



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: September 26, 2023

**PROPERTY OWNER /
APPLICANT:** Broward Automotive, Inc.

AGENT: Josh Horning, Kimley-Horn

PROJECT NAME: 4 Rivers Self-Storage

CASE NUMBER: UDP-S23050

REQUEST: Site Plan Level II Review: 150,140 Square-Foot Self-Storage Facility

LOCATION: 1400 Progresso Drive

ZONING: Heavy Commercial/Light Industrial Business District (B-3)

LAND USE: Commercial

CASE PLANNER: Michael Ferrera

Case Number: UDP-S23050

CASE COMMENTS:

Please provide a response to the following:

1. Show allowable height, allowable number of stories, and allowable area compliance per Chapter 5 of the 2020 FBC.
2. Specify fire-resistance rating requirements based on building separation per Table 601 and 602 of the 2020 FBC.
3. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2020 FBC.
4. Indicate code compliant sprinkler system per Section 903 of the 2020 FBC.
5. Dimension accessibility requirements to site per FBC Accessibility Code.
6. Provide accessible parking spaces in accordance with the 2020 FBC Accessibility Volume.
7. Provide accessible route connecting handicap parking spaces to accessible building entrances per FBC Accessibility volume.
8. Reference the Florida Building Code 7th edition on plan for the proposed development [FBC 2020-101.2]

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

- a. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



Case Number: UDP-S23050

CASE COMMENTS:

Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:

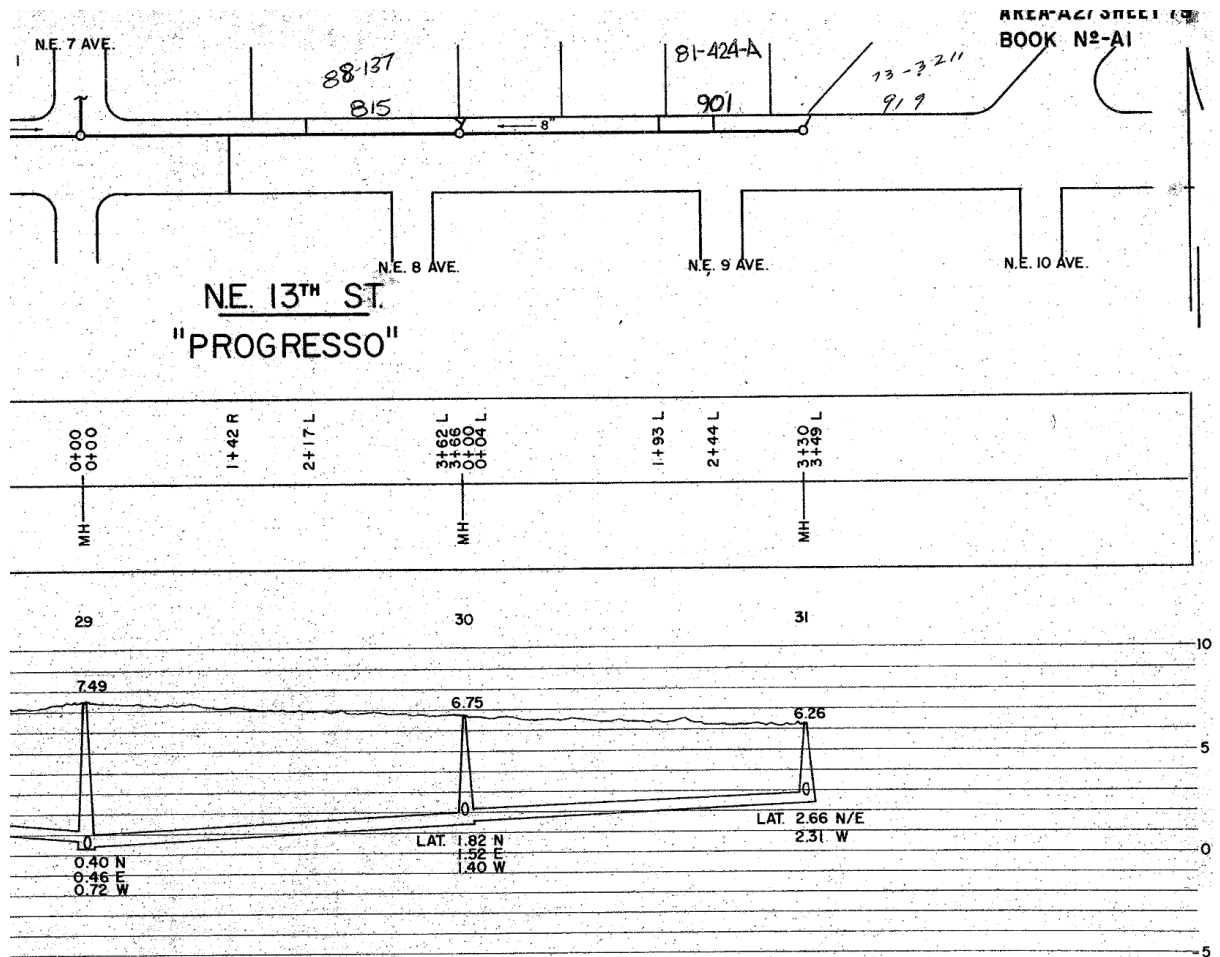
1. Update the Survey and Site Plans to include changes to sidewalk, street parallel parking and drainage inlet locations along Progresso Drive associated with adjacent 1375 Progresso Drive recent property development.
2. Discuss disposition of the existing 8-foot Drainage Easement (per O.R. 3035, Pg. 586 B.C.R.) that conflicts with the Proposed 5 – story building and 5 bay loading zone. Vacation of said easement is required and propose a new drainage easement to facilitate City maintenance access for the proposed re-routed City stormwater infrastructure; show linework in the plans.
 - a. Coordinate with DSD-Public Works staff to determine to what extent any proposed fence, landscape trees, irrigation, etc. will be allowed with the new Drainage Easement.
3. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website.
4. Update the 'ALTA/NSPS Land Title Survey' provided with the following information:
 - a. Recent changes to sidewalk, on-street parallel parking, and drainage inlet locations along Progresso Drive associated with the adjacent 1375 Progresso Drive (i.e. Burlington Self-Storage) property development.
 - b. Recent changes to water main and stormwater layout within the adjacent Progresso Drive Right-of-Way (R/W), associated with the 1375 Progresso Drive (Burlington Self-Storage) project.
 - c. Provide a copy of the recorded documents accordingly (i.e. easements, dedications, agreements, vacations, etc.) depicted on the ALTA/NSPS Land Title Survey.
5. Discuss status of existing encumbrances such as easements (including whether public or private) shown on ALTA / NSPS Land Title Survey: need for an 8' Drainage Easement vacation approval. Please be advised that vacation of any platted Utility Easement or R/W requires a separate DRC submittal, DRC staff support, and City Commission approval.
6. Sheet C2.01 (Erosion Control and Demolition Plan): Provide disposition of existing utilities (i.e. FPL poles and transformers) on-site and within the adjacent R/W that may be impacted by the proposed development. Label disposition on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
7. Clearly indicate on plans the limits of construction and how the proposed improvements will transition into the existing (on-site and off-site) as applicable.



- a. Depict existing sidewalk adjacent to the development along west and east sides of the adjacent Progresso Drive and how proposed sidewalk/ pedestrian path will transition into existing sidewalk and curb ramp locations.
8. As per the trash enclosure on site plan sheet C3.00:
 - a. Show truck turning movements in and out the proposed dumpster enclosure/ building as applicable.
 - b. Ensure sufficient height clearance is provided within the garage for truck access.
 - c. Per ULDR Section 47-19.4.D.6, all dumpster enclosures and adjacent service access drive shall be placed on poured concrete, solid or perforated interlocking concrete block paving (ICB), or any existing hardened paving system. A concrete apron shall also be placed entirely on private property.
 - d. Should dumpster be required to have a drain per ULDR Section 47-19.4.D.7, drain shall be connected to a grease traps, oil / sand separators prior to connection to sanitary public system. Also, the drain shall be protected from stormwater inflow from a Broward County 100-year design storm event.
9. Sheet C3.00 (Site Plan):
 - a. Just beyond north end of existing Progresso Drive R/W boundary, confirm that width and alignment of proposed drive aisle harmonizes with existing Progresso Drive travel lanes, especially since the ALTA/NSPS Land Title Survey is missing recent changes to sidewalk, on-street parallel parking, etc. associated with the adjacent 1375 Progresso Drive (i.e. Burlington Self-Storage) property development.
 - b. Show/label widths of existing travel lanes and on-street parallel parking stalls within the adjacent Progresso Drive R/W.
 - c. Since 'Property Data' table lists 12' x 45' loading zones (i.e. Type II) required for this project, show/label truck turning template circulation to accommodate a standard, intermediate-sized semi-trailer vehicle (AASHTO "WB-40" design vehicle) per ULDR Section 47-20.6.
 - d. Label all drive aisle widths, including those adjacent to 90-degree angle parking stalls (which shall be minimum 24' width per ULDR Section 47-20.11.A).
 - e. Truck turning templates depicted within the adjacent Progresso Drive R/W conflict with the existing on-street parallel parking stalls along the northbound curb & gutter; please reconcile and update plan as appropriate.
 - f. Discuss how gated vehicular access to this proposed development from Progresso Drive R/W will occur, if a raised island will be required for a gate access reader, and dimension proposed lane width on both sides of raised island (which should be minimum 12' per ULDR Section 47-20.5.C.3.b.i). Gates in open position shall not block adjacent parking stall, sidewalk, walkway, etc.
 - g. Show/label Florida Department of Transportation (FDOT) sight triangle for safe and adequate access of drivers and pedestrians, for the Progresso Drive southbound vehicle approach to stop sign at NE 13th Street intersection (i.e. near southwest corner of proposed development).
10. Existing public sidewalks adjacent to the proposed development (to remain) must be inspected by the Engineer of Record to ensure existing sidewalks meet ADA standards and are in good condition. A signed and sealed assessment must be provided indicating sidewalks were inspected and any sidewalk replacement requirements. Plans shall reflect the extent of sidewalk replacement accordingly.
11. Any road cuts for utilities or curb cuts within City R/W shall be restored to full lane width for 50' minimum length (by contractor), per City Code of Ordinances Section 25-108; show and label in plans as appropriate.
12. Depict proposed building doors and provide sufficient grades/details on conceptual paving, grading and drainage plans to verify ADA accessibility design for the site, especially ground floor access to the new building, as well as crossing proposed driveways and connecting to existing sidewalks (at intersections and with adjacent property) as appropriate; coordinate proposed site grading and 1st Level Finished Floor Elevations to meet ADA accessibility requirements.



13. Stormwater Management Calculations:
 - a. The Post-condition maximum stage/storage elevations for the 25-Yr/3-Day and 100-Yr/3-Day storm events are not consistent between what's depicted on the 'Stage Summary' (i.e. near top of Page 11) and the corresponding 'Cascade' calculations (i.e. specifically near the top of Pages 32 & 53). Please reconcile and update calculations as appropriate.
 - b. For the 25-Yr/3-Day storm event, if the Post-condition maximum stage/storage elevation is higher than the Pre-condition (per the calculations), please show/label the resulting required perimeter berm in plan (i.e. Paving, Grading and Drainage Plan) and typical sections (i.e. along each property boundary).
14. Drainage mitigation is required for any impacts within adjacent City of Fort Lauderdale R/W, such as increased runoff, additional impervious areas, and reduction of existing storage or treatment (i.e. swale areas). Engineer of Record (EOR) shall evaluate the adjacent City roadway system capacity and demonstrate that the proposed improvements will not negatively impact the City's existing drainage system, and provide recommendations in compliance with the City's Comprehensive Plan (i.e. meets or exceeds the 5-year/1-day storm event drainage criteria).
15. Clarify design intent of site grading in the vicinity of proposed building (i.e. ground level Finished Floor appears to be over 2.5' higher than existing ground).
16. Discuss if pedestrian lighting is proposed; if not, discuss the possibility of the addition of pedestrian lighting along adjacent City R/W, which requires perpetual maintenance by the Applicant via a Maintenance Agreement executed with the city. Please contact the Case Planner for details to match the area.
17. Sheets C4.00 & C4.01 (Paving, Grading and Drainage Plan):
 - a. Provide sufficient existing and proposed grades and information to demonstrate how stormwater runoff will remain onsite, especially in the vicinity of proposed drive aisle connection at north end of existing Progresso Drive R/W.
 - b. Provide sufficient proposed grades to demonstrate how proposed ADA parking space/accessibility route to/from building entrance meets ADA grading criteria.
 - c. Label length of each proposed stormwater pipe and exfiltration trench.
 - d. Label pipe invert elevations and top of drainage grate elevations for each proposed stormwater inlet.
 - e. Label elevation at top and bottom of each proposed stormwater retention area.
 - f. Provide and label typical section along each property boundary, to demonstrate harmonization with adjacent City R/W, Florida Eastcoast Railroad R/W, and private properties.
 - g. Provide conceptual detail for each proposed drainage well.
18. Sheet C5.00 (Utility Plan):
 - a. The proposed sewer forcemain is not to run down Public R/W or directly connect to City sewer forcemain. The existing terminal gravity sewer MH along NE 13th Street will need to be extended in order to have a gravity connection to the City system. The proposed sewer connection to this system will need to be via gravity and not forcemain.



- b. Show/label recent changes to water main infrastructure layout within adjacent Progresso Drive R/W, associated with the 1375 Progresso Drive (Burlington Self-Storage) project.
- c. Show/label location of proposed water meter(s) within adjacent City R/W.
- d. Show/label proposed sanitary sewer cleanout at property line per City standards.
- e. Provide disposition of any existing water and sewer service laterals.

Comply with all the General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.

Case Number: UDP-S23050

CASE COMMENTS:

Please provide a response to the following: New 150,140 Square foot Self Storage, prior to final DRC sign off and update plans and provide a narrative with a written response for each comment.

1. Flood zone (2014 FIRM Flood Insurance Rate Maps) 12011C0369H, AH, BFE 6' NAVD 88.

The preliminary map shows a BFE of 6 ft. NAVD (flood zone "AE").
2. (Sheet C 4.0,4.01), shows the finish floor elevation of 7' NAVD. This is meeting the BFE 6' + 1' = 7' NAVD 88
3. Provide the finish floor elevation in feet using the NAVD 88 Datum and any floor levels below 7' NAVD 88.
4. Flood proofing is required for any areas below BFE + 1' = FFE NAVD 88 (equipment, AC and generator will need to meet BFE + 1' (Reference any floodproofing that will be done if areas below 7' NAVD 88.)

REFERENCES

(Code of Ordinances, Chapter 14),

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

FEMA Elevator Installation (see link to FEMA technical Bulletin 4) see link below:

- A) Elevate all equipment above (BFE + 1')
- B) Cloud on plans that a (float switch) will be installed.
- C) Link provided.

https://www.fema.gov/sites/default/files/2020-07/fema_tb4_elevator_installation.pdf

Florida Building Code (7th edition) Flood Resistant Provision

https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/7th%20Ed_FBC_FloodProvisions_Nov2020r.pdf

City of Fort Lauderdale Flood Ordinance

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Highlights of ASCE 24-14 Flood Resistant Design and Construction (FEMA) (Section 2.7 enclosures below design flood elevation), (section 6.0 floodproofing). Section 7.0 utilities & equipment, (section 7.5 elevators)

<https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/highlights-of-asce-24-14-flood-resistant-design-and-construction.pdf?Web=1>

Per FEMA Elevator Installation (NFIP Technical Bulletin 4/ June 2019)

https://www.fema.gov/sites/default/files/2020-07/fema_tb4_elevator_installation.pdf

Case Number: UDP-S23050

CASE COMMENTS:

Please provide a response to the following.

1. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This basically means that plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Plant material species must be minimum 50% Florida Friendly Landscaping. Planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Illustrate hydrozones on planting plan and include calculations in table.
2. Section 47-21.14. A.9. Bufferyard requirement. The landscape area required by bufferyard requirement as provided in Section 47-25.3, Neighborhood Compatibility Requirements, is intended to provide a heavily vegetated view from the residential parcel. The tree requirements for the bufferyard are in addition to trees required to be installed to comply with general tree planting requirements and trees required for a VUA and include a minimum of one (1) tree for every three hundred (300) square feet or fraction thereof of bufferyard area. Trees shall be dicot types obtaining a fifteen-foot minimum height at maturity as listed in the table of tree evaluation and monocots obtaining a twelve-foot minimum height at maturity. The species mix shall be at least two-thirds ($\frac{2}{3}$) dicots.
 - a. please provide within code requirements list of required as to provided.
3. Section 47-21.12. A.1. Vehicular use areas. On the site of a building or structure or on an open lot providing a VUA, landscaping shall be provided in a square footage area equal to a minimum of twenty percent (20%) of the gross VUA. This square footage shall abut and extend no further than ten (10) feet away from a VUA. The landscape area required from a VUA shall consist of perimeter, peninsular and interior landscape areas as follows.
 - a. please show calculation that VUA minimum landscape area is being met.
 - b. required VUA trees must be no further than ten feet from the edge of the VUA pavement.
 - c. due to overhead power lines along the west perimeter, small maturing trees may be utilized in clusters of three trees to make up a shade tree.
 - d. appears to be room closer to the VUA for additional trees.
 - e. VUA, Bufferyard and Net Landscape Area tree requirements have each their own tree count requirement please do not overlap.
4. As per Section 47-21.9. G.1. Each tree shall have pervious area surrounding it sufficient to support the species, as determined by the department. Shade species with a minimum caliper of three (3) inches, two hundred and twenty-five (225) square feet with fifteen (15) feet being the smallest dimension.
 - a. Tree islands maybe reduced in width to a minimum of 8 feet inside curb to inside curb. Under the adjacent pavement will require structural soil or a product engineered for root growth under paved areas to provide this root development area.



FEET 1 2 00

- b. This tree island in the clip above appears to be under eight feet inside curb to inside curb. Would it be possible to redesign the layout of these two stalls and increase the landscape width of the tree island? If so the root development product for under pavement may not be required. If this is not obtainable, please provide a fifteen feet width tree island or minimum 8 feet landscape width tree island with a root area development product for under the pavement. The Department would suggest the use of a Soil Cell system due to weight barring properties of the VUA.
 - c. Please correct VUA tree requirement for the break down in percentage. First 25% 3.5caliper inch shade tree – next 25% 2.5caliper inch shade tree – next 20% in flowering – next 20% in palm – next 10% in optional species. (Sliver Buttonwood is not considered a shade tree) Please see Section 47-21.2. A.56. Shade tree. A single-trunked dicot or conifer tree which by virtue of its natural shape provides at maturity a minimum shade canopy thirty (30) feet in diameter as listed in the table of tree evaluation.
5. Please have a certified ISA Arborist provide the information as to the existing trees including the condition ratings that will be required for mitigation purposes. Please provide mitigation in equivalent replacement and in equivalent value. Please indicate how the mitigation will be provided on Landscape plans. Here is a link to a city web page to help with mitigation calculations.
<https://www.fortlauderdale.gov/home/showpublisheddocument/67614/637889169624700000>
 - a. tree disposition sheet needs to provide the clear trunk height measurement and condition rating of the trees.
 6. Tree and Plant species included on the Florida Exotic Pest Plant Council's Invasive Plant Species List as amended, shall not be planted as required or optional landscaping, as per ULDR Section 47-21.18, and invasive plant species listed shall be removed from the site, as per ULDR Section 47-21.8. I.
 7. Provide tree protection barricade detail for existing trees on site to remain, as per ULDR 47-21.15. This barricade must be installed prior to the beginning of proposed work, and a landscape job-check inspection may be scheduled.
 8. Please provide within the code requirement sheet of the required as to provide the percentage of sod use. Turf grass not to exceed fifty percent of the landscape area.
 9. Only shrubs and turf may be located within the city utility easements no trees or palms allowed. Please clearly show the city easement width on Landscape plan devoid of trees and palms.
 10. Additional comments may be forthcoming after next review of new plans and written comment responses.



GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.
2. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.
3. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.



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CASE COMMENTS:

Please provide a response to the following:

1. Please submit a photometric plan for the exterior that meets IES standards. Areas should include the parking lot, walkways, and drive. The plan should also include specific lighting fixtures being installed.
2. Entry doors should be solid, impact resistant or metal and should be equipped with a 180-degree view peephole if it is a solid door.
3. Exterior doors should be equipped with burglary resistant lock systems such as latch guards or security plates and hinge pins where applicable.
4. All glazing should be impact resistant.
5. The business should be pre-wired for an alarm system, to include duress, motion, and door contacts on all entry exit doors.
6. A video surveillance system (VSS) should be employed throughout the property with a focus on entry/exit points, hallways, and common areas. The exterior parking areas should be incorporated into the VSS installation. The system should be capable of retrieving an identifiable image of a person and video retention should be for a minimum of 30 days.
7. An electronic access control system should be installed on specific entry/exit doors to prevent unauthorized access, as well as restrict access during non-operating hours.
8. Storage units should have solid walls between them to prevent burglary. Unit alarms and electronic door access "smart locks" are recommended.
9. It is recommended that exterior fencing and parking lot entrance gates be constructed of material that is anti-scale, palisade style or similar, has pickets at the top, and allows for natural surveillance,
10. All Lighting at the facility, including in the parking lot, should conform to IES standards and landscaping should follow CPTED guidelines.

GENERAL COMMENTS

It is highly recommended that the managing company arrange for private security during construction. Please submit responses in writing prior to DRC sign off.



Case Number: UDP-S23050

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
8. Containers: must comply with 47-19.4
9. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthened apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
10. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
11. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - ***This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to Gwoolweaver@fortlauderdale.gov . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.***
 - ***Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.***

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



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CASE COMMENTS:

1. Maintain the existing parallel parking stalls on Progresso Drive in place.
2. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
3. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls. The standard parking stalls do not meet the minimum 8' 8" width requirements, revise the plans accordingly to meet the minimum dimensional requirements.
4. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. As proposed the first conflict point will be the parking stall. This proposal is not meeting the minimum stacking requirements.
5. For a development which generates less than five hundred (500) trips per day, a lesser number of stacking spaces may be authorized by the reviewing authority based on a traffic impact statement prepared by a licensed engineer, American Institute of Certified Planners certified planner which indicates that characteristics of the proposed use or abutting right-of-way support a determination that the need for stacking spaces is less than that required by the ULDR. These characteristics may include, but are not limited to, the following:
 - a. A deceleration lane will be located at the driveway, or
 - b. The peak hour directional traffic volumes on the abutting right-of-way do not coincide or conflict with peak hour usage on the site, or
 - c. Characteristics of the proposed use such as low traffic generation or low turnover of parking spaces support a finding that the number of stacking spaces provided will be sufficient to protect the safety of those traveling on and off site.
6. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
7. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
8. Provide a minimum of 7 feet wide sidewalk on **NE 13th Street**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone.



9. Provide a minimum of 5 feet wide sidewalk on **Progresso Drive**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width. The back of sidewalk shall be placed on the right of way line.
10. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
11. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
12. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
13. Additional comments may be provided upon further review.

GENERAL COMMENTS

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

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CASE COMMENTS:

Please provide a response to the following:

1. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: <https://www.fortlauderdale.gov/government/departments-a-h/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov/propertyreporter>). Please provide acknowledgement and/or documentation of any public outreach.
2. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 120 days of completeness determination, on or before **December 29, 2023**, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed unless the applicant submits a waiver of these timeframes as provided in the completeness email from the City.
3. The site is designated Commercial on the City's Future Land Use Map. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
4. The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the Platting Determination Submittal Requirements or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: Administrative Review Application.
5. There are several drainage and ingress/egress easements on the property. Some of the access easements state that they have been released and others depict varying Ordinance Book and Page Numbers. Provide a response to this comment clarifying, as well as documentation showing that they have been released. Be advised that vacating easements require separate applications.
6. It appears that there is a proposed structure on an eight foot drainage easement running perpendicular to the property on the south portion of the property. If this is the case, then this drainage easement will need to be vacated, which would require a separate fee and application process.
7. This project is located in the Central City Community Redevelopment Agency (CRA) boundaries and the CRA staff has been generating planning efforts for the CRA. Provide documentation that the applicant has met or has corresponded with the CRA and that the proposed plans address their concerns or comments.
8. Provide the following changes on the site plan:
 - a. Provide an overall illustrative site plan that clearly depicts the property with the site boundaries, setbacks, and proposed changes. See example image below.



- b. Provide setback from north property line.
 - c. Clarify setback on northeast and southwest portion of the property. As depicted, there are two different setbacks on the southwest portion and no setback on the north and northeast portion.
 - d. Provide site data table to include, but not limited to, information such as current use, land use, zoning district, site information and required and proposed ULDR information.
9. Provide the following changes on elevations:
 - a. Show setback dimensions from the property lines on the elevation pages.
 - b. The orientations appear to be incorrect. Revise or clarify.
10. Pursuant to Section 47-22.4.C.8 provide a master sign plan detailing the following:
 - a. Location and orientation of all proposed signage;
 - b. Dimensions of each proposed sign (height, width, depth, etc.);
 - c. Proposed sign copy; and,
 - d. Proposed color and materials
11. Pursuant to ULDR Section 47-25.3.A.3.b, Neighborhood Compatibility Requirements, design standards are required to protect the character of residential areas from the visual impact of nonresidential buildings facing residential properties. Implement the following architectural features along the northwest façade. Update the narrative and provide a response to this comment on the minimum features that are being utilized.
 1. A minimum of one (1) feature from each of the following architectural feature groups with a total of four (4) architectural features from the following list:
 - (a) Detail and embellishments:
 - (i) Balconies
 - (ii) Color and material banding
 - (iii) Decorative metal grates over windows
 - (iv) Uniform cornice heights
 - (v) Awnings
 - (b) Form and mass:
 - (i) Building mass changes including projection and recession
 - (ii) Multiple types and angles of roofline, or any combination thereof
12. Pursuant to ULDR Section 47-25.3.A.3.b.iii, Neighborhood Compatibility Requirements; all rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the topmost surface of the roof mounted structures. Indicate how this is being accomplished.



13. Pursuant to ULDR Section 47-25.3.A.3.c, Setback Regulations, when any side of a structure greater in height than forty (40) feet is contiguous to residential property, that portion of the structure shall be set back one (1) foot for each one (1) foot of building height over forty (40) feet up to the maximum width equal to one-half (1/2) the height of the building, in addition to the required setback. A further review of the overall design of the building façade facing residential will be needed. A set of images have been provided to depict additional ways to break the massing and scale of the building, which include deeper recessions/off-sets, more aggressive cornices and height variations, additional color/material changes, accent lines, etc., as well as provide a better transition from residential. Furthermore, provide cross sections of the project to the neighborhood to the west illustrating the project meets neighborhood compatibility requirements.



14. Pursuant to UDLR Section 47-25.3.A.3.d.iv, Wall Requirements, a wall shall be required on the nonresidential property, a minimum of five (5) feet from the right-of-way line located closest to the nonresidential

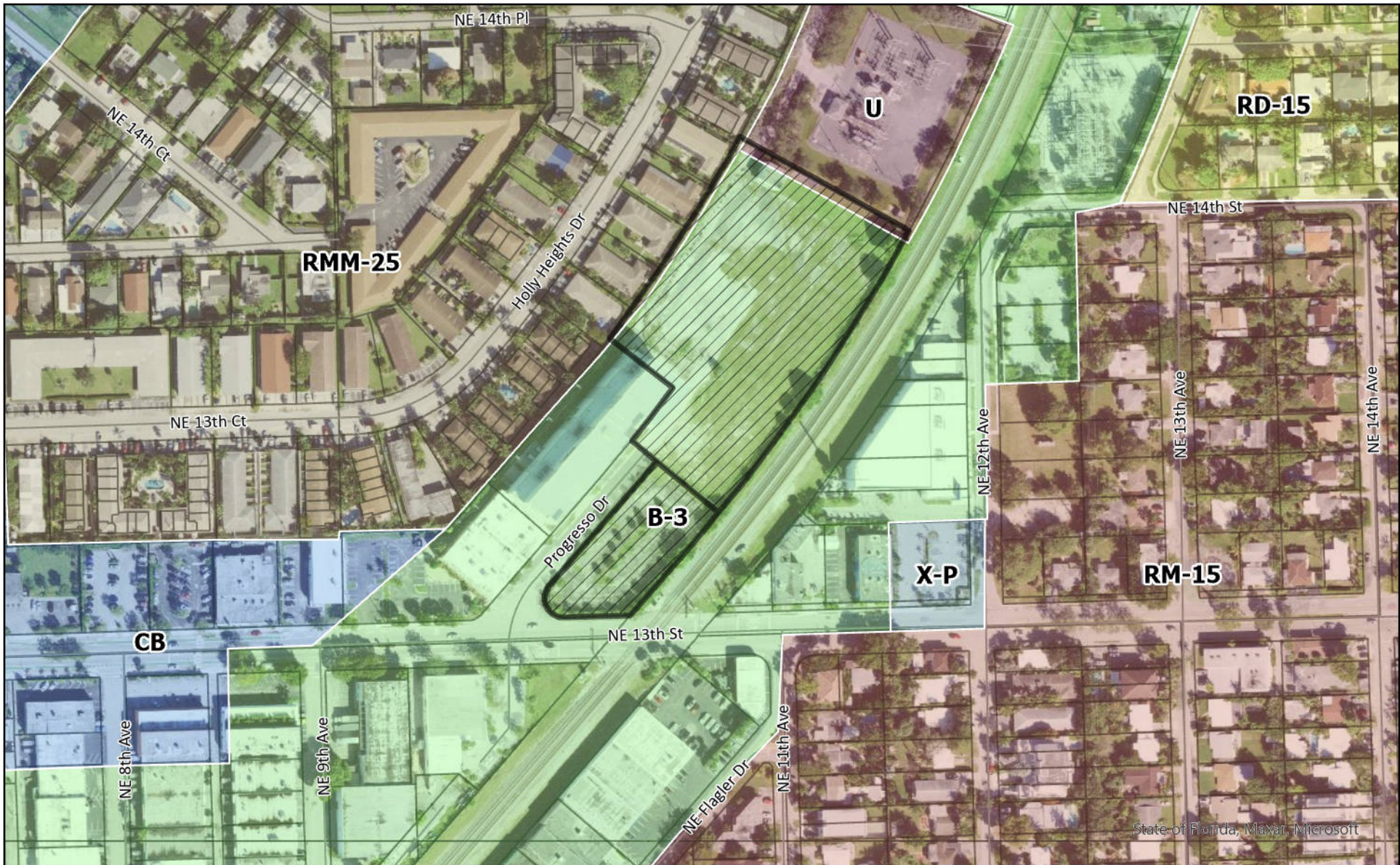


property. Depict this wall on the illustrative site plan and any other pertinent plan sheets. Provide a detail sheet depicting the decorative features being incorporated as per section 47-19.5.

15. Provide updated renderings reflecting changes provided in comment number ten. Include additional (at least two) renderings focusing on the residential properties. In addition, label all renderings with orientation.

GENERAL COMMENTS

1. Note any proposed signs will require a separate permit application.
2. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
3. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.



State of Florida, Maxar, Microsoft

UDP-S23050 - 1400 PROGRESSO DR.

