



BOARD OF ADJUSTMENT MEETING NOTICE

September 28, 2023

A Public Hearing will be held before the Board of Adjustment on: October 11, 2023 at 6:00 P.M.

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-23030003
OWNER:	WALTON, MICHAEL RAYMOND; LOFRIA, MICHELE
AGENT:	N/A
ADDRESS:	5560 NE 26 AVENUE, FORT LAUDERDALE, FL 33308
LEGAL DESCRIPTION:	LOT 2, BLOCK 3, "GOLF ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 43, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA (SEE SURVEY)
ZONING DISTRICT:	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	1
REQUESTING:	<u>Sec. 47-19.1. L. - General requirements.</u>

- Requesting a variance to allow a free-standing shade structure to be 17.44' high, whereas the code does not allow a freestanding shade structure to exceed the height of the principal structure, which is 14.8' high. A total variance request of 2.64 feet in height.

Sec. 47-19.2. P.- Freestanding shade structures.

- Requesting a variance to allow an existing freestanding shade structure to have a maximum height of 17.44 feet, whereas the code allows a maximum height of 12 feet measured from the ground to the top of the structure. A total variance request of 5.44 feet in height.

- Requesting a variance to allow an existing freestanding shade structure to have a setback of 7 feet FROM WATER WAY whereas the code requires a minimum of 10 feet setback FROM WATERWAY a total variance request of 3 feet.

This case was Deferred from the August 9, 2023, BOA meeting Agenda.

To watch and listen to the meeting, please visit:
<https://www.fortlauderdale.gov/government/BOA> OR
www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-23030003


LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet





CITY OF FORT LAUDERDALE PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: OCTOBER 11, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23030003

Sec. 47-19.1. L. - General requirements.

• **Requesting a variance to allow a free-standing shade structure to be 17.44' high, whereas the code does not allow a freestanding shade structure to exceed the height of the principal structure, which is 14.8' high. A total variance request of 2.64 feet in height.**

Sec. 47-19.2. P.- Freestanding shade structures.

- **Requesting a variance to allow an existing freestanding shade structure to have a maximum height of 17.44 feet, whereas the code allows a maximum height of 12 feet measured from the ground to the top of the structure. A total variance request of 5.44 feet in height.**
- **Requesting a variance to allow an existing freestanding shade structure to have a setback of 7 feet FROM WATER WAY whereas the code requires a minimum of 10 feet setback FROM WATERWAY a total variance request of 3 feet.**

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



BOA CASE # PLN-BOA-23030003

Sec. 47-19.1. L. - General requirements.

Except as otherwise provided in this [Section 47-19](#), the following provisions shall apply. No accessory structure shall be built in the front yard more than one (1) story, or thirteen (13) feet in height. The following accessory buildings will be permitted in residential zoning districts: Private garage, garden house, or structure of the same classification. Within a residential zoning district, no accessory use or structure shall be greater in height than the principal building and in no instance shall the height of an accessory use or structure be greater than twenty-four (24) feet in height except that on lots of greater area than one (1) acre, an accessory building shall not be more than thirty-five (35) feet in height; providing it is located not less than thirty (30) feet from every lot line. The total areas of accessory buildings shall not be greater than thirty-five percent (35%) of the rear yard area. No accessory buildings shall be built closer than ten (10) feet to any rear line which is a street or alley line, or, in the case of corner lots, closer than fifteen (15) feet to any side street line except as otherwise provided herein.

BOA CASE # PLN-BOA-23030003

Sec. 47-19.2. P.- Freestanding shade structures.

Freestanding shade structures. Freestanding shade structures (such as a gazebo, a tiki hut, or a trellis) may be permitted when accessory to residential uses, in the required rear yard but no closer than five (5) feet from the rear property line except where a parcel is abutting a waterway, where they shall be no closer than ten (10) feet from the waterway as measured in accordance with Section 47-2.2.R. Freestanding shade structures shall be open on all sides and shall be no greater in height than twelve (12) feet measured from the ground to the top of the structure, and shall be limited in size to a maximum of two hundred (200) gross square feet in area for that portion of the structure protruding into the required yard area. No more than one (1) freestanding shade structure per plot shall be permitted in the required rear yard.

Record

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Showing 1-19 of 19

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #
<input type="checkbox"/>	PLN-BOA-23030003	Sec. 47-19.2. P.- Freestanding shade structures. ...	Tiki Hut	Z- Board of Adjustment (BOA)	0		5560
<input type="checkbox"/>	BLD-ACC-22040002	#ATF NEW TIKI HUT	ATF; NEW TIKI HUT	Accessory Structure Permit	0		5560
<input type="checkbox"/>	CE21120436	FENCE INSTALLED AND ENCORACHING ON NEIGHBOR' S PR...		Code Case	0	Malaika Murray	5560
<input type="checkbox"/>	BE21120098	a tall and huge tiki hut was put up w/o permit		Building Code Case	0	Jose Saragusti	5560
<input type="checkbox"/>	BLD-FEN-21060044	INSTALL 6'H PVC FENCE 91 L W/1 GATE AND 4'H PVC 6...	INSTALL 6'H PVC FENCE 91 L W...	Fence Permit	0		5560
<input type="checkbox"/>	ALM-REG-20120226			Resident/Business Alarm Registration	0		5560
<input type="checkbox"/>	PM-18010208	WINDOWS 22 / DOORS 2 REPLACE WITH IMPACT ~NOC	WINDOWS 22 / DOORS 2 REPLACE...	Window and Door Permit	0		5560
<input type="checkbox"/>	PM-13092060	INSTALL BOATLIFT ~ ~NOC SUBMITTED ~ ~ ~ER 0003750...	INSTALL BOATLIFT	Boatlift-Dock-Seawall-Pile Permit	0		5560
<input type="checkbox"/>	PM-13092061	ELECTRIC FOR BOATLIFT BP 13092060	ELECTRIC FOR BOATLIFT BP 130...	Electrical Residential Permit	0		5560
<input type="checkbox"/>	PM-13070494	INSTALL BURGLAR ALARM	INSTALL BURGLAR ALARM	Electrical Burglar Alarm	0		5560
<input type="checkbox"/>	PM-09081046	REMOVE & REPLACE ROOF TOP A/C EQUIP FOR REFOO...	REMOVE & REPLACE ROOF TOP A/...	Mechanical Residential Permit	0		5560
<input type="checkbox"/>	PM-09062452	REROOF 3000 SF TILE 900 SF FLAT	REROOF 3000 SF TILE 900 SF FLAT	Re-Roof Permit	0		5560
<input type="checkbox"/>	PM-08010419	NEW BRICK PAVER ON AND OFF SITE DRIVEWAY FOR SFR:...	NEW BRICK PAVER ON AND OFF S...	Residential Paving Permit	0		5560
<input type="checkbox"/>	PM-07062333	INSALL HURR SHUTTERS	INSALL HURR SHUTTERS	Shutter Permit	0		5560
<input type="checkbox"/>	BL-9600866		A & K BASKETS	General Business Tax Receipt	0		5560
<input type="checkbox"/>	PM-06052341	INSTALL 1" IRRIGATION METER	INSTALL 1" IRRIGATION METER	Plumbing Meter Install Permit	0		5560
<input type="checkbox"/>	PM-04042239	REMOVE & REPLACE 1 GARAGE DOOR	REMOVE & REPLACE 1 GARAGE DOOR	Window and Door Permit	0		5560
<input type="checkbox"/>	PM-04041508	5'X 104' WOOD STOCKADE FENCE WITH 2 WALK GATES SFR	5'X 104' WOOD STOCKADE FENCE...	Fence Permit	0		5560
<input type="checkbox"/>	PM-00051915	INSTALL SHUTTERS ON 8 OPENINGS	INSTALL SHUTTERS ON 8 OPENINGS	Shutter Permit	0		5560

Page of 1

The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	PLN-BOA-2303-0003 CASE# BE21120098
Date of complete submittal	

NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	Michael A. Watson and Michele Lofria
Property Owner's Signature	<i>[Handwritten Signature]</i>
Address, City, State, Zip	5560 NE 26th Avenue, Fort Lauderdale, FL 33308
E-mail Address	plantationmike@comcast.net
Phone Number	954-914-9814
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed, or <input type="checkbox"/> Tax Record

NOTE: If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Letter of Consent Submitted	<input type="checkbox"/>

Development / Project Name	Freestanding Shade Structure - Tiki Hut
Existing / New	Existing <input checked="" type="checkbox"/> New <input type="checkbox"/>
Project Address	Address: 5560 NE 26th Avenue, Fort Lauderdale, FL 33308494213080
Legal Description	Golf Estates 43-26 B Lot 2 BLOCK 3, "Golf Estates", According to Plat thereof, as recorded in Plat Book 43, Page 26, of the Public Records of Broward County, Florida
Tax ID Folio Numbers (For all parcels in development)	494213080240
Variance Request (Describe)	Existing freestanding shade structure to have a maximum height of 17.44 feet (Code allows 12ft), to have a setback of 7 feet (code allows 10ft) and to allow a free-standing shade structure to be 17.44ft where code does not allow structure to exceed height of principle structure, which is 14.8ft - request is for 2.64ft in height.
Applicable ULDR Sections	ULDR Sec. 47-19.2.P - Freestanding shade structure ULDR Sec. 47-19.1.L - General Requirements

Current Land Use Designation	Low-Medium
Current Zoning Designation	RS-8
Current Use of Property	Homestead Primary - Residential
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	West 20	N/A
Side	South 5	N/A
Side	North 5	N/A
Rear	East 10	E7

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

N/A

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

N/A

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

Would like shade and weather coverage to avoid sun during summer with small children

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

N/A

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

The Variance Requested is New setback on East side of 7ft to water instead of 10ft and height adjustment of 16ft and is capable with surrounding properties

Michael R Walton

AFFIRMATION: I, _____ the Owner Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

[Handwritten Signature]

(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 3 day of April, 2023

(SEAL)



LUKE RINKUS
Commission # HH 057058
Expires October 26, 2024
Bonded Thru Budget Notary Services

[Handwritten Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES:

Answer All questions on this page and attach narrative.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

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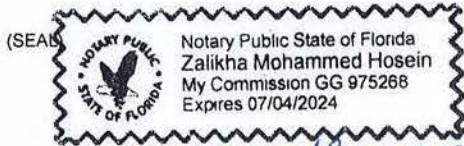
- a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and
- b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:
- c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and
- d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and
- e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

AFFIRMATION: I, Michele LoFria the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Michele LoFria 5-24-23
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 24th day of May, 2023



May 24th 2023

Zalikha Mohammed Hosein
NOTARY PUBLIC
MY COMMISSION EXPIRES:

STATE: FL
COUNTY: BR



IMPORTANT: If you are looking to purchase this property, the tax amount shown may have no relationship to the taxes you will pay. If you are looking to purchase this property and are not using portability to transfer any capped savings, please use our [Tax Estimator](#) to determine a more likely estimate of your new amount. If you own this home and want to purchase a new home in Florida, try our [Portability Estimator](#) to see how portability and the additional homestead exemption can help you. If you own a home in Florida, and want to see how much portability will save you, try our [Portability Estimator](#).

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Site Address	5560 NE 26 AVENUE, FORT LAUDERDALE FL 33308-3314	ID #	4942 13 08 0240
Property Owner	WALTON, MICHAEL RAYMOND LOFRIA, MICHELE	Millage	0311
Mailing Address	5560 NE 26 AVE FORT LAUDERDALE FL 33308-3314	Use	01-01

Abbreviated Legal Description	GOLF ESTATES 43-26 B LOT 2 BLK 3
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The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

It's IMPORTANT THAT YOU KNOW:
The 2023 values currently shown are considered "working values" and are subject to change. These numbers will change frequently online as we make various adjustments until they are finalized.

Property Assessment Values
[Click here to see 2022 Exemptions and Taxable Values as reflected on the Nov. 1, 2022 tax bill.](#)

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023	\$284,860	\$769,000	\$1,053,860	\$689,190	
2022	\$284,860	\$769,000	\$1,053,860	\$669,120	\$12,263.71
2021	\$284,860	\$686,720	\$971,580	\$649,640	\$11,912.48

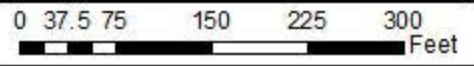
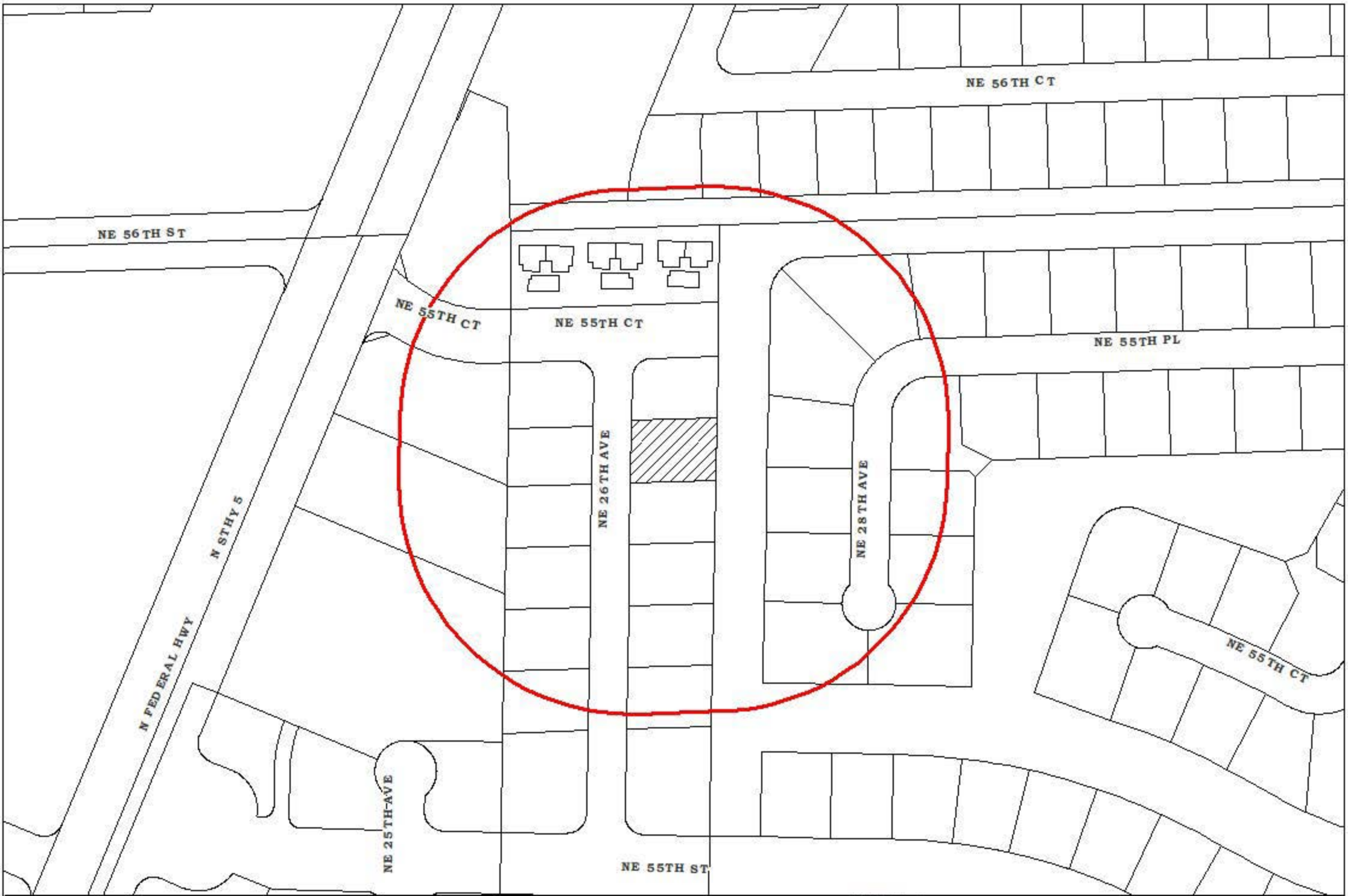
2023 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,053,860	\$1,053,860	\$1,053,860	\$1,053,860
Portability	0	0	0	0
Assessed/SOH 14	\$689,190	\$689,190	\$689,190	\$689,190
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$639,190	\$664,190	\$639,190	\$639,190

Sales History -- Search Subdivision Sales			
Date	Type	Price	Book/Page or CIN
3/10/2015	QCD-T	\$100	112864334
2/22/2013	WD-Q	\$649,000	111385815
11/10/2004	QCD	\$100	38602 / 1472
4/1/2004	WD	\$640,000	37253 / 1543
9/23/1998	WD	\$295,000	28868 / 1223

Land Calculations		
Price	Factor	Type
\$32.40	8,792	SF
Adj. Bldg. S.F. (Card, Sketch)		2352
Units/Beds/Baths		1/3/2
Eff./Act. Year Built: 1976/1970		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		

If you see a factual error on this page, please [click here to notify us](#).



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



5560 NE 26 AVE
DATE OF PRINT: 03/29/2023

FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	ST/ZIP	ADDRESS__1	LEGAL_LINE
494212050020	GREEN WEST USA INC		8700 DUFFERIN ST	*CONCORD ON	CA L4K 4	*CONCORD ON CAL4K 4	LAKE ESTATES 42-1 B
494212050030	COM CAPITAL LLC		2700 NE 51 ST	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	LAKE ESTATES 42-1 B
494212050050	EDELMAN PROPERTIES LLC		1850 S OCEAN DR #3904	HALLANDALE BEACH	FL #####	HALLANDALE BEACH FL33009	LAKE ESTATES 42-1 B
494212350010	BALFOUR INVESTMENTS LLC	%RYAN	PO BOX 460189	HOUSTON	TX #####	HOUSTON TX77056	LANDINGS PLAZA 179-62 B
494213080110	GCAA REALTY II LLC		5571 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080120	MARY KATHLEEN PREMOCK LIV TR	PREMOCK,MARY KATHLEEN	4120 BAYVIEW DR	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080130	EDELSON,ERIC S &	EDELSON,CAROL M	5555 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080140	LANDERS,KANDIE & RYAN		6701 BURNET RD #500	AUSTIN	TX #####	AUSTIN TX78757	GOLF ESTATES 43-26 B
494213080150	REEDER,DOMINIC		5533 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080160	PRITCHARD,WILBUR B III & NANCY S		5521 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080230	GARDINER,HUGH & GRACE		5570 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080240	WALTON,MICHAEL RAYMOND	LOFRIA,MICHELE	5560 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080250	HAWKINS,WESLEY E & MICHELLE J		5550 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080260	FLACK,NORMA JEANNE		5540 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080270	CLINE,JESSICA LYNN	COULTHURST,RICK LEE	5530 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213080280	CUMELLA,JAMES W & NANCY		5520 NE 26 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	GOLF ESTATES 43-26 B
494213090360	SMORGASBORD MGMT CO	LULA B ALBERTSON TR ETAL	2872 NE 29 ST	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33306	CORAL RIDGE COMMERCIAL BOULEVARD
494213090361	5554 SOUTHERN STAR LLC		840 E OAKLAND PARK BLVD #110	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33334	CORAL RIDGE COMMERCIAL BOULEVARD
494213090362	SANTA ELIANA INVESTMENTS US LLC	% AMERICAECONOMIA	600 S DIXIE HWY APT 719	WEST PALM BCH	FL #####	WEST PALM BCH FL33401	CORAL RIDGE COMMERCIAL BOULEVARD
494213120011	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33301	THE LANDINGS FIRST SEC 56-4 B
494213120012	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33301	THE LANDINGS FIRST SEC 56-4 B
494213121890	SEVER,MARK A		5580 NE 28 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121900	BLAKE,DARRAN W	DARRAN W BLAKE LIV TR	5570 NE 28 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121910	BRAGANZA,ADRIAN A	ROSSER,LAY C JR	5560 NE 28 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121920	ILLSSEN,ALEXANDER & ANA M		5550 NE 28 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121930	MASER,JEFFREY J		5551 NE 28 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121940	DARPINO,DOMINIC EST		5561 NE 28 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121950	DYNOW,WALTER GARY & MARY BETH	WALTER GARY & MARY BETH	5571 NE 28 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121960	DESIMONE,MICHAEL	MICHAEL DESIMONE TR	5581 NE 28 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121970	MOODY,BARBARA H & DEWITT C		5591 NE 28 AVE	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121980	COLON,MICHAEL & DENISE		2801 NE 55 PL	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494213121990	ALVARO,FELICIA		2811 NE 55 PL	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	THE LANDINGS FIRST SEC 56-4 B
494212AB0010	LIBERIO,DANIELLE		2700 NE 56 CT UNIT 1-A	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	LAKE ESTATES FOUR UNIT A CONDO
494212AB0020	CHANEY,DYAN		2700 NE 56 CT 2B	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	LAKE ESTATES FOUR UNIT A CONDO
494212AB0030	GROSS,STEVEN		550 N ST SW APT S502	WASHINGTON	DC #####	WASHINGTON DC20024	LAKE ESTATES FOUR UNIT A CONDO
494212AB0040	CORSO,LUCI		2700 NE 56 CT #4B	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	LAKE ESTATES FOUR UNIT A CONDO
494213BJ0010	URCIUOLI,GEORGE A JR		2591 NE 55 CT #101	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	LANDINGS HARBORAGE CONDO
494213BJ0020	GOLDING,TIMOTHY		2591 NE 55 CT #102	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	LANDINGS HARBORAGE CONDO
494213BJ0030	BOUER,ELIZABETH L		260 MAHOGANY TER	DAVIE	FL #####	DAVIE FL33325	LANDINGS HARBORAGE CONDO
494213BJ0040	SUGAR,MARK B		2591 NE 55 CT # 104	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	LANDINGS HARBORAGE CONDO
494213BJ0050	TEMPLE,CRAIG A		1323 SE 17 ST #372	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33316	LANDINGS HARBORAGE CONDO
494213BJ0060	LAMIRANDE,CHERYL A		2591 NE 55 CT APT 106	FORT LAUDERDALE	FL #####	FORT LAUDERDALE FL33308	LANDINGS HARBORAGE CONDO
494213BJ0070	DE SCHWARTZMAN,VIOLETA AYALA		7465 NW 1 MNR	PLANTATION	FL #####	PLANTATION FL33317	LANDINGS HARBORAGE CONDO

494213BJ0080	CASSARD,REESE		4420 NW 9 CT	COCONUT CREEK	FL #####	COCONUT CREEK	FL33066	LANDINGS HARBORAGE CONDO
494213BJ0090	PERKINS,KIMBERLY	CINSERULI,JANINE	5120 NE 19 AVE	POMPANO BEACH	FL #####	POMPANO BEACH	FL33064	LANDINGS HARBORAGE CONDO
494213BJ0100	MAEYER,KARA		2591 NE 55 CT APT 203	FORT LAUDERDALE	FL #####	FORT LAUDERDALE	FL33308	LANDINGS HARBORAGE CONDO
494213BJ0110	HIGHPOINT ASSET MANAGEMENT	COMPANY LLC	12000 NW 5 ST	PLANTATION	FL #####	PLANTATION	FL33325	LANDINGS HARBORAGE CONDO
494213BJ0120	MASTERSON,JOHN MARIO		2591 NE 55 CT #203	FORT LAUDERDALE	FL #####	FORT LAUDERDALE	FL33308	LANDINGS HARBORAGE CONDO
494213BJ0130	BOLDUC,DARRYL	BOLDUC,SHANTELE	2591 NE 55 CT #204	FORT LAUDERDALE	FL #####	FORT LAUDERDALE	FL33308	LANDINGS HARBORAGE CONDO
494213BJ0140	ORPHEE,JUAN IGNACIO & MARIA C		1171 TOWNE CREEK PL	HUNTSVILLE	AL #####	HUNTSVILLE	AL35806	LANDINGS HARBORAGE CONDO
494213BJ0150	YUTCHKOVSKI,ALEXANDER H/E	YUTCHKOVSKI,VALENTINA	2591 NE 55 CT #206	FORT LAUDERDALE	FL #####	FORT LAUDERDALE	FL33308	LANDINGS HARBORAGE CONDO
494213BJ0160	ANDERSON,KELLY L		220 TAMARACK AVE	WILMINGTON	DE #####	WILMINGTON	DE19805	LANDINGS HARBORAGE CONDO
494213BJ0170	EDWARDS,RUSSELL JAMES		2591 NE 55 CT #208	FORT LAUDERDALE	FL #####	FORT LAUDERDALE	FL33308	LANDINGS HARBORAGE CONDO
494213BJ0180	GEIYER,ENEIDE F		2591 NE 55 CT APT 209	FORT LAUDERDALE	FL #####	FORT LAUDERDALE	FL33308	LANDINGS HARBORAGE CONDO

LEGAL_LI_1
TR B TOG/W 12-49-42 POR OF
TRACT D & LOT 1 LESS BEG AT SE
LOT 2 BLK 1
PARCEL A
LOT 1,2 N 5 BLK 2
LOT 2 LESS N 5 BLK 2
LOT 3 BLK 2
LOT 4 BLK 2
LOT 5 BLK 2
LOT 6 BLK 2
LOT 1 BLK 3
LOT 2 BLK 3
LOT 3 BLK 3
LOT 4 BLK 3
LOT 5 BLK 3
LOT 6 BLK 3
ADD NO 1 52-17 B
ADD NO 1 52-17 B
ADD NO 1 52-17 B
ALL THOROUGHFARES ARE HEREBY
ALL WATERWAYS ARE HEREBY
LOT 48 BLK 16
LOT 49 BLK 16
LOT 50 BLK 16
LOT 51 BLK 16
LOT 52 BLK 16
LOT 53 BLK 16
LOT 54 BLK 16
LOT 55 BLK 16
LOT 56 BLK 16
LOT 57 BLK 16
LOT 58 BLK 16
UNIT 1 A
UNIT 2 B
UNIT 3 A
UNIT 4 B
UNIT 101
UNIT 102
UNIT 103
UNIT 104
UNIT 105
UNIT 106
UNIT 107

UNIT 108
UNIT 109
UNIT 201
UNIT 202
UNIT 203
UNIT 204
UNIT 205
UNIT 206
UNIT 207
UNIT 208
UNIT 209

Michael R Walton

5560 Northeast 26th Avenue
Fort Lauderdale, FL 33308
954-914-9814

August 20, 2023

NARRIATIVE:

The request for this variance is for an 'after the fact' built Tiki Hut, requesting a variance to Sec. 47-19.2.P & Section 47-19.1.L - Freestanding shade structures, that is currently awaiting a final permit application.

A variance to request an existing freestanding shade structure to have a maximum height of 17.44ft where the Code allows a maximum height of 12 feet measured from the ground to top of the structure, variance request 5.44 feet.

A variance to request an existing freestanding shade structure to have a setback of 7 feet from waterway whereas the code allows a minimum of 10 feet setback from waterway, a total request of 3 feet.

A variance to request to allow a free-standing shade structure to be 17.44ft high, whereas the code does not allow a freestanding shade structure to exceed the height of the principal structure, which is 14.8ft high. A total variance request of 2.64 feet in height.

Current encroachment into the setback is a maximum of 3ft or 63 sqft of overhang as depicted in the drawings. If the poles were moved, it would block the entrance to the pool as the steps are on the north east corner of the pool. The other request is for acceptance of height as the structure is not seen from the front of the house and is slightly above current house roofline, please see pictures provided of front of house.

I have grown up in Fort Lauderdale since the early 1980's and have enjoyed all things our great city has offered with weather and sunshine. The tiki hut has provided my family a much need shelter from the hot Florida sun now that we have a small child. Until the structure, we did not use our outdoor space as it was dependent too much on the weather. Rain and sunshine affected the amount of time we were able to spend outside and caused us to spend much of our time inside. Now with the addition of our small children, we as a family spend much more time outside and enjoy being in our backyard and teaching our children on what the Florida lifestyle has to offer living on a canal in Fort Lauderdale in a boating community.

We are friendly with all of our neighbors and have discussed this variance request with most of them and some have written/emailed a letter stating their intentions that they welcome our Tiki Hut and that the overall sight of the structure enhances the overall aesthetic of the community and welcome the variance request to be granted.

We appreciate the boards time and consideration given to our variance requests and thank the board for approving these variances.

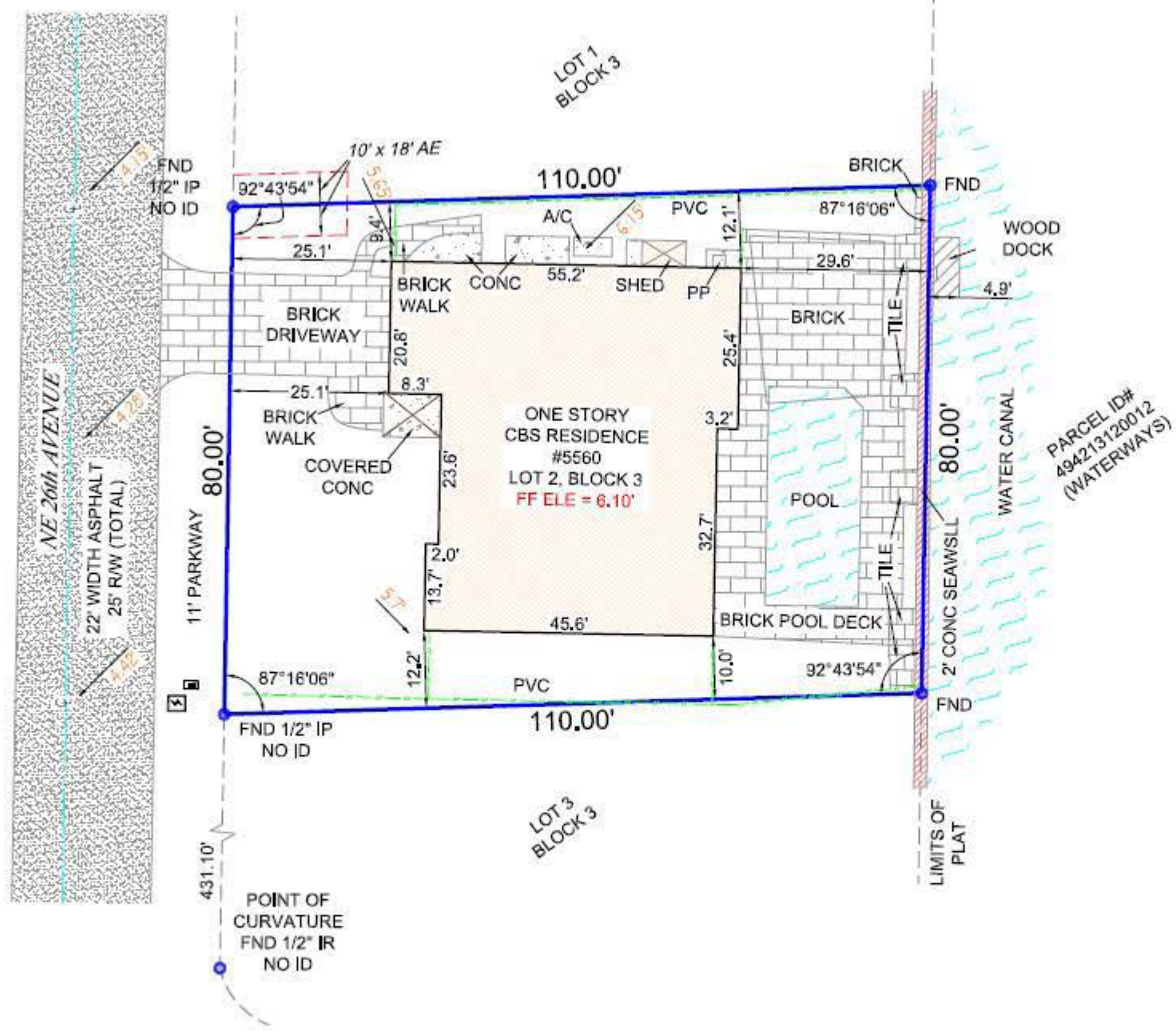
Best Regards,



Michael R Walton
Homeowner

GENERAL LEGEND:

- AC = AIR CONDITIONER
- AE = ANCHOR EASEMENT
- BICR = BROWARD COUNTY RECORDS
- BM = BENCHMARK
- CB = CATCH BASIN
- CME = CANAL MAINTENANCE EASEMENT
- CL = CENTERLINE
- CLF = CHAIN LINK FENCE
- CSB = CONCRETE BLOCK STRUCTURE
- CSW = CINDERBLOCK WALL
- CHATT = CHATTAHOOCHEE
- CONC = CONCRETE
- CO = CLEAN OUT
- D = DELTA (CENTRAL ANGLE)
- DE = DRAINAGE EASEMENT
- E = EAST
- EB = ELECTRIC BOX
- ELE = ELEVATION
- X 0,20' = ELEVATION
- EDP = EDGE OF PAVEMENT
- EDW = EDGE OF WATER
- FF = FINISHED FLOOR
- FDH = FOUND DRILLHOLE
- FH = FIRE HYDRANT
- FN = FOUND NAIL
- FND = FOUND
- P = IRON PIPE
- IR = IRON ROD
- INV = INVERT
- L = ARC LENGTH
- LP = LIGHT POLE
- LME = LAKE MAINTENANCE EASEMENT
- N = NORTH
- NA = NO BASE FLOOD (FOR FLOOD ZONE X)
- N&D = NAIL & DISC
- NO ID = NO IDENTIFICATION
- MF = METAL FENCE
- MH = MAN HOLE
- OH = OVERHEAD CABLES
- OR = OFFICIAL RECORD BOOK
- OIS = OFFSET
- PB = PLAT BOOK
- PBCR = PALM BEACH COUNTY RECORDS
- PC = POINT OF CURVATURE
- PG = PAGE
- PL = PLANTER
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- PP = POOL PUMP
- P&M = PLAT AND MEASURED
- PVCF = POLYVINYL CHLORIDE FENCE
- R = RADIUS
- RAW = RIGHT OF WAY
- S = SOUTH
- SW = SIDEWALK
- SR = SET 2 IRON ROD #6677
- SND = SET NAIL & DISC
- TYP = TYPICAL
- UE = UTILITY EASEMENT
- W = WEST
- WF = WOOD FENCE
- WM = WATER METER
- WV = WATER VALVE
- OH = OVERHEAD CABLES (OH)
- PVCF = POLYVINYL CHLORIDE FENCE (PVCF)
- CLF = CHAIN LINK FENCE (CLF)
- WF = WOOD FENCE (WF)
- MF = METAL FENCE (MF)
- * = DEGREE SYMBOL
- WM = WATER METER
- LP = LIGHT POLE
- AT&T = AT&T BOX
- UP = UTILITY POLE



LEGAL DESCRIPTION:
 LOT 2, BLOCK 3, "GOLF ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 43, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

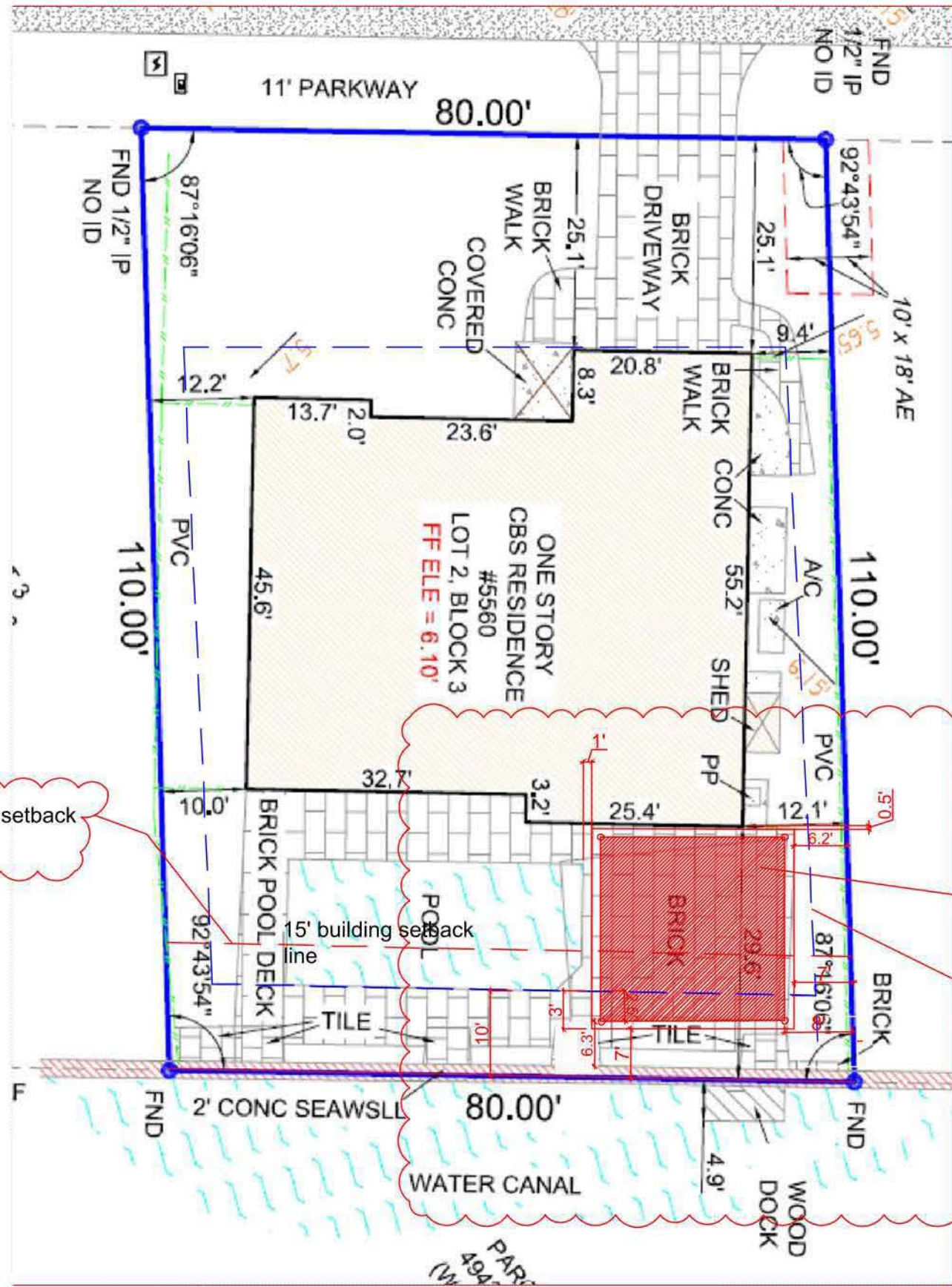
CERTIFICATIONS:
MICHAEL RAYMOND WALTON & MICHELE LOFRIA

SURVEYORS NOTES:
 (1.) ANGLES IF SHOWN ARE REFERENCED TO THE RECORD PLAT AND AS MEASURED.
 (2.) LEGAL DESCRIPTION PROVIDED BY CLIENT UNLESS OTHERWISE NOTED.
 (3.) NO UNDERGROUND IMPROVEMENTS LOCATED EXCEPT AS SHOWN.
 (4.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT THEREFOR THE ONLY SURVEY MATTERS SHOWN ARE PER THE RECORD PLAT. THERE MAY BE ADDITIONAL MATTERS OF RECORD, NOT SHOWN WHICH CAN BE FOUND IN THE PUBLIC RECORDS OF THE CORRESPONDING COUNTY OF RECORD.
 (5.) THERE MAY BE EXISTING RECORDED EASEMENTS CONTAINED IN THE PUBLIC RECORDS NOT DEPICTED HEREON THAT ONLY A THOROUGH TITLE SEARCH WOULD UNCOVER.
 (6.) SURVEY PURPOSE FOR TIKI HUT.
 (7.) ELEVATIONS (IF SHOWN) ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) UNLESS OTHERWISE NOTED. BENCHMARK REFERENCE: BROWARD COUNTY BENCHMARK #: 1181, ELEVATION = 8.348' (NAVD 1988)

<p>BOUNDARY SURVEY</p> <p>PROPERTY ADDRESS: 5560 NE 26th AVENUE FORT LAUDERDALE, FL 33308</p>	FLOOD ZONE: X	DATE OF SURVEY:	SCALE: 1" = 20'	THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. Ernest W Duncan Digitally signed by Ernest W Duncan Date: 2023.05.02 13:44:37 -04'00' ERNEST W DUNCAN PSM., STATE OF FLORIDA PROFESSIONAL SURVEYOR AND MAPPER LS 5182 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.	
	BASE FLOOD: N/A	FIELD LOCATION OF IMPROVEMENTS	04/25/2023		CADD: NM
	COMMUNITY #: 125105				CHECKED BY: EWD
	PANEL & SUFFIX: 0378 H				INVOICE #: 23-58664
	DATE OF FIRM: 8/18/2014				SHEET # 1 OF 1

ALL COUNTY SURVEYORS

PROFESSIONAL SURVEYORS AND MAPPERS
 LICENSE NO. 6677
 (954) 777-4747
 5400 SOUTH UNIVERSITY DRIVE
 DAVIE, FLORIDA 33325 SUITE 216



BUILDING AREA COMPUTATION	
RESIDENCE AREA	3030.00 SQF
PAVER BRICK + MARBLE	580.00 SQF
PVC SHEDS	45.00 SQF
CONCRETE	53.00
POOL + WOOD DECK + TIKI	
HUT AREA	1800.00 SQF
WOOD DOCK	125.00 SQF
NEW TIKI HUT (22X22)	484.00 SQF
WITH OVERHAND (24X24)	576.00 SQF
TIKI HUT ON TOP OF EXISTING PAVERS, ADDED TO THE POOL + WOOD AREA	
TOTAL COVERED AREA	5633.00 SQF
LOT SIZE	8800.00 SQF
COVERED AREA:	64.01 %
UNCOVERED AREA:	3167.00 SQF
OPEN SPACE:	35.99 %

PROPOSED TIKI HUT LOCATION
POST TO POST: 22'X22'
ROOF SIZE: 24'X24'

BLUE LINE SHOWING
REQUIRED SETBACK



Digitally signed by
MASOOD HAJALI
Date: 2023.09.07
07:11:44 -04'00'

SCALE: 1/16" = 1'-0"

SITE PLAN

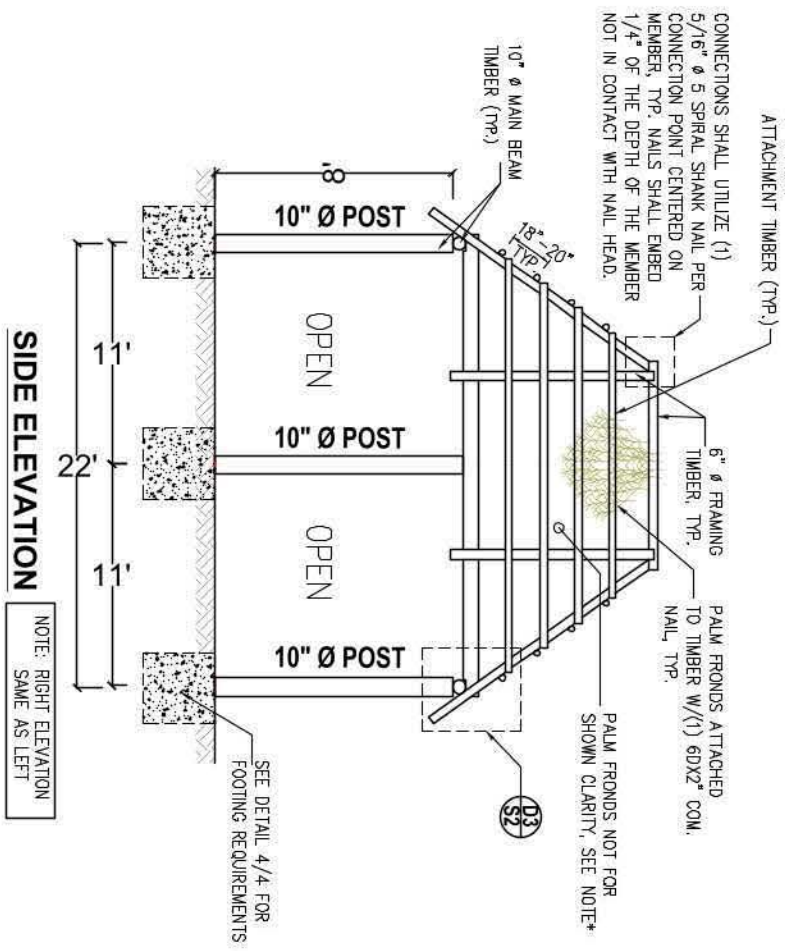
DESIGN IS BASED ON FBC 2020, 7TH EDITION

CALC ENGINEERING
2000 NW 89 PL UNIT 102
DORAL FL 33172
Phone: (305) 898-9995
ENGINEERING BUSINESS
CA CERTIFICATION: 32566

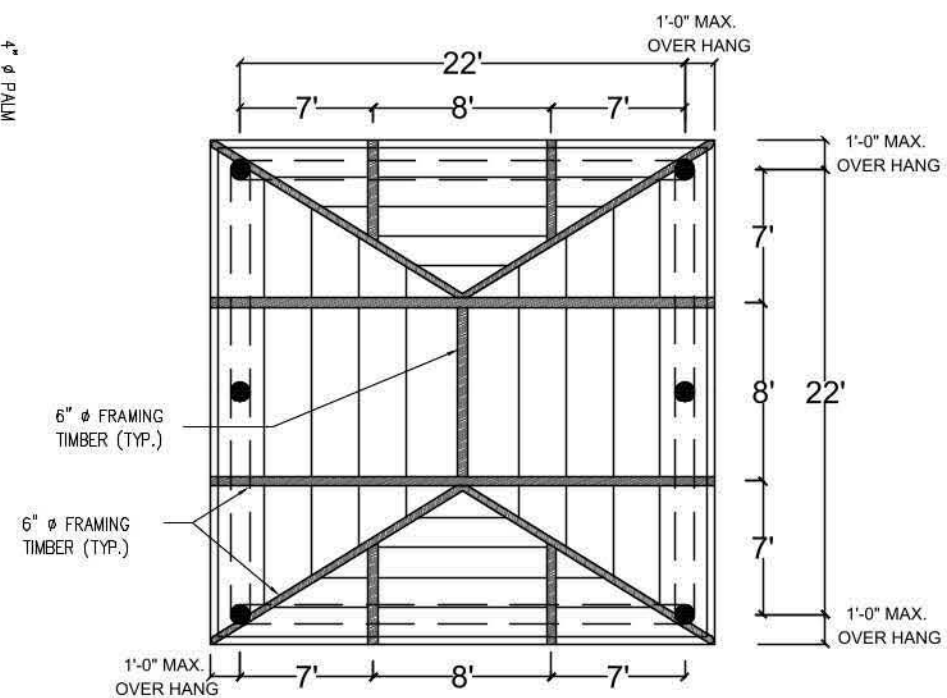


PROPOSED TIKI HUT FOR:
Mike Walton
5560 NE 26th Ave
Fort Lauderdale, FL 33308

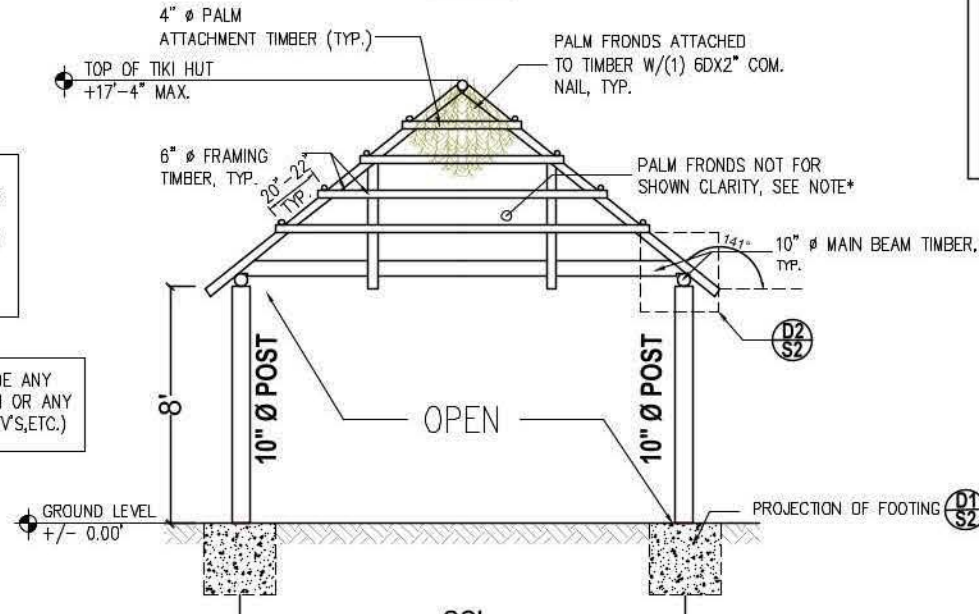
DATE: 5/26/22
SCALE: 1/16"=1'-0"
DSN: MH
DRG: JC



SIDE ELEVATION
NOTE: RIGHT ELEVATION SAME AS LEFT



PLAN



FRONT ELEVATION

GENERAL NOTES:

- WIND PRESSURES HAVE BEEN DETERMINED BASED ON ASCE 7-16, WIND SPEED OF 175 MPH, EXPOSURE C.
- THIS STRUCTURE HAS BEEN DESIGNED AND MUST BE FABRICATED IN ACCORDANCE WITH THE STRUCTURAL PROVISIONS OF FBC 2020. DESIGN CRITERIA OR SPANS BIGGER THAN STATED IN THE PLANS MAY REQUIRE ADDITIONAL CALCULATION AND CHANGE IN THE PLAN.
- CALC ENGINEERING SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO REEVALUATE THE WORK AND DESIGN UPON DISCOVERY OF ANY INACCURATE INFO PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.
- NO EXTRA LOAD IS PERMITTED TO APPLY ON THE STRUCTURE AT THE TIME OF INSTALLATION.
- CONTRACTOR SHALL CAREFULLY CONSIDER POSSIBLE IMPOSING LOADS ON ROOF INCLUDING BUT NOT LIMITED TO ANY CONCENTRATED LOADS WHICH MAY JUSTIFY GREATER DESIGN CRITERIA.
- ALL FASTENERS TO BE #10 OR GREATER ASTM F593 COLD WORKED 304 STAINLESS STEEL UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ADJACENT STRUCTURES DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. SHOULD A DISCREPANCY BE FOUND STOP WORK IMMEDIATELY AND NOTIFY ENGINEER. WORK CANNOT PROCEED UNTIL APPROVAL PRIOR TO
- THE USE OF SCALE TO OBTAIN DIMENSIONS NOT SHOWN ON THESE PLANS IS STRICTLY FORBIDDEN. THE ENGINEER WILL NO BE RESPONSIBLE FOR ERRORS RESULTING FROM SUCH ACTION.
- ALL SPECIFIED MATERIALS AND CONNECTORS CAN BE SUBSTITUTED WITH EQUAL OR BETTER, WITH THE APPROVAL OF ENGINEER OF RECORD.

DESIGN CALCULATION:

BASIC WIND SPEED (RISK CATEGORY II) 175 MPH
DESIGN BASED ON CATEGORY II
EXPOSURE CATEGORY: C
3-SEC PEAK GUST IN MPH
ALL WOOD MEMBERS TO BE PRESSURE TREATED
ROOF PRESSURE (SOLID) : 30 PSF

NOTE:

8" POST TO BE 8" BUTT TAPERED TO 7 INCHES TOP
BEAM TO BE 6 1/2" TO 7" MINIMUM DIAMETER

NOTE:

ALL STRAPS TO BE SIMPSON STRONG-TIE
MSTI 36-INCH , 12-GAUGE
GALVANIZED MEDIUM STRAP TIE



This item has been digitally signed and sealed by MASOOD HAJALI, PE, on date above. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by
MASOOD HAJALI
Date: 2023.09.07
07:11:53 -04'00'

NOTE* : PALM FROND ROOFING MATERIAL SHALL BE SECURELY TIED TO ROOF FRAMING MEMBERS. IT IS ASSUMED FOR THIS DESIGN THAT PALM FRONDS WILL ALLOW 50% OF WIND LOAD THROUGH ROOF AT 75 MPH SUSTAINED WINDS AND GREATER

THIS TIKI HUT DESIGN DOES NOT INCLUDE ANY ELECTRICAL OR PLUMBING CERTIFICATION OR ANY EQUIPMENT ATTACHMENTS(FANS,LIGHTS,TV'S,ETC.)

NOTE:

SINGLE FOOTING UNDER EACH COLUMN 3'X3'X3' WITH (2)#5 INTO THE COLUMN

NOTE:

CONTRACTOR CAN USE BIGGER SECTIONS FOR BEAMS AND COLUMNS

UPLIFT CALCULATIONS:

TOTAL AREA OF STRUCTURE = 576 SQ. FEET
WIND PRESSURE ON ROOF: 30 PSF
WEIGHT OF THE STRUCTURE: 5 PSF
WIND UPLIFT FORCE = 14400 LB
TOTAL NUMBER OF FOOTING = 4
WEIGHT OF FOOTING = 150X3X3X3X6 = 24300 LB
TOTAL WEIGHT = 24300 LB > 1.6X14400 = 23040 LB OK

DESIGN IS BASED ON FBC 2020, 7TH EDITION

DATE: 5/26/22
SCALE: N.T.S.

PROPOSED TIKI HUT FOR:
Mike Walton
5560 NE 26th Ave
Fort Lauderdale, FL 33308

Calc Engineering
CALC ENGINEERING
2000 NW 89 PL UNIT 102
DORAL FL 33172
Phone: (305) 898-9995
ENGINEERING BUSINESS
CA CERTIFICATION: 32566

DSN: MH
DRG: JC

ROUND TIMBER PILES:

ALL ROUND TIMBER PILES SHALL BE SOUTHERN PINE MEETING THE APPLICABLE PROVISIONS OF ASTM D25, "STANDARD SPECIFICATIONS FOR ROUND TIMBER PILES". ALSO SHALL BE PRESSURE TREATED INCLUDING STANDARD C1 & SUPPLEMENT C3, AND AWPA STANDARD C18. ALL PILES SHALL BEAR THE MARK OF AN APPROVED AGENCY CERTIFYING CONFORMANCE WITH THE QUALITY CONTROL STANDARDS FOR MARINE PILES OF THE AMERICAN WOOD PRESERVERS BUREAU. ALL ROUND TIMBER PILES SHALL BE DRIVEN A MINIMUM OF 15'-0" INTO BEARING STRATA & SHALL HAVE A MINIMUM BEARING CAPACITY OF 20,000 POUNDS (10 TONS).

DIMENSION LUMBER:

ALL DIMENSION LUMBER SHALL BE STRUCTURAL GRADE # 2 SOUTHERN YELLOW PINE MEETING APPLICABLE REQUIREMENTS OF THE SOUTHERN PINE INSPECTION BUREAU (SPIB). ALL DIMENSION LUMBER SHALL BE PRESSURE-IMPREGNATED (PT) BY AN APPROVED PROCESS (CCA 0.6 PRESSURE TREATED U.O.N.) PRESERVATIVE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE BUILDING CODE AND AMERICAN WOOD PROTECTION ASSOCIATION (AWPA U1) "BOOK OF STANDARDS".

FOUNDATION NOTES:

1. ALL REINFORCING STEEL TO BE GRADE 40 WITH YIELD STRENGTH 40 KSI
2. FOOTING DESIGN IS BASED ON SOIL BEARING CAPACITY OF 1500 PSF.
3. CONCRETE FOR FOOTING TO BE 2500 PSI MINIMUM.
4. FILL PLACED WITHIN 5'-0" OF THE STRUCTURE PERIMETER CONSIST OF CLEAN GRADED SAND IN MAX 12".
5. SPLICES SHALL BE 40 BAR DIAMETERS ALL AROUND THE CORNERS AND CHANGES IN DIRECTION.
6. CORNER BARS SHALL BE 40 BAR DIAMETERS IN EACH WAY.
7. MAXIMUM WATER-CEMENT RATIO BY WEIGHT TO BE 0.4.

NOTE:

ALL WOODS TO BE GRADE NO.1

NOTE*: PALM FROND ROOFING MATERIAL SHALL BE SECURELY TIED TO ROOF FRAMING MEMBERS. IT IS ASSUMED FOR THIS DESIGN THAT PALM FRONDS WILL ALLOW 50% OF WIND LOAD THROUGH ROOF AT 75 MPH SUSTAINED WINDS AND GREATER

SPIRAL SHANK NAIL NOTE:
ALL NAILS SHALL BE INSTALLED THROUGH THE CENTER OF EACH ROUND TIMBER MEMBER AND SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS.

STRUCTURAL NOTES:

THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED BASED ON THE STRUCTURAL PROVISIONS OF THE FLORIDA BUILDING CODE 7th EDITION (2020) . DESIGN FORCES PER ASCE 7- 16 USING $V_{ult}=175$ MPH, (3 SECOND GUST), EXPOSURE ' C', RISK CATEGORY I, ROOF OVER OPEN STRUCTURE METHOD USED ($G=0.85$), $K_d=0.85$, $K_{zt}=1.0$, $K_z=0.85$ MRH $\leq 5'$. LOAD DURATION $CD=1.25$.

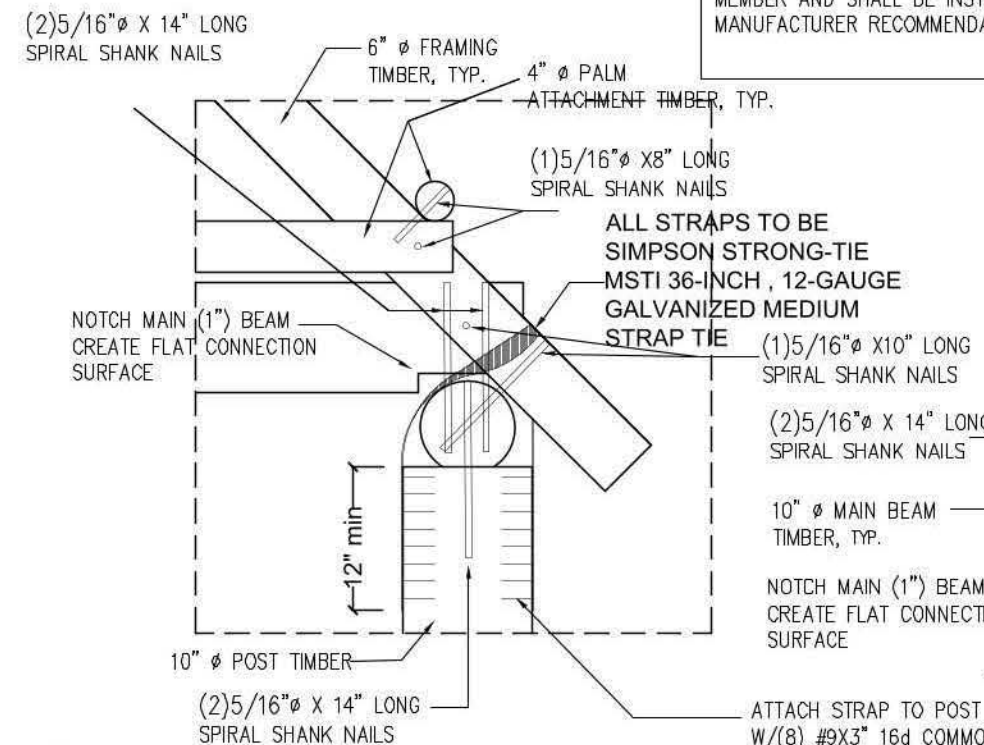
THIS DETAIL IS PREPARED AS A SITE SPECIFIC DESIGN. TYPICAL FIELD CONDITIONS HAVE BEEN ASSUMED. THE INTEGRITY OF THE EXISTING STRUCTURE HAS NOT BEEN VERIFIED BY THIS ENGINEER. THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL A DESIGN PROFESSIONAL APPROVES THE HOST STRUCTURE AS BEING ABLE TO ACCOMMODATE THE NEW DESIGN. APPROVAL OF THE HOST STRUCTURE FOR USE SHALL BE AT THE DISCRETION OF THE BUILDING OFFICIAL AND/OR SEPARATE ENGINEERING CERTIFICATION.

FASTENERS:

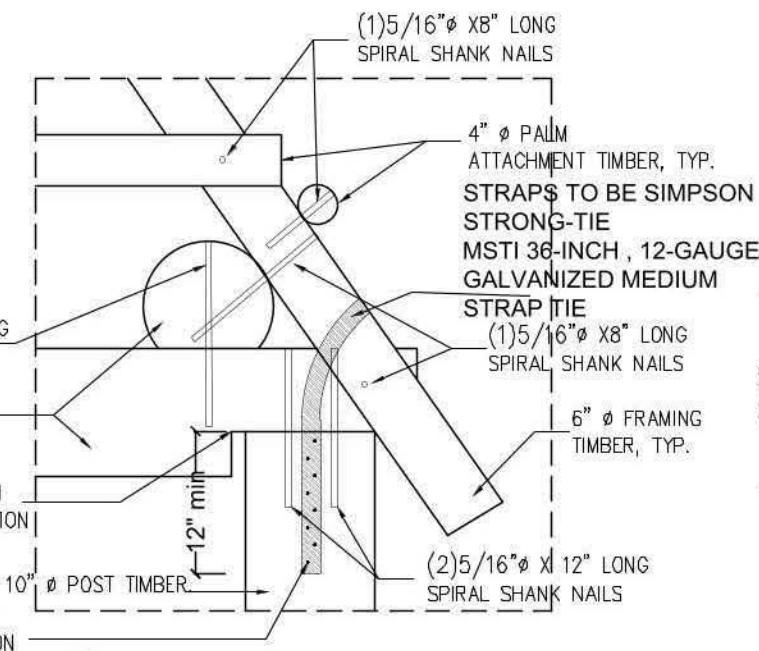
ALL BOLTS SHALL BE HOT DIPPED GALVANIZED, OR STAINLESS STEEL & MEET THE REQUIREMENTS OF ASTM A307 GRADE A. WASHERS SHALL BE USED BETWEEN WOOD & BOLT HEAD & BETWEEN WOOD & NUT. NUTS SHALL BE INSTALLED SUCH THAT THE END OF THE THREADED ROD OR BOLT IS AT LEAST FLUSH WITH THE TOP OF NUT. DRY WOOD MAY SPLIT MORE EASILY. IF WOOD TENDS TO SPLIT, PRE-BORING HOLES SHALL BE USED WITH DIAMETERS NOT EXCEEDING 3/4" OF THE NAIL DIAMETER OR USE A 5/32" BIT FOR SDS SCREWS. A FASTENER THAT SPLITS THE WOOD SHALL BE REEVALUATED PRIOR TO LOADING THE CONNECTION.

GENERAL NOTES:

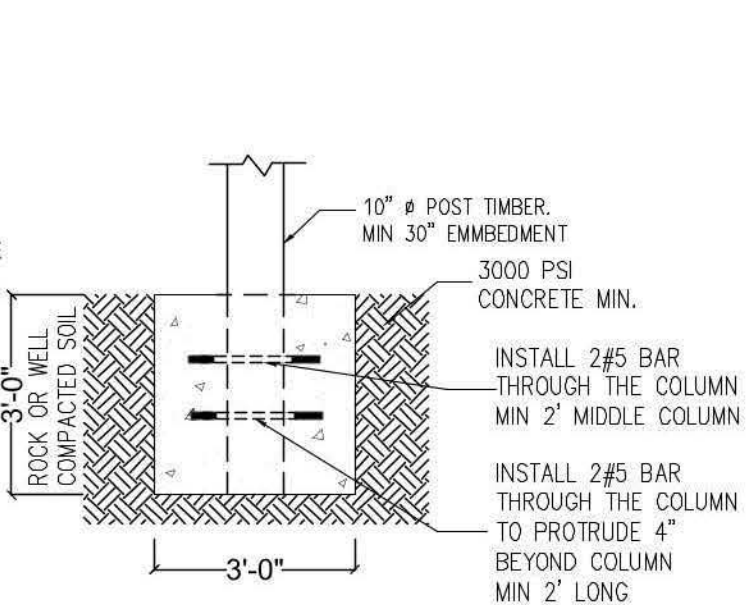
LOCATION OF ALL UNDERGROUND PIPES MUST BE DETERMINED BY OWNER OR CONTRACTOR BEFORE START DIGGING FOR FOOTERS, IT IS NOT CALC ENGINEERING RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY CABLE OR PIPE OR ANY OTHER UNDERGROUND UTILITY.



D2
S2 MAIN MEMBER CONNECTIONS



D3
S2 MAIN MEMBER CONNECTIONS



D1
S2 TYPICAL COLUMN FOOTER SECTION
SCALE: N.T.S.



Digitally signed
by MASOOD
HAJALI
Date: 2023.09.07
07:12:01 -04'00'

DATE: 5/26/2022
SCALE: N.T.S.
DSN: MH
DRG: JC

PROPOSED TIKI HUT FOR:
Mike Walton
5560 NE 26th Ave
Fort Lauderdale, FL 33308

DESIGN IS BASED ON FBC 2020, 7TH EDITION

Calc Engineering
CALC ENGINEERING
2000 NW 89 PL UNIT 102
DORAL FL 33172
Phone: (305) 898-9995
ENGINEERING BUSINESS
CA CERTIFICATION: 32566

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name MICHAEL RAYMOND WALTON & MICHELE LOFRIA				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 5560 NE 26th AVENUE				Company NAIC Number:	
City FORT LAUDERDALE		State Florida		ZIP Code 33308	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) GOLF ESTATES PB 43 PG 26 BLOT 2 BLK 3 Property ID: 494213080240					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>26°11'45.57"N</u> Long. <u>80°06'36.59"W</u> Horizontal Datum: <u>D</u> NAD 1927 <input checked="" type="checkbox"/> NAO 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>18</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) _____ N/A sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b _____ N/A sq in					
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage _____ <u>280.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>2</u>					
c) Total net area of flood openings in A9.b _____ <u>260.00</u> sq in					
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B- FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
81. NFIP Community Name & Community Number CITY OF FORT LAUDERDALE 125105			82. County Name BROWARD		83. State Florida
B4. Map/Panel Number <u>12011C0378</u>	85. Suffix <u>H</u>	86. FIRM Index Date <u>08-18-2014</u>	87. FIRM Panel Effective/ Revised Date <u>08-18-2014</u>	88. Flood Zone(s) <u>X</u>	89. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) <u>N/A</u>
810. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item 89: <input type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input checked="" type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source:					
B11. Indicate elevation datum used for BFE in Item 89: <input checked="" type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
812. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 5560 NE 26th AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33308	Company NAIC Number

SECTION C- BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* [8] Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO.
 Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: BM# 1181 Vertical Datum: NAVO 1988
 Indicate elevation datum used for the elevations in items a) through h) below.

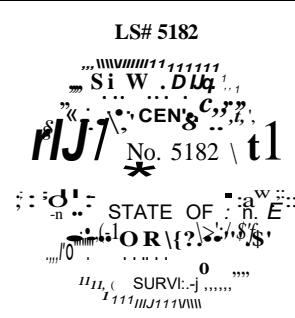
NGVD 1929 [8] NAVO 1988 Other/Source: _____
 Datum used for building elevations must be the same as that used for the BFE.

			Check the measurement used.
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	6.1	[8] feet	<input checked="" type="checkbox"/> meters
b) Top of the next higher floor	N/A	[8] feet	<input checked="" type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	N/A	[8] feet	<input checked="" type="checkbox"/> meters
d) Attached garage (top of slab)	5.7	[8] feet	<input checked="" type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	6.2	[8] feet	<input checked="" type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	5.7	[8] feet	<input checked="" type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	5.8	[8] feet	<input checked="" type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	N/A	[8] feet	<input checked="" type="checkbox"/> meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? [8] Yes No Check here if attachments.

Certifier's Name ERNEST W. DUNCAN	License Number LS# 5182		
Title PROFESSIONAL SURVEYOR & MAPPER			
Company Name ALL COUNTY SURVEYORS			
Address 5400 S. UNIVERSITY DRIVE #216			
City DAVIE	State Florida		ZIP Code 33328
Signature Ernest W Duncan <small>Digitally signed by Ernest W Duncan Date: 2023.05.02 12:00:45 -04'00'</small>	Date 04-25-2023	Telephone (954) 777-4747	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
 JOB# 23-58664 LONG & LATT OBTAINED IN FIELD (MAGELLAN 500 HANDHELD)
 C2e= AIR CONDITIONER LOCATED ON NORTH SIDE OF PROPERTY
 BROWARD COUNTY BENCHMARK BM# 1181 ELE= 8.348 (NAVO 1988)
 ALL ELEVATION COWERSIONS WERE PERFORMED USING VERTCON
 CROWN=4.28

ELEVATION CERTIFICATE

OMB No. 1660-0008
 Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 5560 NE 26th AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33308	Company NAIC Number

**SECTION E- BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
 FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.

E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1-2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F- PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 5560 NE 26th AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33308	Company NAIC Number

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8-G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
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G7. This permit has been issued for: New Construction Substantial Improvement

GB. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____

G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name	Title
-----------------------	-------

Community Name	Telephone
----------------	-----------

Signature	Date
-----------	------

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

BUILDING PHOTOGRAPHS

OMB No. 1660-0008
Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 5560 NE 26th AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33308	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section AS. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT VIEW 04-25-2023

Clear Photo One



Photo Two

Photo Two Caption REAR VIEW 04-25-2023

Clear Photo Two

BUILDING PHOTOGRAPHS

OMB No. 1660-0008
Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

Continuation Page

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 5560 NE 26th AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33308	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section AB.



Photo Three

Photo Three Caption RIGHT SIDE VIEW 04-25-2023

Clear Photo Three



Photo Four

Photo Four Caption LEFT SIDE VIEW 04-25-2023

Clear Photo Four