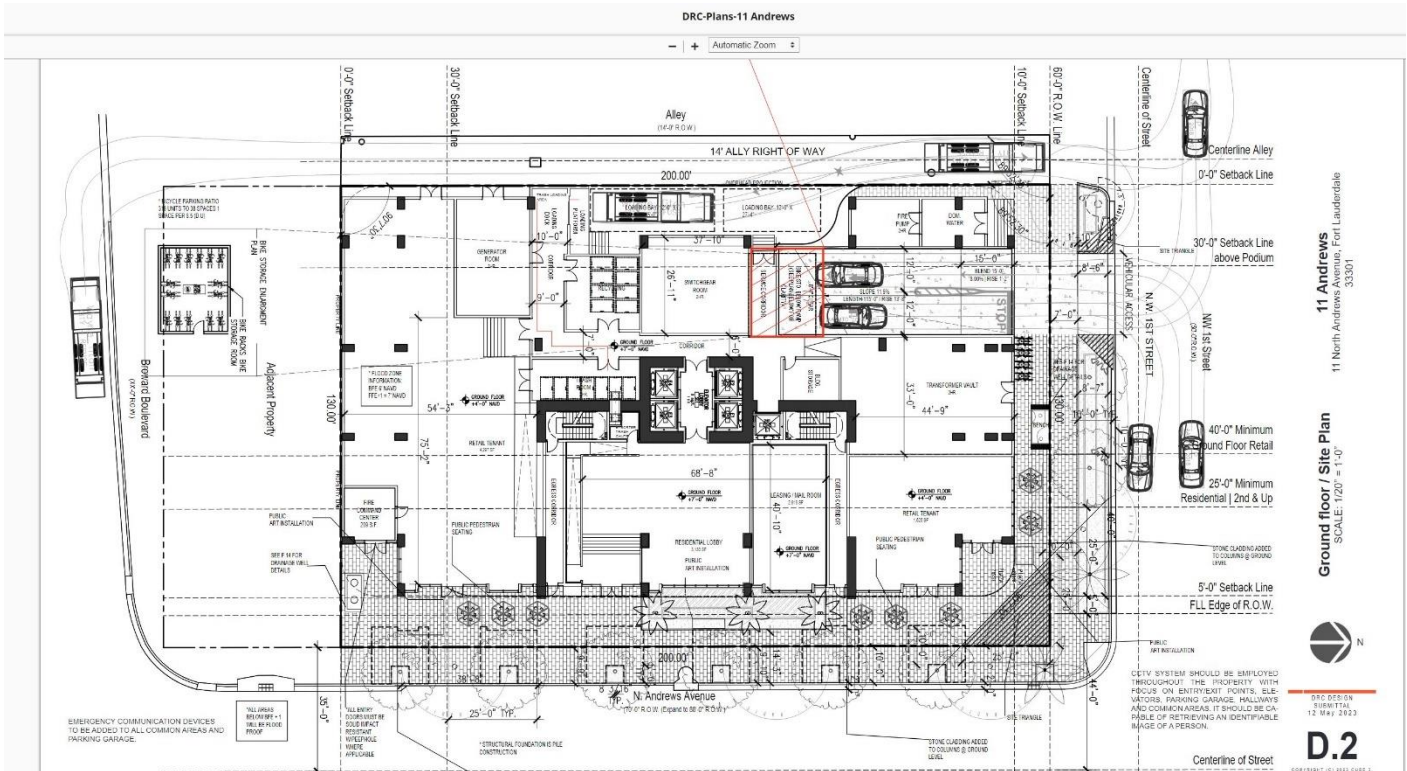
Case Number: UDP-S23038

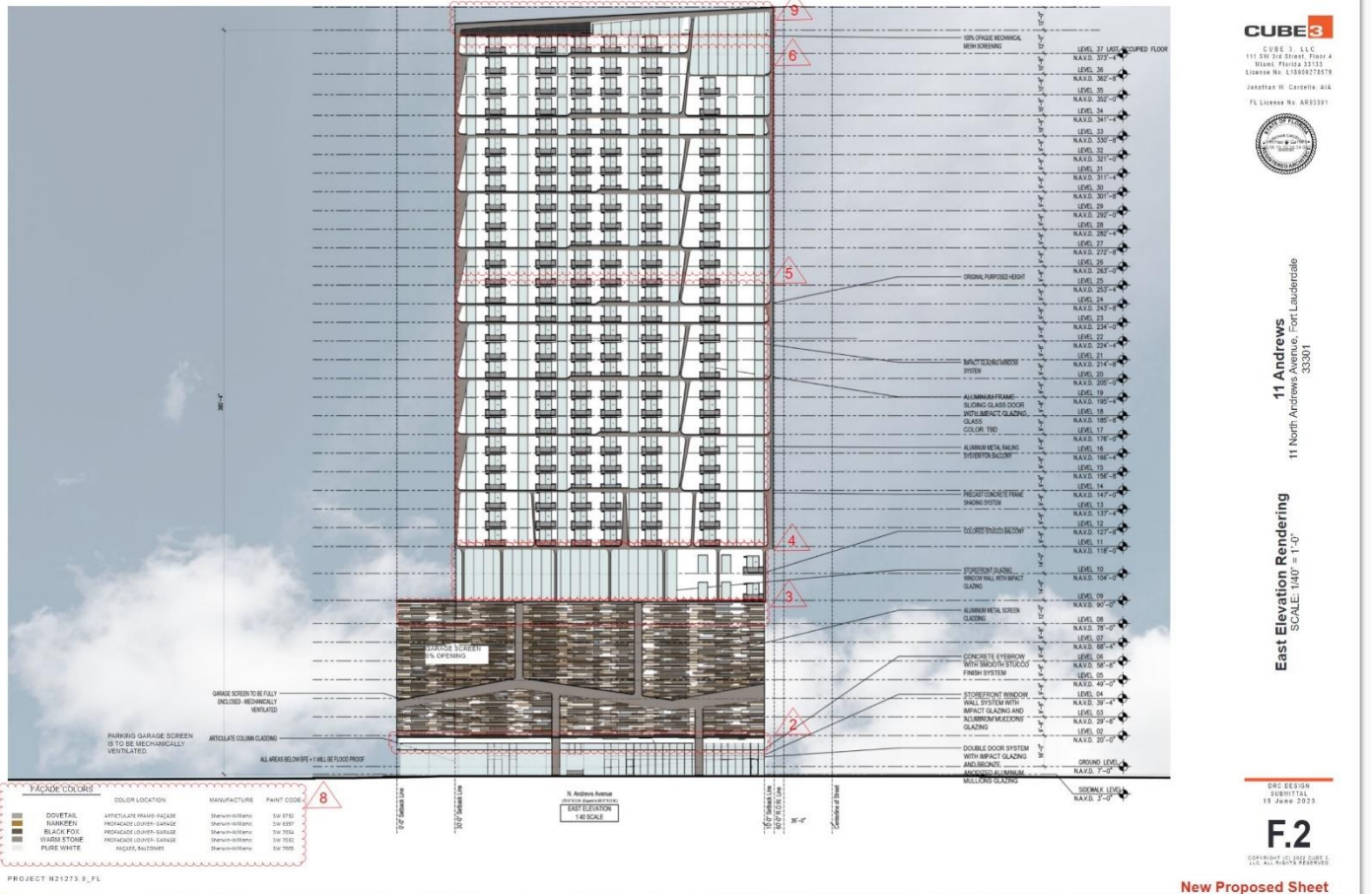
CASE COMMENTS:

Please provide a response to the following: Prior to Final DRC sign off and update plans and provide a narrative with a written response for each comment.

1. Provide the following flood zone data on the site plan from the (2014 FIRM Flood Insurance Rate Maps) 12011C0557H, "AH" flood zone with a base flood elevation of 5' NAVD 88. The finish floor elevation shall meet BFE 5' NAVD 88 + 1' freeboard = 6' NAVD 88. Provide a delineation of flood hazard areas, and flood zone(s), base flood elevation(s), and ground elevations if necessary for review of the proposed development. The preliminary maps show a BFE of 6' NAVD 88 if these maps are in use at the time of your building permit you will need to meet the 6' + 1' = 7' NAVD 88
2. Elevation requirements. (Elevated to (BFE) Base Flood Elevation + 1 'Freeboard) or above the elevation required in the Florida Building Code or the base flood elevation plus one (1) foot, whichever is higher. (BFE Base Flood Elevation + 1 foot Freeboard = FFE Finish Floor Elevation) (CFL Flood Ordinance CH 14-11)

See sheet D.2 attached and show the finish floor elevations in feet using the NAVD 88 datum.





CUBE 3
CUBE 3, LLC
111 SW 124 Street, Floor 4
Miami, Florida 33135
Licenses No. 1806025579
Jonathan W. Corneille AIA
FL License No. AR03391

11 Andrews
11 North Andrews Avenue, Fort Lauderdale
33301

East Elevation Rendering
SCALE: 1/40" = 1'-0"

F.2
DRC DESIGN
SUBMITTAL
19 June 2023

New Proposed Sheet

See (sheet F2, attached) show a floor plan of areas below base floor elevation + 1 to be floodproofed. Reference the sheet that you will show the floor elevations to be flood proofed. Show this on F3,F5

- Provide the finish floor elevation in feet using the NAVD 88 Datum and any flood levels below on Elevation (BFE 5' + 1' = 8' NAVD 88) The preliminary maps show a BFE of 6' NAVD 88 if these maps are in use at the time of your building permit you will need to meet the 6' + 1' = 7' NAVD 88
- Flood proofing is required for areas below BFE + 1' = FFE NAVD 88 (equipment and generator will need to meet BFE + 1' (Reference the floodproofing that will be done in these areas.)
- Show the elevation of the Elevator Pit (reference FEMA Technical bulletin 4) Technical Bulletin 4 provides guidance on the NFIP requirements for elevator machinery and equipment that serve buildings and provides guidance on the installation of elevators in special flood hazard areas. Elevator types and their associated equipment are described, along with practical methods to protect elevators and elevator shafts from flood damage.

REFERENCES

(Code of Ordinances, Chapter 14),

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

FEMA Elevator Installation (see link to FEMA technical Bulletin 4) see link below:

- A) Elevate all equipment above (BFE + 1')
- B) Cloud on plans that a (float switch) will be installed.
- C) Link provided.

https://www.fema.gov/sites/default/files/2020-07/fema_tb4_elevator_installation.pdf

Florida Building Code (7th edition) Flood Resistant Provision

https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/7th%20Ed_FBC_FloodProvisions_Nov2020r.pdf

City of Fort Lauderdale Flood Ordinance

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Highlights of ASCE 24-14 Flood Resistant Design and Construction (FEMA) (Section 2.7 enclosures below design flood elevation), (section 6.0 floodproofing). Section 7.0 utilities & equipment, (section 7.5 elevators)

<https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/highlights-of-asce-24-14-flood-resistant-design-and-construction.pdf?Web=1>

Per FEMA Elevator Installation (NFIP Technical Bulletin 4/ June 2019

https://www.fema.gov/sites/default/files/2020-07/fema_tb4_elevator_installation.pdf



Case Number: UDP-S23038

CASE COMMENTS:

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180 degree view peephole.
2. Residential unit entry doors should be equipped with a quality secondary deadbolt locking system and have a 180 degree peephole or view port for security.
3. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
4. All glazing should be impact resistant.
5. Units should be pre-wired for an alarm system.
6. Lighting and landscaping should follow CPTED guidelines.
7. Stairs should be egress-only at the ground level to avoid unauthorized intrusion.
8. Pool area should be equipped with a child proof access control feature to prevent unsupervised children access to the pool.
9. A Video Surveillance System (VSS) should be employed throughout the property with focus on entry/exit points, elevators, parking garage, hallways and common areas. It should be capable of retrieving an identifiable image of a person.
10. Emergency communication devices should be placed in the pool and common areas. These should be easily identifiable and accessible.
11. Light reflecting paint should be used in parking area to increase visibility and safety.
12. All restricted areas and resident only areas should be access controlled and labelled as such.
13. Elevators should be access controlled and labelled as such, to indicate resident only access versus public access.
14. Parking garage should have access control separating private residential parking from public access parking.
15. Office, gym, and storefront doors and common area doors should be lockable from the inside to provide safe shelter in the case of an active threat such as an active killer event.
16. Fort Lauderdale Police/Fire Dispatch should be notified of access for first responders.
17. "Public/Pedestrian Seating" should use CPTED concepts to prevent loitering and/or sleeping on benches.

GENERAL COMMENTS

It is highly recommended that the managing company make arrangements for private security during construction.

Please submit responses in writing prior to DRC sign off.



Case Number: UDP-S23038

CASE COMMENTS:

1. The previously approved traffic study for this site analyzed a proposed development proposing 425 high rise dwelling units and 7,000 square feet of retail. This new proposal is a reduction to 371 high-rise dwelling units and 6,500 square feet of retail. The submitted traffic impact statement is sufficient and no further analysis is required at this time.
2. Additional comments may be provided upon further review.

GENERAL COMMENTS

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

Case Number: UDP-S23038

CASE COMMENTS:

Please provide a response to the following:

1. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Provide acknowledgement and/or documentation of such outreach.
2. The site is designated Downtown Regional Activity Center (RAC) on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
3. A Site Plan Level II application was approved for this property recently, DRC Case No. UDP-S22023, which was approved for 316 units, 4,297 square-feet of commercial use, and 316 parking spaces with an overall building height of 249 feet. The current Site Plan Level II application, DRC Case No. UDP-S23038, proposes to increase the units to 371 total units, commercial to remain same, and increase to 371 parking spaces with an overall building height of 397 feet. The current application includes architectural changes to the building facades, an additional parking level, and height increase. Comments contained herein are based on these changes.
4. Pursuant to ULDR Section 47-23.16.D.8, Payment In-Lieu of Affordable Housing, applicants providing a payment in-lieu of affordable housing development shall provide a calculation breakdown of the payment in-lieu fee and narrative explaining which affordable housing policies the payment in-lieu option is forgoing. An in-lieu payment is equal to \$10,000 per unit for the total number of units within the development with an annual increase of three percent. In-lieu payments shall be equally split between the Broward County Affordable Housing Trust Fund and the City of Fort Lauderdale Affordable Housing Trust Fund. One hundred percent of the payment in-lieu of fee shall be paid to the City of Fort Lauderdale at the time of building permit issuance. Applicant has indicated in the application narrative that the project will pay in-lieu pursuant to the ULDR.
5. The project is subject to the requirements of Downtown RAC Education Mitigation Agreement or Broward County Public School Concurrency, as applicable. The applicant will notify the School Board Superintendent or designee of this proposal. A written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied.
6. In regard to physical, communication, and radar obstructions, the FAA requires a review for interference by the proposed construction of buildings. Provide a letter from the FAA indicating that such review has been performed based on proposed building height. FAA approval must be obtained prior to Final-DRC sign-off unless otherwise deemed unnecessary by the FAA. Provide communication from FXE staff on the increase in building height and the impact on the helipad.
7. Provide a preliminary construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under



a separate application and coordinated through the City's Maintenance of Traffic (MOT) process with the Transportation and Mobility Department

8. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 120 days of completeness determination, on or before November 14, 2023, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed.
9. Pursuant to the City's Comprehensive Plan, Urban Design Element, Goal 2, Objective UD 2.2, Policy UD 2.2.4, development projects are encouraged to install public art features to enhance the nature of our urban spaces. Placement of public art enhances the overall public realm and vitality of public spaces. Art features should be easily accessible and visible to the general public, adjacent public property, and other public thoroughfares. Said art shall possess functional as well as aesthetic qualities that typically reflect an awareness of a given site, both physically and socially. Consider placement of public art on the development site at northeast corner of the site or along A1A.
10. The project does not meet certain Downtown Master Plan (DMP) design intents as outlined in ULDR, Section 47-13.20 and Section 47-13.21, respectively. Staff has commented below under the applicable category and has provided images to assist the applicant.

Quality of Architecture

- a. Q1, Skyline Drama; given the increase in building height, the tower top design should be enhanced to provide for a more dramatic tower top including tower illumination.
 - b. Q2, Expressive Tops; staff recommends exploring other tower top shapes or design to provide for stronger, more dramatic top.
11. Update the floor plans and site data information to address the following:
 - a. Provide breakdown on flex residential units and affordable housing units with note indicating payment in-lieu for those units.
 - b. Expand the bicycle parking and storage given the increase in units and indicate location on plans.
 12. Provide the following changes on the building elevations:
 - a. Appears the architectural framing was reduced in size and location which impacts the overall project design. Discuss this matter further with planning staff.
 - b. Clearly label the detail sheet so it correlates with the labeling on the elevations.
 13. Pursuant to ULDR Section 47-19.2.Z, all rooftop mechanical equipment areas, stair and elevator towers should be designed as an integral part of the building volume and shall be required to be screened with material that matches the material used for the principal structure and shall be at least as high as six (6) inches above the top most surface of the roof mounted structure. Address the following:
 - a. Provide detail drawing(s) of the tower top and screening material;
 - b. Ensure the screening material is 100% opaque, made of durable material, and also meets the DMP tower design requirements; and
 - c. Provide real life application images of product material used to screen the equipment.
 14. Pursuant to Section 47-20.14, Photometrics values should be shown for the amenity deck.
 15. Coordinate with the representative for Transportation and Mobility (TAM) Department regarding plans for addressing mobility within the area, necessary project mitigation, design coordination given recent enhancements completed, and whether the project is located along a planned bike network.



16. Park impact fees are assessed and collected at time of building permit application per each hotel room and each residential unit. Please provide total park impact fee amount due. For reference, an impact fee calculator can be found at:

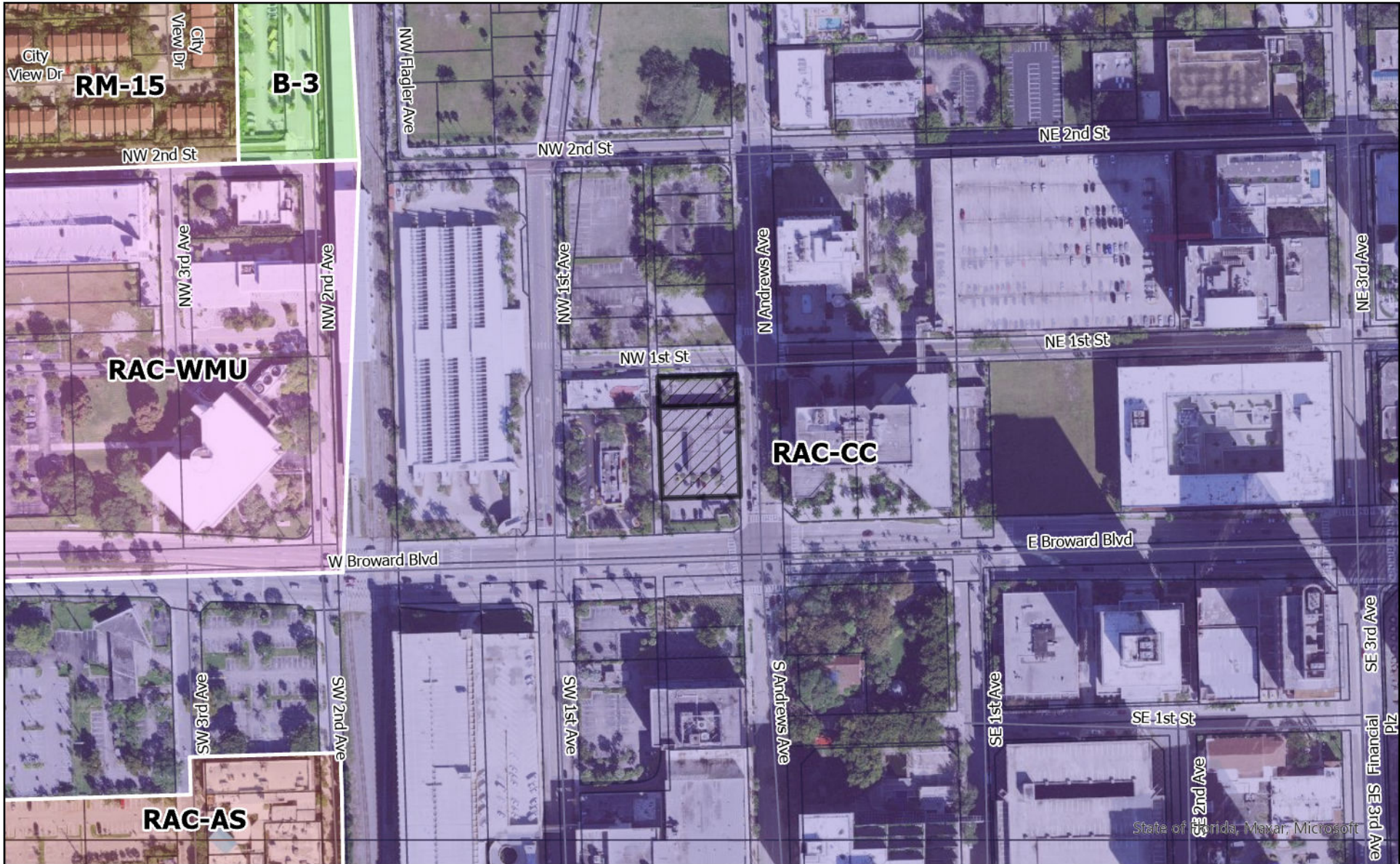
<http://www.fortlauderdale.gov/departments/sustainable-development/building-services/building-permits/park-impact-fee-calculator>

17. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs. The plans indicate the project will be LEED certified. Staff recommends the applicant provide a preliminary LEED worksheet for the application file.

GENERAL COMMENTS

The following comments are for informational purposes.

1. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments.
2. Additional comments may be forthcoming at the DRC meeting.



UDP-S23038 - 11 Andrews - 11 N ANDREWS AVE.



0 100 200 US Feet