



BOARD OF ADJUSTMENT MEETING NOTICE

August 22, 2023

A Public Hearing will be held before the Board of Adjustment on: **Thursday, September 21, 2023 at 6:00 P.M.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit:

www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-23080003
OWNER:	SHP VI/HOLDEN FORT LAUDERDALE LLC
AGENT:	ANDREW J. SCHEIN ESQ. / LOCHRIE & CHAKAS, P.A.
ADDRESS:	1290 N FEDERAL HIGHWAY, FORT LAUDERDALE, FL 33304
LEGAL DESCRIPTION:	A PORTION OF PARCEL "A" THE MAROONE CHERLOET PLAT, AS RECORDED IN PLAT BOOK 164 PAGE 47 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SUJECT TO EASMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, AND RIGHT-OF-WAY OF RECORD. (SEE SURVEY)
ZONING DISTRICT:	B-1 – BOULEVARD BUSINESS
COMMISSION DISTRICT:	2
REQUESTING:	<u>Sec. 47-19.3. (b) - Boat slips, docks, boat davits, hoists, and similar mooring structures.</u>
	<ul style="list-style-type: none"> • Requesting a variance to allow a 42" inch glass railing on top of the sea wall, whereas the code does not allow a railing on a seawall.

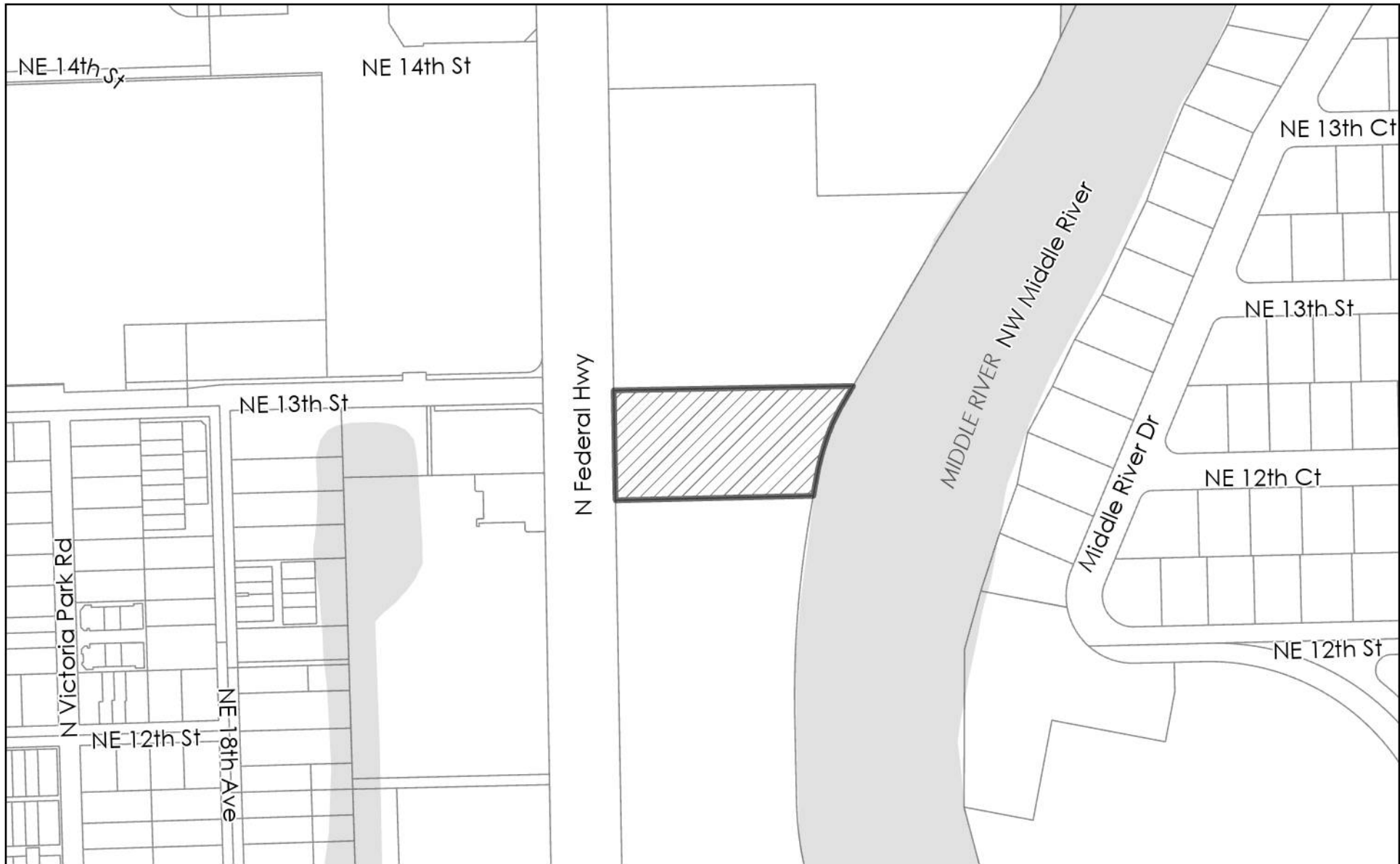
To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-23080003


LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet





CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: September 21, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23080003

Requesting: Sec. 47-19.3.(b) – Boat slips, docks, boat davits, hoists, and similar mooring structures.

- Requesting a variance to allow a 42" inch glass railing on top of the sea wall, whereas the code does not allow a railing on a seawall.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a





8/4/2023
Looking Southeast



8/4/2023
Looking North



8/4/2023
Looking Northeast



8/4/2023
Looking Southeast



8/4/2023
Looking Northeast



8/4/2023
Looking North



3/3/2023
Looking South



3/3/2023
Looking South



3/3/2023
Looking West



Allegro

1290

LEASING OFFICE

SENIOR LIVING

LEASING OFFICE

SENIOR LIVING

3/3/2023
Looking East



3/3/2023
Looking North



3/3/2023
Looking North

PLN-BOA-23080003 CODE SECTION

Sec. 47-19.3. (b) - Boat slips, docks, boat davits, hoists, and similar mooring structures.

(b)

Boat davits, hoists and similar mooring devices may be erected on a seawall or dock subject to the following limitations on the number and location as follows:

(1)

Except as provided herein, only one (1) mooring device per the first one hundred (100) feet of lot width or portion thereof, and one mooring device for each additional one hundred (100) feet of lot width. A second mooring device may be permitted within the lot area greater than one hundred (100) feet but less than two hundred (200) feet if approved as a Site Plan Level II permit, subject to the following criteria:

a.

The location of the proposed mooring device will not interfere with the view from adjacent properties to a degree greater than the intrusion already permitted as a result of the berthing of a vessel at applicant's property within the setback and extension limitations provided in the Code.

b.

The type of mooring device is the least intrusive and most compatible with the view from the waterway.

c.

No conflict with a neighboring property owner's usage of the waterway will be created as a result of the additional mooring device.

Pursuant to Site Plan Level II review, the development review committee ("DRC") shall determine whether the proposed additional mooring device meets the criteria based on its location and the relationship of applicant's property to abutting properties with regard to height, angle of view of the device from abutting properties and the height, width and length of the mooring device proposed.

Record

Menu **Refine Search** **New** **GIS** **Create a Set** **View Log** **Reports** **Help** My Filters --Select-- **Module** Planning

Showing 1-97 of 97

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Opened Date	Status
<input type="checkbox"/>	PLN-ZONV-23080008			Z- Zoning Verification Letter	0						08/10/2023	Complete
<input type="checkbox"/>	PLN-BOA-23080003		Allegro Senior Living	Z- Board of Adjustment (BOA)	0		1290	N	FEDERAL	HWY	08/04/2023	Open
<input type="checkbox"/>	23TMP-025015			Z- Zoning Verification Letter	0						08/02/2023	
<input type="checkbox"/>	BLD-FEN-23070021	8 Story Senior Living Facility	Holden Fort Lauderdale Senio...	Fence Permit	0		1290	N	FEDERAL	HWY	07/18/2023	Awaiting Client Reply
<input type="checkbox"/>	MEC-COM-21070016.R001	REVISED EQUIPMENT STAND SHOP DRAWING	Holden Fort Lauderdale Senio...	Plan Revision	0		1290	N	FEDERAL	HWY	06/30/2023	Complete
<input type="checkbox"/>	BLD-CNC-21030002.R002	Drawing Revisions	Holden Fort Lauderdale Senio...	Plan Revision	0		1290	N	FEDERAL	HWY	06/28/2023	Complete
<input type="checkbox"/>	MEC-COM-21070016.D001	8 Story Senior Living Facility	Document Type: Permit Appl...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	06/27/2023	Void
<input type="checkbox"/>	FIR-ALARM-21070013.R001	FIRE ALARM FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Plan Revision	0		1290	N	FEDERAL	HWY	06/12/2023	Complete
<input type="checkbox"/>	ELE-LV-21070028.R001	ACCESS CONTROL FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Plan Revision	0		1290	N	FEDERAL	HWY	06/06/2023	Complete
<input type="checkbox"/>	UDP-A23023	Amendment to a Site Plan Level III Review: Minor ...	Allegro Senior Living/Admini...	AR- Administrative Review	0	Nicholas Kalar...	1290	N	FEDERAL	HWY	05/04/2023	Approved
<input type="checkbox"/>	CE23050054	FEATHER FLAGS ON FEDERAL HWY FOR ALLEGRO LEASING		Code Case	0	Paulette DelGr...	1290	N	FEDERAL	HWY	05/01/2023	Closed
<input type="checkbox"/>	FIR-SUPP-23030008	Fire Suppression System for BLD-CNC-21030002	Holden Senior Living	Fire Suppression Permit	0		1290	N	FEDERAL	HWY	03/29/2023	Issued
<input type="checkbox"/>	BLD-CNC-21030002.D010	Exterior Door NOA	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	03/20/2023	Complete
<input type="checkbox"/>	PLN-BOA-23030002	Sec. 47-19.2. Z.1 - Roof mounted structures. • R...	Allegro Senior Living	Z- Board of Adjustment (BOA)	0		1290	N	FEDERAL	HWY	03/03/2023	Complete
<input type="checkbox"/>	BLD-CPSF-21060001.D001	Swimming Pool Railing & Ladder Shop Dwg.	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	02/28/2023	Complete
<input type="checkbox"/>	BLD-CNC-21030002.D009	Mechanical Louvers NOA	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	02/27/2023	Complete
<input type="checkbox"/>	BLD-CNC-21030002.D008	Exterior Ceiling & Framing	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	02/06/2023	Complete
<input type="checkbox"/>	BLD-CNC-21030002.D007	Sound Control Underlayment	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	01/27/2023	Complete
<input type="checkbox"/>	BLD-CNC-21030002.R001	Drawing Revisions	Holden Fort Lauderdale Senio...	Plan Revision	0		1290	N	FEDERAL	HWY	01/11/2023	Complete
<input type="checkbox"/>	BLD-CNC-21030002.D006	Misc. Metal Package	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	01/11/2023	Complete
<input type="checkbox"/>	TAM-VIO-22110001	UNPERMITTED STORAGE ABOUT THE PUBLIC RIGHT-OF-WAT...	1290 N. FEDERAL HWY PROJECT	ROW Storing Violation	0	Vaughn Malakius	1290	N	FEDERAL	HWY	11/30/2022	Closed
<input type="checkbox"/>	BLD-CNC-21030002.D005	Trusses	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	11/10/2022	Complete
<input type="checkbox"/>	BLD-ROOF-22060073.R001	Revise roof permit to include the Lightweight Ins...	Holden Senior Living	Plan Revision	0		1290	N	FEDERAL	HWY	10/11/2022	Void
<input type="checkbox"/>	BLD-CMIS-22100004	Lightweight Concrete for BLD-ROOF-22060073	Holden Fort Lauderdale Senio...	Commercial Miscellaneous Permit	0		1290	N	FEDERAL	HWY	10/05/2022	Complete
<input type="checkbox"/>	BLD-ROOF-22100026	8 Story Senior Living Facility - Lightweight Conc...	Holden Fort Lauderdale Senio...	Re-Roof Permit	0		1290	N	FEDERAL	HWY	10/04/2022	Void
<input type="checkbox"/>	MEC-COM-21070027.R001	Plan Revision for RTU Curb Engineering	Holden Fort Lauderdale Senio...	Plan Revision	0		1290	N	FEDERAL	HWY	09/08/2022	Complete
<input type="checkbox"/>	MEC-COM-21070027.D001	RTU Curb	Document Type: Permit Appl...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	09/06/2022	Void
<input type="checkbox"/>	BLD-BDSP-22080010	BUILD AND INSTALL A CONCRETE DOCK		Boatlift-Dock-Seawall-Pile Permit	0		1290	N	FEDERAL	HWY	08/15/2022	Complete
<input type="checkbox"/>	ALM-REG-22080063			Resident/Business Alarm Registration	0		1290	N	FEDERAL	HWY	08/12/2022	Auto Created
<input type="checkbox"/>	ELE-COM-22080018	ELECTRICAL FOR BLD-SIGN-22070012	allegro	Electrical Commercial Permit	0		1290	N	FEDERAL	HWY	08/04/2022	Complete
<input type="checkbox"/>	BLD-SIGN-22080004	Sign installation	Allegro	Sign Permit	0		1290	N	FEDERAL	HWY	08/04/2022	Void
<input type="checkbox"/>	ELE-COM-22070093	ELECTRICAL FOR BLD-SIGN-22070017	Allegro	Electrical Commercial Permit	0		1290	N	FEDERAL	HWY	07/27/2022	Complete
<input type="checkbox"/>	BLD-SIGN-22070017	Install 3" reverse illuminated channel letters on...	Allegro NORTH ELEVATION	Sign Permit	0		1290	N	FEDERAL	HWY	07/21/2022	Complete
<input type="checkbox"/>	BLD-SIGN-22070012	INSTALL 3" REVERSE ILLUMINATED CHANNEL LETTERS ON...	Allegro WEST ELEVATION	Sign Permit	0		1290	N	FEDERAL	HWY	07/21/2022	Complete
<input type="checkbox"/>	TMP-DEFSUB-22070024	MEC-COM-21070027 - Stands for Roof Top Equipment	Document Type: Shop Drawings	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	07/18/2022	Complete
<input type="checkbox"/>	ENG-WAT-22010004.D001	8 Story Senior Living Facility	Holden Fort Lauderdale Senio...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	06/14/2022	Complete
<input type="checkbox"/>	ENG-WAT-22010003.D001	8 Story Senior Living Facility	Holden Fort Lauderdale Senio...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	06/14/2022	Complete
<input type="checkbox"/>	ENG-WAT-21120004.D001	8-Story Senior Living Facility	Holden Fort Lauderdale Senio...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	06/14/2022	Complete
<input type="checkbox"/>	BLD-ROOF-22060073	NEW ROOF FOR BLD-CNC-21030002	Holden Senior Living	Re-Roof Permit	0		1290	N	FEDERAL	HWY	06/09/2022	Complete
<input type="checkbox"/>	BLD-CMIS-22060003	New Single Ply Flat roof and New Metal Panel Roofs	Holden Senior Living	Commercial Miscellaneous Permit	0		1290	N	FEDERAL	HWY	06/08/2022	Void
<input type="checkbox"/>	BLD-CNC-21030002.D004	WINDOW & DOOR SHOP DRAWING	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	05/18/2022	Complete
<input type="checkbox"/>	BLD-CNC-21030002.D003	Windows & Door Shop Drawing	Holden Fort Lauderdale Senio...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	04/08/2022	Complete
<input type="checkbox"/>	BLD-CNC-21030002.D002	SPOT SURVEY	Holden Fort Lauderdale Senio...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	04/04/2022	Complete
<input type="checkbox"/>	FIR-BDA-22020006	BDA SYSTEM		BDA Fire Radio System	0		1290	N	FEDERAL	HWY	02/17/2022	Issued
<input type="checkbox"/>	FIR-SSA-22020011	Install an NFPA 13 sprinkler system with standpip...	Holden at Ft. Lauderdale	Sprinkler System Aboveground	0		1290	N	FEDERAL	HWY	02/16/2022	Void
<input type="checkbox"/>	ENG-WAT-22010004	New Fire Hydrant for 8-Story Senior Living Facility	Holden Fort Lauderdale Senio...	ROW Water Permit	0		1290	N	FEDERAL	HWY	01/26/2022	Complete
<input type="checkbox"/>	ENG-WAT-22010003	6" Fire Service Tap for 8-Story Senior Living Fac...	Holden Fort Lauderdale Senio...	ROW Water Permit	0		1290	N	FEDERAL	HWY	01/26/2022	Complete
<input type="checkbox"/>	MEC-COM-22010038	Installing a kitchen hood system under Master per...	Holden	Mechanical Commercial Permit	0		1290	N	FEDERAL	HWY	01/24/2022	Void
<input type="checkbox"/>	TMP-DEFSUB-21120022	upload permit application as requested.	dck Worldwide	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	12/29/2021	Void
<input type="checkbox"/>	BLD-CNC-21030002.D001	Shoring and Reshoring Shop Drawings	Holden Fort Lauderdale Senio...	Deferred Submittal (Electronic Document Submittal)	0		1290	N	FEDERAL	HWY	12/17/2021	Complete
<input type="checkbox"/>	ENG-WAT-21120004	TAP FOR DOMESTIC SERVICE BY CONTRACTOR IN R-O-W	Holden Fort Lauderdale Senio...	ROW Water Permit	0		1290	N	FEDERAL	HWY	12/14/2021	Complete
<input type="checkbox"/>	ELE-COM-21120038	Electrical for Commercial Pool Permit BLD-CPSF-21...	Holden Fort Lauderdale Senio...	Electrical Commercial Permit	0		1290	N	FEDERAL	HWY	12/08/2021	Issued
<input type="checkbox"/>	PLB-COM-21120012	PLUMBING FOR BLD-CPSF-21060001	Holden Fort Lauderdale Senio...	Plumbing Commercial Permit	0		1290	N	FEDERAL	HWY	12/08/2021	Issued
<input type="checkbox"/>	ELE-TEMP-21090003	TEMPORARY POWER FOR CONSTRUCTION	Holden Fort Lauderdale	Electrical Temporary Pole	0		1290	N	FEDERAL	HWY	09/08/2021	Complete
<input type="checkbox"/>	BLD-PHZ-21050002.R001	Foundation for BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Plan Revision	0		1290	N	FEDERAL	HWY	08/25/2021	Complete
<input type="checkbox"/>	ELE-COM-21080070	ELECTRICAL FOR BLD-PHZ-21050002	Holden Fort Lauderdale Senio...	Electrical Commercial Permit	0		1290	N	FEDERAL	HWY	08/13/2021	Complete
<input type="checkbox"/>	PLB-COM-21080038	PLUMBING FOR BLD-PHZ-21050002	Holden Fort Lauderdale Senio...	Plumbing Commercial Permit	0		1290	N	FEDERAL	HWY	08/13/2021	Complete
<input type="checkbox"/>	PLB-COM-21080037	ONSITE SANITARY SEWER FOR BLD-PHZ-21050002	Holden Fort Lauderdale Senio...	Plumbing Commercial Permit	0		1290	N	FEDERAL	HWY	08/13/2021	Complete
<input type="checkbox"/>	PLB-COM-21080036	ONSITE STORM DRAINAGE FOR BLD-PHZ-21050002	Holden Fort Lauderdale Senio...	Plumbing Commercial Permit	0		1290	N	FEDERAL	HWY	08/13/2021	Issued
<input type="checkbox"/>	ENG-SEW-21080005	ROW SEWER FOR BLD-PHZ-21050002	Holden Fort Lauderdale Senio...	ROW Sewer Permit	0		1290	N	FEDERAL	HWY	08/13/2021	Complete
<input type="checkbox"/>	MEC-COM-21100007	Ventilation Fans for Boiler Room for BLD-CNC-2103...	Holden Fort Lauderdale Senio...	Mechanical Commercial Permit	0		1290	N	FEDERAL	HWY	08/03/2021	Issued

<input type="checkbox"/>	MEC-COM-2100007	ventilation fans for boiler room for BLD-CNC-2103...	Holden Fort Lauderdale Senio...	Mechanical Commercial Permit	0	1290	N	FEDERAL	HWY	09/09/2021	Issued
<input type="checkbox"/>	PLB-COM-21080016	PLUMBING FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Plumbing Commercial Permit	0	1290	N	FEDERAL	HWY	07/22/2021	Issued
<input type="checkbox"/>	MEC-COM-21070026	KITCHEN HOOD SYSTEM FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Mechanical Commercial Permit	0	1290	N	FEDERAL	HWY	07/22/2021	Issued
<input type="checkbox"/>	PLB-GAS-21070036	GAS PIPING FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Plumbing Gas Permit	0	1290	N	FEDERAL	HWY	07/22/2021	Issued
<input type="checkbox"/>	ENG-DEW-21070004	Dewatering for 8-Story Senior Living Facility	Holden Fort Lauderdale Senio...	Dewatering Permit	0	1290	N	FEDERAL	HWY	07/20/2021	Complete
<input type="checkbox"/>	ENG-SEW-21070010	SEWER FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	ROW Sewer Permit	0	1290	N	FEDERAL	HWY	07/20/2021	Void
<input type="checkbox"/>	ELE-LV-21070029	DATA CABLING FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Electrical Low Voltage Permit	0	1290	N	FEDERAL	HWY	07/12/2021	Void
<input type="checkbox"/>	MEC-COM-21070016	WALK IN COOLER/FREEZER FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Mechanical Commercial Permit	0	1290	N	FEDERAL	HWY	07/12/2021	Issued
<input type="checkbox"/>	ENG-DEW-21070001	DEWATERING PERMIT FOR NEW CONSTRUCTION	DEWATERING PERMIT FOR NEW CO...	Dewatering Permit	0	1290	N	FEDERAL	HWY	07/09/2021	Void
<input type="checkbox"/>	FIR-SSA-21070008	FIRE SPRINKLER FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Sprinkler System Aboveground	0	1290	N	FEDERAL	HWY	07/09/2021	Issued
<input type="checkbox"/>	FIR-SMU-21070001	FIRE LINE UNDERGROUND FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Sprinkler Main Underground	0	1290	N	FEDERAL	HWY	07/09/2021	Issued
<input type="checkbox"/>	FIR-BDA-21070001	BDA FIRE RADIO SYSTEM FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	BDA Fire Radio System	0	1290	N	FEDERAL	HWY	07/09/2021	Void
<input type="checkbox"/>	FIR-ALARM-21070013	FIRE ALARM FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Fire Alarm System Permit	-1586.87	1290	N	FEDERAL	HWY	07/09/2021	Issued
<input type="checkbox"/>	LND-INST-21070008	LANDSCAPE INSTALLATION FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Landscape Installation Permit	0	1290	N	FEDERAL	HWY	07/09/2021	Issued
<input type="checkbox"/>	PLB-IRR-21070054	IRRIGATION FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Plumbing Irrigation Permit	0	1290	N	FEDERAL	HWY	07/09/2021	Issued
<input type="checkbox"/>	MEC-COM-21070014	TRASH CHUTE FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Mechanical Commercial Permit	0	1290	N	FEDERAL	HWY	07/09/2021	Complete
<input type="checkbox"/>	ELE-LV-21070028	ACCESS CONTROL FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Electrical Low Voltage Permit	0	1290	N	FEDERAL	HWY	07/09/2021	Issued
<input type="checkbox"/>	ELE-GEN-21070020	GENERATOR FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Generator Permit	0	1290	N	FEDERAL	HWY	07/09/2021	Complete
<input type="checkbox"/>	MEC-COM-21070027	MECHANICAL A/C FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Mechanical Commercial Permit	0	1290	N	FEDERAL	HWY	07/09/2021	Issued
<input type="checkbox"/>	ELE-COM-21070072	ELECTRICAL FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Electrical Commercial Permit	0	1290	N	FEDERAL	HWY	07/09/2021	Issued
<input type="checkbox"/>	BLD-SIGN-21060042	Temporary Post and Panel Sign	Allegro	Sign Permit	0	1290	N	FEDERAL	HWY	06/29/2021	Complete
<input type="checkbox"/>	BLD-CPSF-21060001	SWIMMING POOL FOR BLD-CNC-21030002	1290 N FEDERAL HWY - Holden ...	Commercial Pool-Spa-Fountain Permit	0	1290	N	FEDERAL	HWY	06/16/2021	Issued
<input type="checkbox"/>	ENG-SITE-21060003	Site Clearing for new 8-story senior living facil...	Holden Fort Lauderdale Senio...	Site Prep and Erosion Control Permit	0	1290	N	FEDERAL	HWY	06/11/2021	Issued
<input type="checkbox"/>	LND-TREE-21050030	REMOVE TREES 10,12, 14 THRU 30, 32 THRU 39, 41,...	Tree Removal	Landscape Tree Removal-Relocation Permit	0	1290	N	FEDERAL	HWY	05/18/2021	Issued
<input type="checkbox"/>	LND-TREE-21050029	TCTF \$ 29036.00 Specimen trees received 5/26/21. ...	Specimen Tree Removal	Landscape Tree Removal-Relocation Permit	0	1290	N	FEDERAL	HWY	05/18/2021	Complete
<input type="checkbox"/>	BLD-PHZ-21050002	FOUNDATION FOR BLD-CNC-21030002	Holden Fort Lauderdale Senio...	Phase Permit	0	1290	N	FEDERAL	HWY	05/13/2021	Complete
<input type="checkbox"/>	BLD-CNC-21050003	Foundation permit application	Holden Fort Lauderdale Senio...	Commercial New Construction Permit	0	1290	N	FEDERAL	HWY	05/13/2021	Void
<input type="checkbox"/>	LND-TREE-21050014	SPECIMEN TREE REMOVAL FOR BLD-CNC-21030002	Specimen Tree Removal	Landscape Tree Removal-Relocation Permit	0	1290	N	FEDERAL	HWY	05/11/2021	Void
<input type="checkbox"/>	LND-TREE-21050013	TREE REMOVAL FOR BLD-CNC-21030002	Tree Removal	Landscape Tree Removal-Relocation Permit	0	1290	N	FEDERAL	HWY	05/11/2021	Void
<input type="checkbox"/>	BLD-CNC-21030002	New 8 story ALF (1 level parking with 7 levels of...	Holden Fort Lauderdale Senio...	Commercial New Construction Permit	0	1290	N	FEDERAL	HWY	02/26/2021	Issued
<input type="checkbox"/>	UDP-A21003	Plat Note Amendment - Plat No. 065-MP-97	Holden Ft. Lauderdale	AR- Administrative Review	0	1290	N	FEDERAL	HWY	01/12/2021	Approved
<input type="checkbox"/>	PLN-SITE-20020003	SPIII: Assisted Living Facility with 236 Sleeping...	Holden Ft Lauderdale Senior ...	DRC- Site Plan (Level II, III, IV)	685	1290	N	FEDERAL	HWY	02/21/2020	Approved
<input type="checkbox"/>	VIO-CE19070147_1		13TH STREET FEDERAL HIGHWAY ...	Violation-CODE Hearing	0	1290	N	FEDERAL	HWY	07/01/2019	Closed
<input type="checkbox"/>	CE19070147	L/S PROPLOGIX -0- CASE FOUND	13TH STREET FEDERAL HIGHWAY ...	Code Case	0	1290	N	FEDERAL	HWY	07/01/2019	Closed
<input type="checkbox"/>	PM-18112131	GMIT BP 18110618	GMIT BP 18110618	Site Prep and Erosion Control Permit	0	1290	N	FEDERAL	HWY	11/27/2018	Complete
<input type="checkbox"/>	PM-18110618	DEMO ENTIRE BLDG 2100 SF ~ ~NOC	DEMO ENTIRE BLDG 2100 SF	Commercial Demolition Permit	0	1290	N	FEDERAL	HWY	11/06/2018	Complete
<input type="checkbox"/>	PM-18091084	SEWER CAP	SEWER CAP	Plumbing Sewer Cap Permit	0	1290	N	FEDERAL	HWY	09/13/2018	Complete



BOARD OF ADJUSTMENT (BOA)

Rev: 6 Revision Date: 06/23/2023 Print Date: 00/00/0000
I.D. Number: Z&L- BOA

BOARD OF ADJUSTMENT (BOA) INFORMATION AND APPLICATION

- Cover : Deadlines, Fees and General Information
- Page 1 : Applicant Information Sheet
- Page 2 : Criteria for Variance Request
- Page 3 : Checklist for submittal and completeness
- Page 4 : Notice Requirements and Affidavit
- Page 5 : Technical Specifications

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. A meeting can be requested by emailing staff or submitting an email request to the [Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable deadline dates can be found on the City's website at the [Board of Adjustment](#) webpage.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the City's online citizen access portal and payment of fees [LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes.

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the City stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

Select the application type.	Fees
<input checked="" type="radio"/> Variance/Special Exception/Interpretation (Before):	\$2200.00
<input type="radio"/> Variance/Special Exception/Interpretation (After):	\$2800.00
<input type="radio"/> Variance/Special Exception/Interpretation (Before): Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only)	\$650.00
<input type="radio"/> Variance/Special Exception/Interpretation (After): Residential Accessory Structures & Existing Non-Conforming Structures (Homestead Only)	\$850.00
<input type="radio"/> Request for Continuance	\$900.00
<input type="radio"/> Request for Rehearing	\$300.00
<input type="radio"/> Rehearing Request before the board	\$1150.00

Page 1: BOA - Applicant Information Sheet


INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	SHP VI/Holden Fort Lauderdale LLC
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	
E-mail Address	
Phone Number	
Proof of Ownership	<input type="checkbox"/> Warranty Deed_or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Andrew J. Schein, Esq. / Lochrie & Chakas, P.A.
Applicant / Agent's Signature	
Address, City, State, Zip	1401 E. Broward Boulevard, Suite 110, Fort Lauderdale, FL 33301
E-mail Address	ASchein@lochrielaw.com
Phone Number	954-617-8919
Agent Authorization Form Submitted	<input checked="" type="checkbox"/>

Development / Project Name	Allegro Senior Living	
Existing / New	Existing: <input type="checkbox"/>	New: <input checked="" type="checkbox"/>
Project Address	Address: 1290 N. Federal Highway	
Legal Description	See survey	
Tax ID Folio Numbers <i>(For all parcels in development)</i>	494236290020	
Variance/Special Exception Request <i>(Provide a brief description of your request)</i>	Variance to allow a 42" glass railing on the seawall, where Section 47-19.3(b) of the ULDR does not permit railings on seawalls	
Applicable ULDR Sections <i>(Include all code sections)</i>	47-19.3(b)	

Current Land Use Designation	Commercial
Current Zoning Designation	B-1
Current Use of Property	Senior living facility under construction
Site Adjacent to Waterway	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)		Required	Proposed
Front	W	20'	25.4'
Side	N	None	16.2'
Side	E	None	8.1'
Rear	S	20'	25.4'

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative. If additional space is needed, attach additional page(s).

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

Variance to allow a 42" glass railing on the seawall, where Section 47-19.3(b) of the ULDR does not permit railings on seawalls

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

See narrative

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

See narrative

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

See narrative

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

See narrative

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

See narrative

AFFIDAVIT: I, Andrew Schein the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Andrew Schein
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 4 day of August, 2023

(SEAL)



Christi Anna Haga
Comm.: HH 380426
Expires: May 7, 2027
Notary Public - State of Florida

Christi Anna Haga
NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 3: Checklist for submittal and completeness: The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information below will result in your application being deemed incomplete.

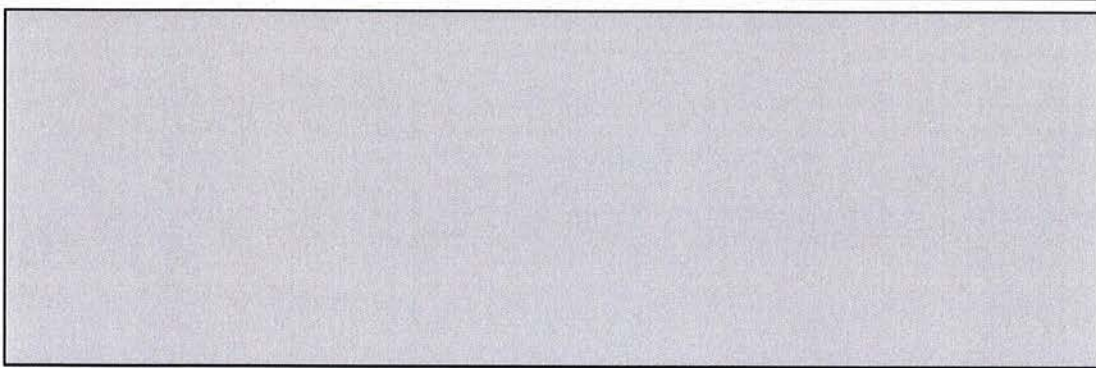
- Application submittals must be conducted through the City's Online Citizen Access Portal **LauderBuild**.
- **Submit One (1)** complete submittal by uploading all documents listed below through our City's online citizen access portal **LauderBuild** (<https://aca-prod.accela.com/FTL>). Note: The survey and plans must be digitally signed and sealed when submitting through the **LauderBuild** Portal OR submit an Original Signed and Sealed Survey and Plans at 24" x 36". Click here for [Plans room requirements](#).
- **Submit 14** copy sets of each item listed below **AFTER** the complete application submittal has been Deemed Complete. Note: The survey and plans must be at half-size scale 11X17". One (1) complete original application submittal is required.

-
- Completed application** (all pages must be filled, completed, signed and notarized, where applicable).
 - Mail notification documents** (mail notification instructions at bottom of page).
 - Proof of ownership** (Broward County Property Records, warranty deed, and/or Sunbiz), including corporation documents if applicable.
 - Agent Authorization Form.** Property owner(s) original notarized signature(s) is required (if applicable).
 - Color photographs** of the entire property and all surrounding properties, dated and labeled and identified as to orientation.
 - Narrative** describing specific request and outlining ULDR sections that are applicable. Narratives must be on letterhead, dated, and with author indicated.
 - Cover sheet** on plan set to state project name and table of contents.
 - Current survey(s)** of property, signed and sealed, showing existing conditions; survey must be As-Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of lands not included in the proposed project unless specifically requested by the City. *Survey should be less than 1 year.

 - Site Plan** (a survey *may* be substituted if the requested variance is clearly indicated)
 - Landscape Plan** (if applicable)
 - Elevations** (if applicable)
 - Additional Plan details as needed**

Note: All 14 copy sets must be clear and legible. Copy sets are due **AFTER** All deficiencies have been MET.

Note: Plans must be folded to 8 ½" x 11". All non-plan documents should be 8 ½" x 11".



MAIL NOTIFICATION: Pursuant to Section 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- **MAIL NOTICE:** Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (**stamps only, metered mail will not be accepted**). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; **no handwritten addresses will be accepted**. The return address shall be listed on all envelopes as follows:

**City of Fort Lauderdale
Zoning & Landscaping Division -BOA
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311**
 - **DISTRIBUTION:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.
 - **To order a Tax Map and Notice List,** please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855. You may also contact Kenny Gibbs at kqibbs@bcpa.net or call 954-357-5503.

Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. _____

APPLICANT: _____

PROPERTY: _____

PUBLIC HEARING DATE: _____

BEFORE ME, the undersigned authority, personally appeared _____, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. _____ (initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this _____ day of _____, 20__

(SEAL)

NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 5: Technical Specifications

A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
 - Current use of property
 - Land Use designation
 - Zoning designation
 - Site area (sq. ft. and acres)
 - Setback table (required vs. provided)
 - Open space
8. Site Plan Features (graphically indicated)
 - Setbacks and building separations (dimensioned)
 - Project signage (if applicable)
 - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (i.e. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Foreign Profit Corporation
C T CORPORATION SYSTEM

Filing Information

Document Number	804598
FEI/EIN Number	51-0006522
Date Filed	09/09/1936
State	DE
Status	ACTIVE
Last Event	CORPORATE MERGER
Event Date Filed	12/20/2013
Event Effective Date	12/31/2013

Principal Address

1200 South Pine Island Road
suite # 250
Plantation, FL 33324-4459

Changed: 04/24/2023

Mailing Address

1200 South Pine Island Road
suite # 250
Plantation, FL 33324-4459

Changed: 04/24/2023

Registered Agent Name & Address

THE CORPORATION COMPANY
1200 SOUTH PINE ISLAND RD.
PLANTATION, FL 33324

Name Changed: 09/01/2017

Address Changed: 09/01/2017

Officer/Director Detail

Name & Address

Title PRESIDENT

WEBER, JOHN
28 LIBERTY ST
NEW YORK, NY 10005

Title SECRETARY EVP

INGATO, ROBERT
28 LIBERTY ST
NEW YORK, NY 10005

Title CFO, DIRECTOR

NESTOR, THOMAS J
28 LIBERTY ST
NEW YORK, NY 10005

Title ASST SECRETARY

SANDERS, ERIN
2700 LAKE COOK ROAD
RIVERWOODS, IL 60015

Title VP, TREASURER

FELDMAN, IRVING
2700 LAKE COOK ROAD
RIVERWOODS, IL 60015

Title VP, ASST TREASURER, DIRECTOR

BALNIUS, J. MICHELE
2700 LAKE COOK ROAD
RIVERWOODS, IL 60015

Annual Reports

Report Year	Filed Date
2021	04/01/2021
2022	04/27/2022
2023	04/24/2023

Document Images

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04/22/2020 -- AMENDED ANNUAL REPORT	View image in PDF format
03/18/2020 -- ANNUAL REPORT	View image in PDF format
04/24/2019 -- ANNUAL REPORT	View image in PDF format
04/24/2018 -- ANNUAL REPORT	View image in PDF format
09/01/2017 -- Reg. Agent Change	View image in PDF format
03/31/2017 -- AMENDED ANNUAL REPORT	View image in PDF format
03/13/2017 -- ANNUAL REPORT	View image in PDF format
04/21/2016 -- ANNUAL REPORT	View image in PDF format
04/20/2015 -- ANNUAL REPORT	View image in PDF format
02/25/2014 -- ANNUAL REPORT	View image in PDF format
12/20/2013 -- Merger	View image in PDF format
04/12/2013 -- ANNUAL REPORT	View image in PDF format
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01/06/2011 -- ANNUAL REPORT	View image in PDF format
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05/01/1995 -- ANNUAL REPORT	View image in PDF format
05/01/1995 -- ANNUAL REPORT	View image in PDF format
04/28/1993 -- ANNUAL REPORT	View image in PDF format
01/31/1992 -- Reg. Agent Change	View image in PDF format
06/28/1991 -- ANNUAL REPORT	View image in PDF format
06/28/1990 -- ANNUAL REPORT	View image in PDF format
07/27/1989 -- ANNUAL REPORT	View image in PDF format
07/13/1988 -- ANNUAL REPORT	View image in PDF format
07/23/1987 -- ANNUAL REPORT	View image in PDF format
06/30/1986 -- ANNUAL REPORT	View image in PDF format
07/02/1985 -- ANNUAL REPORT	View image in PDF format
07/13/1984 -- ANNUAL REPORT	View image in PDF format
09/08/1982 -- Reg. Agent Change	View image in PDF format
06/30/1982 -- ANNUAL REPORT	View image in PDF format
06/30/1981 -- ANNUAL REPORT	View image in PDF format
07/29/1980 -- ANNUAL REPORT	View image in PDF format
07/19/1979 -- ANNUAL REPORT	View image in PDF format
08/05/1978 -- ANNUAL REPORT	View image in PDF format
06/30/1977 -- ANNUAL REPORT	View image in PDF format
12/08/1976 -- Merger	View image in PDF format
06/28/1976 -- ANNUAL REPORT	View image in PDF format
06/30/1975 -- ANNUAL REPORT	View image in PDF format
04/05/1974 -- ANNUAL REPORT	View image in PDF format
04/03/1974 -- RA CERTIFICATE	View image in PDF format
03/10/1973 -- ANNUAL REPORT	View image in PDF format
01/26/1973 -- ANNUAL REPORT	View image in PDF format
03/21/1972 -- ANNUAL REPORT	View image in PDF format
12/21/1971 -- Amendment	View image in PDF format
11/24/1971 -- ANNUAL REPORT	View image in PDF format
07/13/1971 -- ANNUAL REPORT	View image in PDF format
07/09/1970 -- ANNUAL REPORT	View image in PDF format
06/30/1970 -- ANNUAL REPORT	View image in PDF format
06/30/1969 -- ANNUAL REPORT	View image in PDF format
06/26/1969 -- ANNUAL REPORT	View image in PDF format
05/27/1969 -- RA CERTIFICATE	View image in PDF format
06/25/1968 -- ANNUAL REPORT	View image in PDF format
06/20/1968 -- ANNUAL REPORT	View image in PDF format
06/12/1967 -- ANNUAL REPORT	View image in PDF format
06/08/1966 -- ANNUAL REPORT	View image in PDF format
07/20/1965 -- ANNUAL REPORT	View image in PDF format
07/30/1964 -- ANNUAL REPORT	View image in PDF format
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06/15/1951 -- ANNUAL REPORT	View image in PDF format
12/26/1950 -- Amendment	View image in PDF format
06/12/1950 -- ANNUAL REPORT	View image in PDF format
06/20/1949 -- ANNUAL REPORT	View image in PDF format
06/24/1948 -- ANNUAL REPORT	View image in PDF format
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06/27/1940 -- ANNUAL REPORT	View image in PDF format
07/01/1939 -- ANNUAL REPORT	View image in PDF format
06/22/1938 -- ANNUAL REPORT	View image in PDF format
07/01/1937 -- ANNUAL REPORT	View image in PDF format
09/09/1936 -- Domestic Profit	View image in PDF format
09/09/1936 -- RA CERTIFICATE	View image in PDF format



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Detail by Entity Name

Florida Profit Corporation
THE CORPORATION COMPANY

Filing Information

Document Number	017109
FEI/EIN Number	51-0099484
Date Filed	06/23/1925
State	FL
Status	ACTIVE
Last Event	AMENDMENT
Event Date Filed	12/31/1973
Event Effective Date	NONE

Principal Address

1200 S. PINE ISLAND ROAD
PLANTATION, FL 33324

Changed: 04/25/2019

Mailing Address

1200 S. PINE ISLAND ROAD
PLANTATION, FL 33324

Changed: 04/25/2019

Registered Agent Name & Address

C T CORPORATION SYSTEM
1200 S. PINE ISLAND ROAD
PLANTATION, FL 33324

Name Changed: 04/25/2019

Address Changed: 09/21/2018

Officer/Director Detail

Name & Address

Title President

WEBER, JOHN
28 LIBERTY ST 42ND FL
NEW YORK, NY 10005

Title EVP, Secretary

INGATO, ROBERT
28 LIBERTY ST 26TH FL
NEW YORK, NY 10005

Title Asst. Secretary

SANDERS, ERIN
2700 LAKE COOK ROAD
RIVERWOODS, IL 60015

Title Director, VP, Asst. Treasurer

BALNIUS, J. MICHELE
2700 LAKE COOK ROAD
RIVERWOODS, IL 60015

Title Treasurer, VP

FELDMAN, IRVING
2700 LAKE COOK ROAD
RIVERWOODS, IL 60015

Title Director

MONTENEGRO, MARIA
28 LIBERTY ST 26TH FL
NEW YORK, NY 10005

Title Director

NESTOR, THOMAS J
28 LIBERTY ST 43RD FL
NEW YORK, NY 10005

Annual Reports

Report Year	Filed Date
2021	04/09/2021
2022	04/27/2022
2023	04/24/2023

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04/05/1974 -- Amendment	View image in PDF format
06/18/1925 -- Domestic Profit	View image in PDF format



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Detail by Entity Name

Foreign Limited Liability Company
SHP VI/HOLDEN FORT LAUDERDALE LLC

Filing Information

Document Number M20000003723
FEI/EIN Number N/A
Date Filed 04/15/2020
State DE
Status ACTIVE

Principal Address

655 Broad Street, 14th floor
Newark, NJ 07102

Changed: 04/20/2023

Mailing Address

655 Broad Street, 14th floor
Newark, NJ 07102

Changed: 04/20/2023

Registered Agent Name & Address

CT CORPORATION SYSTEM
1200 SOUTH PINE ISLAND ROAD
PLANTATION, FL 33324

Authorized Person(s) Detail

Name & Address

Title Member

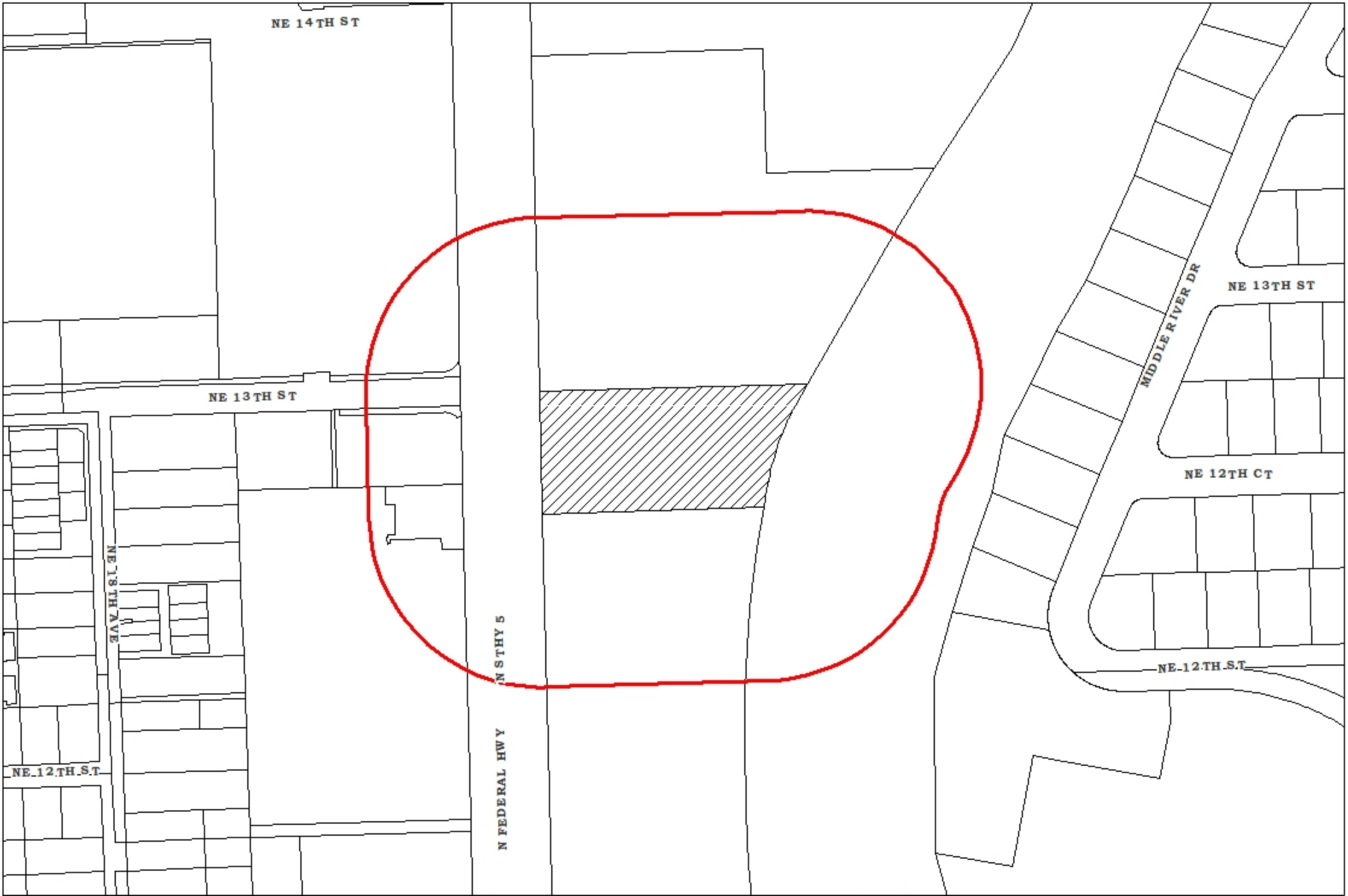
SHP VI Fort Lauderdale Investor LLC
655 Broad Street, 14th floor
Newark, NJ 07102

Annual Reports

Report Year	Filed Date
2021	04/30/2021
2022	03/28/2022
2023	04/20/2023

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NE 14TH ST

NE 13TH ST

NE 13TH ST

NE 12TH CT

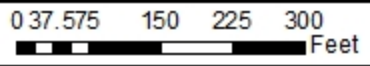
NE 12TH ST

MIDDLE RIVER DR

NE 12TH ST

NE 18TH AVE

N FEDERAL HWY



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



1290 N FEDERAL HWY
DATE OF PRINT: 03/01/2023

EXHIBIT "A"

CITY OF FORT LAUDERDALE
100 N ANDREWS AVE
FORT LAUDERDALE, FL 33301

FLORIDA DEPT OF TRANSPORTATION
OFFICE OF RIGHT OF WAY
3400 W COMMERCIAL BLVD
FORT LAUDERDALE, FL 33309

GRIECO FORD FORT LAUDERDALE LLC
2001 S FEDERAL HWY
DELRAY BEACH, FL 33483

GRIECO MOTORS LLC METRO MOTORS
VENTURES INC
2001 S FEDERAL HWY
DELRAY BEACH, FL 33483

MORSE OPERATIONS INC
2850 S FEDERAL HWY
DELRAY BEACH, FL 33483

PUBLIC LAND % CITY OF FORT LAUDERDALE
100 N ANDREWS AVE
FORT LAUDERDALE, FL 33301

SHP VI/HOLDEN FORT LAUDERDALE LLC
7135 E CAMELBACK RD #360
SCOTTSDALE, AZ 85251

TSC LAKE RIDGE LLC
333 CAMINO GARDENS BLVD #200
BOCA RATON, FL 33432

TSC SUNRISE LTD
% SLK REALTY INC
333 W CAMINO GARDENS BLVD #200
BOCA RATON, FL 33432

TSC SUNRISE LTD % SLK REALTY INC
333 CAMINO GARDENS BLVD #200
BOCA RATON, FL 33432

Applicant: Andrew J. Schein / Lochrie & Chakas, P.A.
Owner: SHP VI/Holden Fort Lauderdale LLC
Address: 1290 N. Federal Highway (“Property”)
Request: Variance from ULDR Section 47-19.3(b)

Narrative to Accompany Application for Variance

1. General Information and Request

Owner is the developer of the Allegro Senior Living facility, located at 1290 North Federal Highway (“Project”). The Project consists of 206 assisted senior living sleeping rooms and 25 memory care units in an 8-story, 80’ – 4” tall building.

Owner is requesting a variance to allow a 42” glass railing on the seawall. The purpose of the glass railing is so that residents do not fall into the water. For safety purposes, Owner needs to place the seawall as close to the waterway as possible so that residents do not go around the railing to the waterway. The Property has an existing chain-link fence installed on the seawall, and Owner is seeking to place the new 42” glass railing in the same or substantially the same location as the existing fence.

On June 2, 2023, Owner received approval for a site plan amendment for the Project. The site plan amendment, which was approved by the City’s Urban Design and Planning Division, included the replacement of the existing chain link fence with a 42” glass railing on the seawall. However, when the Owner went to obtain a permit for the railing, the zoning reviewer stated that a variance from ULDR Section 47-19.3(b) was needed. The pertinent zoning comment is shown below:

Created by: Michael Rinkus on 7/19/2023, 2:32:39 PM

Reference:

Description:

ULDR Sec. 47-19.3.(b) Only Davits, Hoists or similar Mooring devices may be erected on a seawall or dock.

ULDR Section 47-19.3(b) does not use the word “only”, however after subsequent meetings with zoning staff, applicant understands that zoning has interpreted the code this way for many years and that zoning is requiring a variance.

2. Code Provision

ULDR Section 47-19.3(b): “Boat davits, hoists and similar mooring devices may be erected on a seawall or dock subject to the following limitations on the number and location as follows...”

3. Variance Criteria

- a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property;

RESPONSE: The Project was approved showing the 42” glass railing on the seawall, which is replacing an existing chain link fence on the seawall. The Property is an assisted living facility with seniors and includes memory care units for those with Alzheimer’s or dementia. Although the new building includes modern security measures to keep the residents safe, no security measures are 100% effective. To prevent the residents from falling into the water, Owner wishes to install a railing as close to the water as possible so that residents cannot go around the railing and are not tempted to go over the railing. Owner needs the seawall to be unusable (e.g., nobody can sit on it with their feet over the waterway), which will be accomplished with placing the railing in the middle of the seawall.

These safety measures are not just reasonable for the use of the Property – they are essential.

- b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district;

RESPONSE: The Property is an assisted living facility for seniors and those requiring memory care. The Project was approved by Urban Design and Planning with a 42” glass railing, and Owner is merely asking to replace the existing chain link fence in the same location. Each of these factors alone are peculiar to the Property (or to a small number of other properties), and taken together constitute a significant marked exception from other properties in the same zoning district.

- c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district;

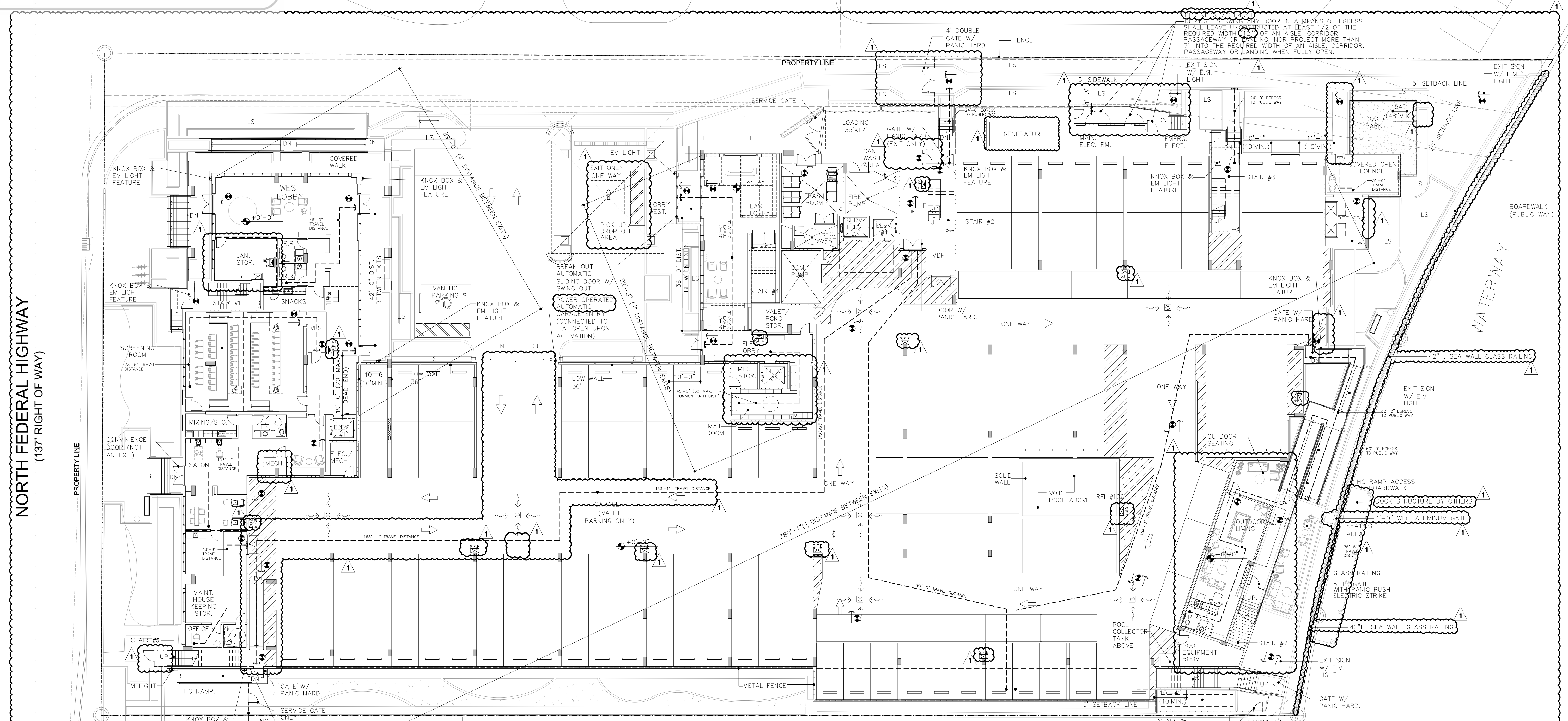
RESPONSE: Other property owners generally get to enjoy two (2) rights that the Owner does not in this case: (1) the right to rely on plans that were approved by Urban Design and Planning, and (2) the right to replace existing nonconforming fences/railings in their same location.

- d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result or mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

RESPONSE: The hardship is a result of two factors (1) relying on plans that were approved by the City, which was not created by the applicant, and (2) the unique security requirements for an assisted living/memory care facility. The unique security requirements were not created by the applicant; they are merely incidental to the specific use and, unfortunately, many of the security requirements for this use have been developed as a result of previous accidents.

- e. The variance is the minimum variance that will make possible a reasonable use of the property, and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

RESPONSE: Placing the glass railing on the seawall is the minimum variance necessary to maximize the security of the residents. The adjoining properties also have railings/fences on the seawalls, so it will be compatible with the adjoining properties. This variance is also necessary for the welfare of the residents.



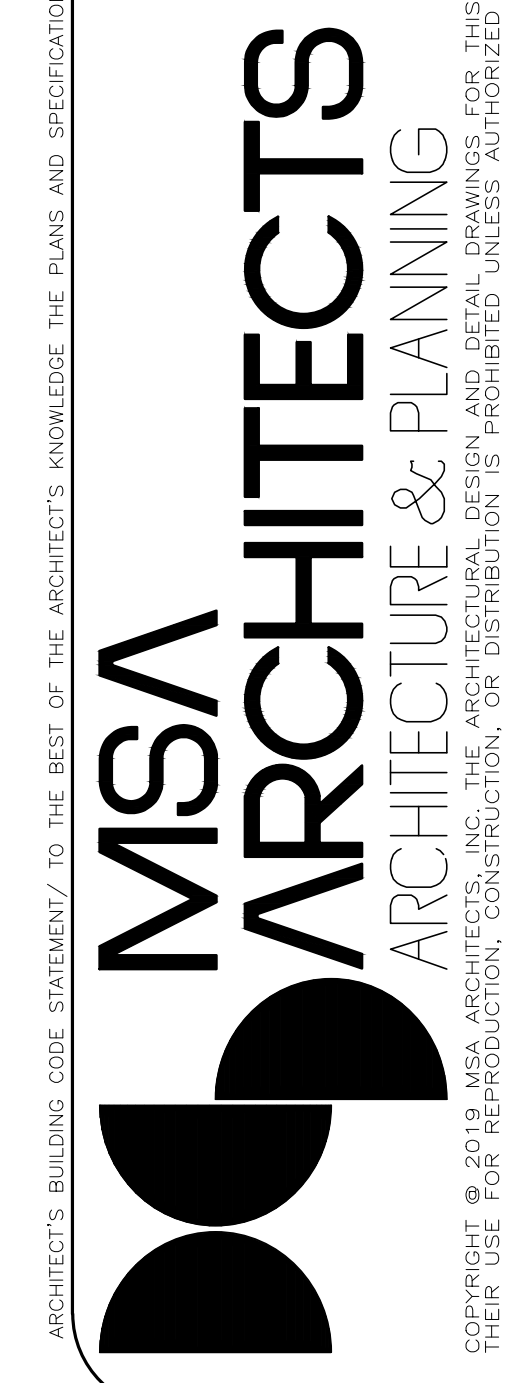
NORTH FEDERAL HIGHWAY
(137' RIGHT OF WAY)

PERMIT SET 02/12/2021	BY
DRC Revision 1 04/17/2023	

**HOLDEN FT. LAUDERDALE
 SENIOR LIVING**
 FOR:
 ALLIANCE RESIDENTIAL
 LOCATED AT:
 1290 NORTH FEDERAL HIGHWAY
 FORT LAUDERDALE, FLORIDA, 33304

JOSE I. SAUMELL
 AR0013085

MSA ARCHITECTS, INC.
 AAC000895
 9850 SW 74th COURT
 SUITE 1053
 MIAMI, FLORIDA 33156
 (305) 273-9911



DRAWN	IVA
DATE	02/21/2020
SCALE	AS SHOWN
JOB NO.	1917.PRJ
SHEET TITLE:	
LIFE SAFETY - LEVEL 1	
SHEET NUMBER:	
LS-2.1	

LIFE SAFETY PLAN LEGEND

- TRAVEL DISTANCE (250 FT PROTECTED W/ ACCESS & EXIT ROUTES AUTOMATIC FIRE SPRINKLERS)
- S.F.E. SURFACE FIRE EXTINGUISHER
- R.F.E. RECESSED FIRE EXTINGUISHER-4A-80B-C (IN RATED CABINET) @ 75'-0" TRAVEL MAX
- R.F.E. RECESSED FIRE EXTINGUISHER-2A-K (IN RATED CABINET) @ 30'-0" TRAVEL MAX
- R.F.E. RECESSED VALVE & FIRE EXTINGUISHER CABINET (POTTER ROEMER MODEL # FRC8100 SERIES UL CLASSIFIED)
- POINT OF EXIT DISCHARGE, EXIT, DESIGNATION OF EXIT WIDTH
- EXIT SIGN - SPACED 100'-0" MAX. VIEWING DISTANCE PER FBC 1006.3.2
- WANDER GUARD
- PD PANIC DEVICE
- A.E.D. AUTOMATIC EXTERNAL DEFIBRILLATOR
- OCCUP. FROM ADJOINING COMPARTMENT

NOTE:
 FIRE RATINGS SHOWN ON LIFE SAFETY PLANS ARE FIRE SEPARATION REQUIREMENTS AS PER THE FBC AND NFPA 101. REFER TO FBC TABLE 601, "FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS" FOR FIRE RATING REQUIREMENTS OF STRUCTURAL ELEMENTS. REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF ALL STRUCTURAL ELEMENTS.

ACCESSIBLE MEANS OF EGRESS

- THERE WILL BE A MAXIMUM OF 1/2" CHANGE IN ELEVATION AT EXIT DOOR THRESHOLDS.
- THERE WILL BE MAXIMUM OF 1/2" CHANGE IN ELEVATION W/1/4"x1/4" BEVEL AT LOCATIONS WITHOUT THRESHOLDS.
- ALL WALKWAYS LEADING TO PUBLIC WAY SHALL HAVE A SLOPE NOT GREATER THAN 1:20, WITH 2% MAX CROSS SLOPE.
- THE FLOOR ON EACH SIDE OF DOORS IN A MEAN OF EGRESS SHALL BE LEVEL AT LEAST WITHIN THE REQUIRED MANEUVERING CLEARANCES AT EACH SIDE OF THE DOOR.

NOTE:

- EXITS DO NOT TRAVERSE OCCUPANCIES F.F.P.C. NFPA 101.6.1.14.1.2
- A-3 & B OCCUPANCIES ARE INCIDENTAL TO I-1 & R-2, F.F.P.C. NFPA 101.6.1.14.1.3

HANDRAIL

PROVIDE A CONTINUOUS HANDRAIL ON BOTH SIDES OF THE RESIDENT CORRIDOR AND ALL GAPS AND ENDS OF THE HANDRAIL SHALL RETURN TO WALL. PROVIDE REQUIRED BLOCKING IN WALLS TO MOUNT HANDRAIL, A MINIMUM 36" A.F.F. TO TOP THE RAIL. REFER TO INTERIOR DRAWINGS FOR HANDRAIL STYLE AND DETAILS. CONTRACTOR TO COORDINATE W/ ALL FIRE EXTINGUISHER CABINETS, AND WALL MOUNTED FIXTURES & DEVICES.

OCCUPANCY BREAKDOWN (WEST LOBBY - GROUND LEVEL)

AREA NAME	GROUP I-1		CONDITION 2 (F.B.C. 308.3.2)	
	OCC. TYPE	S.F.	S.F./PP	OCC. LOAD
WEST LOBBY	A3	857	15	58
HOSP. SERVING	A3	165	100	2
SCREENING ROOM	A3	1,212	FIXED SEATING	45
SALON	B	914	150	6
MAINTENANCE/VALET	S	660	300	3
TOTAL OCCUP.				114

OCCUPANCY BREAKDOWN (EAST LOBBY - GROUND LEVEL)

AREA NAME	GROUP I-1		CONDITION 2 (F.B.C. 308.3.2)	
	OCC. TYPE	S.F.	S.F./PP	OCC. LOAD
EAST LOBBY	A3	1,102	15	74
MAIL ROOM	B	319	150	3
VALET	B	169	300	1
TOTAL OCCUP.				78

DOOR EGRESS WIDTH REQ. 78(0.2) = 15.6"
 DOOR EGRESS WIDTH PROV. 4 @ 34" = 136"
 STAIR EGRESS REQ. N/A
 STAIR EGRESS PROV. N/A

OCCUPANCY BREAKDOWN (PET SPA - GROUND LEVEL)

AREA NAME	GROUP I-1		CONDITION 2 (F.B.C. 308.3.2)	
	OCC. TYPE	S.F.	S.F./PP	OCC. LOAD
PET SPA	B	112	150	1
COV. OPEN LOUNGE	B	311	15	21
TOTAL OCCUP.				22

DOOR EGRESS WIDTH REQ. 22(0.2) = 4.4"
 DOOR EGRESS WIDTH PROV. 1 @ 34" = 34"
 STAIR EGRESS REQ. N/A
 STAIR EGRESS PROV. N/A

OCCUPANCY BREAKDOWN (OUTDOOR LIVING - GROUND LEVEL)

AREA NAME	GROUP I-1		CONDITION 2 (F.B.C. 308.3.2)	
	OCC. TYPE	S.F.	S.F./PP	OCC. LOAD
OUTDOOR LIVING (A/C)	A3	690	15	46
OUTDOOR SEATING	A3	200	15	14
TOTAL OCCUP.				60

DOOR EGRESS WIDTH REQ. 60(0.2) = 12"
 DOOR EGRESS WIDTH PROV. 2 @ 34" = 68"
 STAIR EGRESS REQ. N/A
 STAIR EGRESS PROV. N/A

OCCUPANCY BREAKDOWN (COVERED VALET PARKING GARAGE)

AREA NAME	GROUP I-1		CONDITION 2 (F.B.C. 308.3.2)	
	OCC. TYPE	S.F.	S.F./PP	OCC. LOAD
VALET PARKING GARAGE	S2	39,377	N/A	4 OCC. MAX.
TOTAL OCCUP.				4

DOOR EGRESS WIDTH REQ. 4(0.2) = 0.8"
 DOOR EGRESS WIDTH PROV. N/A
 STAIR EGRESS REQ. N/A
 STAIR EGRESS PROV. N/A

SQFT / OCCUPANCY TYPE

BLDG LEVEL	A3		B		S		S2		I-1	
	SQFT	OCC.	SQFT	OCC.	SQFT	OCC.	SQFT	OCC.	SQFT	OCC.
LEVEL 1	4,265	1,825	660	39,377	0	0	0	0	0	0
LEVEL 2	24,764	3,009	448	0	0	0	0	0	0	0
LEVEL 3	5,006	1,433	584	0	17,289	0	0	0	0	0
LEVEL 4	647	521	0	0	22,902	0	0	0	0	0
LEVEL 5	633	149	335	0	22,902	0	0	0	0	0
LEVEL 6	587	468	0	0	22,902	0	0	0	0	0
LEVEL 7	644	308	0	0	22,902	0	0	0	0	0
LEVEL 8	1,595	427	85	0	21,502	0	0	0	0	0
TOTAL SQFT	38,568	8,140	2,112	39,377	130,399	0	0	0	0	0

BLDG. OCCUPANCY

BLDG LEVELS	OCC. LOAD	
	LEVEL	OCC. LOAD
LEVEL 1	278	
LEVEL 2 (INT)	794	
LEVEL 2 (DECK)	694	
LEVEL 3	455	
LEVEL 4	238	
LEVEL 5	237	
LEVEL 6	235	
LEVEL 7	237	
LEVEL 8	291	
TOTAL OCC.	3,459	

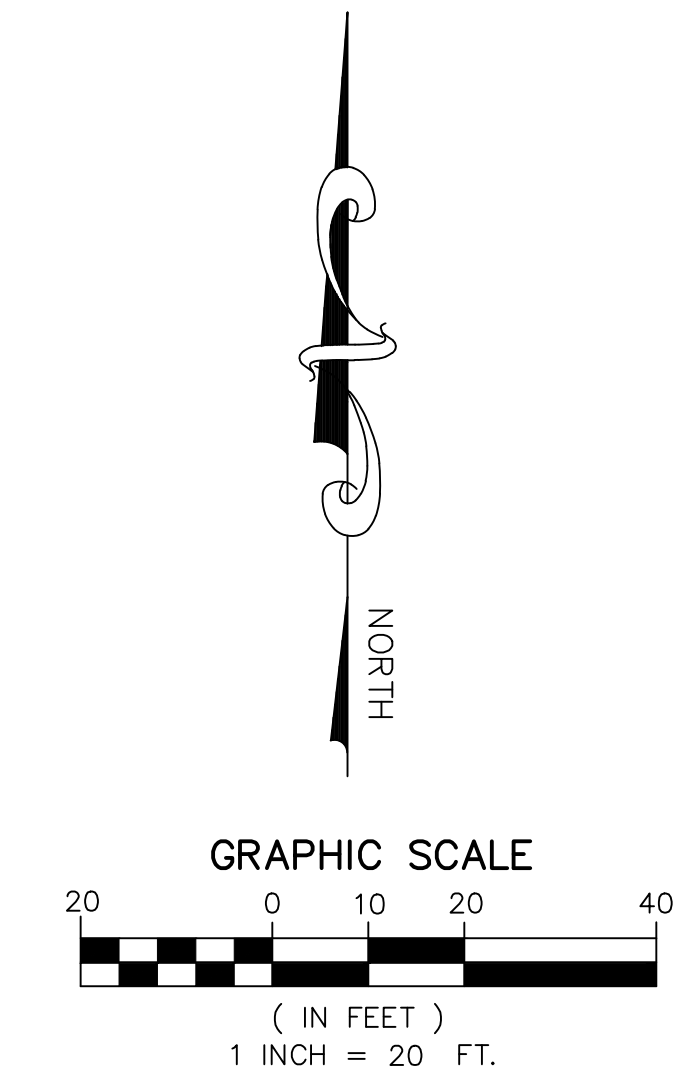
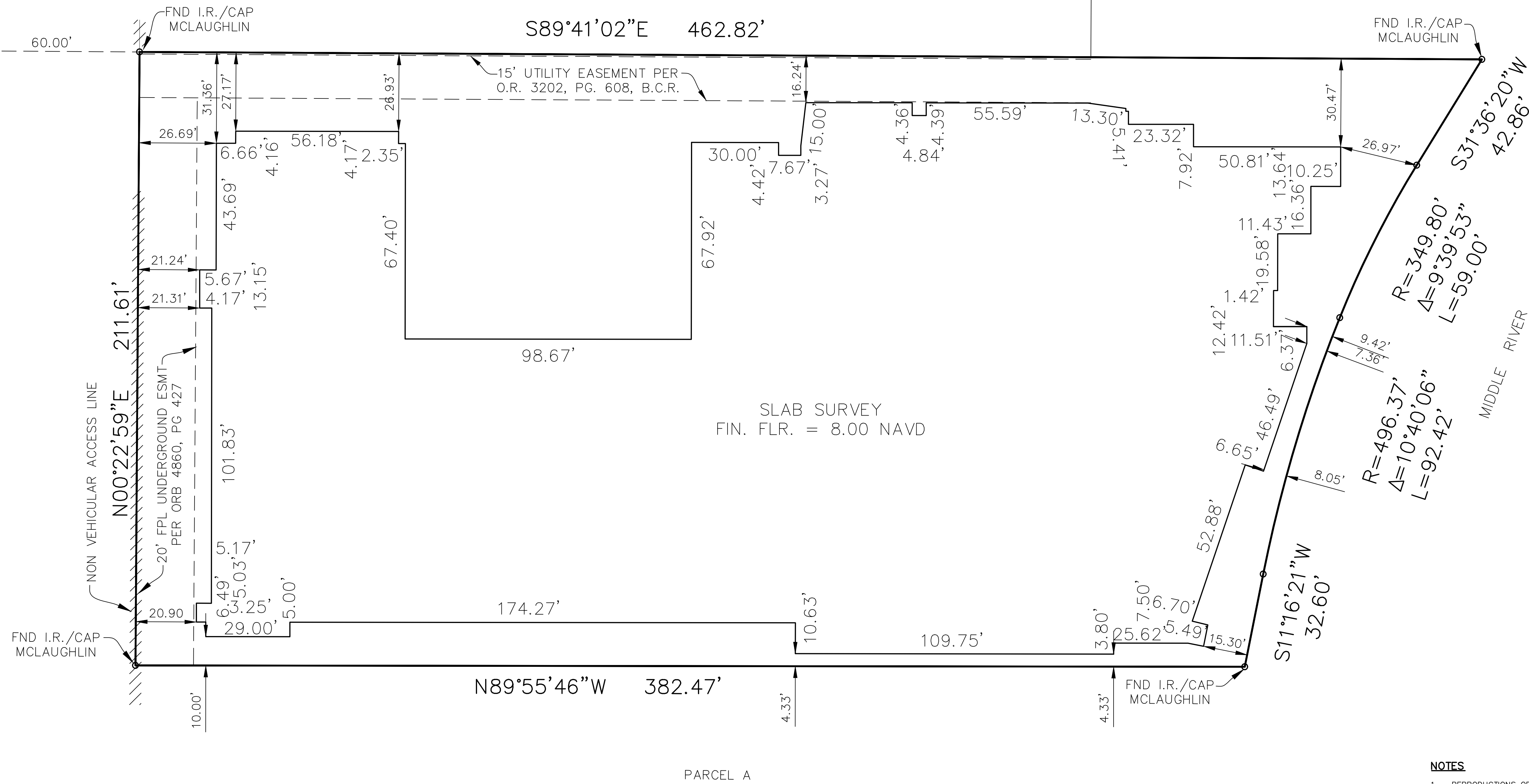
TOTAL FLOOR AREA = 50,986 S.F.

LIFE SAFETY - LEVEL 1
 SCALE: 1/16" = 1'-0"

(PROPOSED)

NORTH FEDERAL HIGHWAY

ACREAGE



SLAB SURVEY
FIN. FLR. = 8.00 NAVD

PARCEL A

LEGEND

- | | |
|---------------------------------------|------------------------------------|
| A/C - AIR CONDITIONER | SQ. FT. - SQUARE FEET |
| L - ARC LENGTH | TWP. - TOWNSHIP |
| ALUM. - ALUMINUM | TYP. - TYPICAL |
| B.E. - BUFFER EASEMENT | U.E. - UTILITY EASEMENT |
| C.O. - CLEANOUT | W.M. - WATER METER |
| CLF - CHAIN LINK FENCE | W.E. - WATER EASEMENT |
| CONC. - CONCRETE | S.E. - SANITARY EASEMENT |
| COV. - COVERED | ☉ - LIGHT POLE |
| D.E. - DRAINAGE EASEMENT | ⚡ - FIRE HYDRANT |
| ELEC. - ELECTRIC | ⚡ - CATCH BASIN |
| ELEV. - ELEVATION | ⚡ - WATER VALVE |
| EQUIP. - EQUIPMENT | ⚡ - SET 5/8" IR/CAP LB 3591 |
| ESMT. - EASEMENT | ⊙ - SANITARY MANHOLE |
| EXST. - EXISTING | ⊙ - DRAINAGE MANHOLE |
| F.P.L. - FLORIDA POWER & LIGHT | ⊙ - WOOD POWER POLE (UNLESS NOTED) |
| FIN. - FINISHED | ⊙ - CENTER LINE |
| FLR. - FLOOR | ⊙ - EXISTING ELEVATION |
| FND. - FOUND | ⊙ - TRAFFIC SIGN |
| I.R./CAP - IRON ROD & CAP | ⊙ - ELECTRICAL WIRES OVERHEAD |
| INV. - INVERT | ⊙ - ANCHOR |
| IRR. - IRRIGATION | ⊙ - WATER METER |
| L.A.E. - LIMITED ACCESS EASEMENT | ⊙ - RPZ |
| O/S - BUILDING OFFSET | ⊙ - GROUND LIGHT |
| O.R.B. - OFFICIAL RECORD BOOK | ⊙ - ELECTRIC HAND HOLE |
| P.B. - PLAT BOOK | ⊙ - IRRIGATION CONTROL VALVE |
| P.B.C.R. - PALM BEACH COUNTY RECORD | |
| P.O.B. - POINT OF BEGINNING | |
| P.O.C. - POINT OF COMMENCEMENT | |
| PSS - PAGE(S) | |
| P.R.M. - PERMANENT REFERENCE MONUMENT | |
| PROP. - PROPOSED | |
| R - RADIUS | |
| R/W - RIGHT-OF-WAY | |
| RGE. - RANGE | |
| SEC - SECTION | |
| Δ - DELTA (CENTRAL ANGLE) | |

NOTES

1. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
3. LANDS SHOWN HEREON ARE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
4. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
5. BEARINGS SHOWN HEREON ARE RELATIVE TO THE EAST RIGHT-OF-WAY OF N. FEDERAL HIGHWAY, BEARING N00°22'59"E.
6. THE "DESCRIPTION" SHOWN HEREON IS IN ACCORD WITH THE DESCRIPTION PROVIDED BY THE CLIENT.
7. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
8. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
9. FLOOD ZONE: "AE"; (EL. 7.0) COMMUNITY PANEL NO. 12011CO 0388 J; DATE: 1/10/22.
10. THE PURPOSE OF THIS SURVEY IS TO DELINEATE HORIZONTAL AND VERTICAL LOCATIONS OF NEWLY CONSTRUCTED IMPROVEMENTS ONLY AND DOES NOT CONSTITUTE A BOUNDARY SURVEY AS SUCH.

DESCRIPTION

A PORTION OF PARCEL "A", THE MAROONE CHEROLET PLAT, AS RECORDED IN PLAT BOOK 164 PAGE 47 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, AND RIGHTS-OF-WAY OF RECORD.

CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED SPECIFIC PURPOSE SURVEY OF THE HERON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON JANUARY 10, 2022. I FURTHER CERTIFY THAT THIS SPECIFIC PURPOSE SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER SJ-17 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.

DAVID P. LINDLEY, PLS
REG. LAND SURVEYOR #5005
STATE OF FLORIDA - LB #3591

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561) 392-1991 / FAX (561) 750-4452

HOLDEN FT. LAUDERDALE
SENIOR LIVING
SPECIFIC PURPOSE SURVEY

DATE	1/10/22
DRAWN BY	TW
F.B./ PG.	n/a
SCALE	noted

JOB #	9507
SHT.NO.	1
OF 1 SHEETS	

SLAB SURVEY	2/17/22	TW	BY
PARTIAL FORMBOARD SURVEY	1/10/22	TW	DATE
REVISIONS			
FILE NAME	9507FORM		

Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must POST SIGNS (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA
BROWARD COUNTY
BOA CASE NO. PLN-BOA-23080003

APPLICANT: Andrew J. Schein, Esq.

PROPERTY: 1290 N. Federal Highway

PUBLIC HEARING DATE: September 21, 2023

BEFORE ME, the undersigned authority, personally appeared Andrew J. Schein, who upon being duly sworn and cautioned, under oath deposes and says:

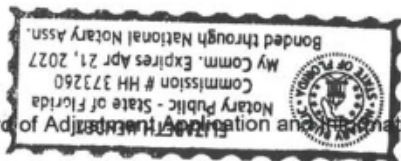
- 1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. AS (initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 5 day of September 2023

(SEAL)



NOTARY PUBLIC
MY COMMISSION EXPIRES:

