



BOARD OF ADJUSTMENT MEETING NOTICE

September 28, 2023

A Public Hearing will be held before the Board of Adjustment on: October 11, 2023 at 6:00 P.M.

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-23070005
OWNER:	JUAREZ, ERNESTO J & ADDIS D
AGENT:	N/A
ADDRESS:	2825 SW 13 COURT, FORT LAUDERDALE FL 33312
LEGAL DESCRIPTION:	LOT 10, BLOCK 12 OF THE "GILLCREST", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, AT PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY)
ZONING DISTRICT:	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	4
REQUESTING:	<u>Sec. 47-19.2.EE - Utility and tool sheds, residential districts.</u> <ul style="list-style-type: none"> • Requesting a variance to allow an existing Utility and tool shed to have a total area of 212.37 square feet, whereas the code allows a maximum of 100 square feet. A total variance request of 112.37 square feet. • Requesting a variance to allow an existing Utility and tool shed to have a maximum side length of 19.8 feet, whereas the code allows a maximum side length of 12 feet. A total variance request of 7.8 feet. • Requesting a variance to allow an existing Utility and tool shed to have a maximum height of 10'-2" above the finish floor of the principal structure, whereas the code allows a maximum height of 10'-0" above the finish floor of the principal structure. A total variance request of 0'-2".

To watch and listen to the meeting, please visit:
<https://www.fortlauderdale.gov/government/BOA> OR
www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-23070005


LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet





CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: OCTOBER 11, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23070005

Requesting: Sec. 47-19.2.EE - Utility and tool sheds, residential districts.

- Requesting a variance to allow an existing Utility and tool shed to have a total area of 212.37 square feet, whereas the code allows a maximum of 100 square feet. A total variance request of 112.37 square feet.
- Requesting a variance to allow an existing Utility and tool shed to have a maximum side length of 19.8 feet, whereas the code allows a maximum side length of 12 feet. A total variance request of 7.8 feet.
- **Requesting a variance to allow an existing Utility and tool shed to have a maximum height of 10'-2" above the finish floor of the principal structure, whereas the code allows a maximum height of 10'-0" above the finish floor of the principal structure. A total variance request of 0'-2".**

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



BOA CASE # PLN-BOA-23070005

Sec. 47-19.2.EE - Utility and tool sheds, residential districts.

***Utility and tool sheds, residential districts.* Utility and tool sheds when accessory to a residential building may be permitted in the required rear and side yards, but no closer than five (5) feet from any property line except where property is abutting a street or waterway. Where abutting a street or a waterway, such shed shall be subject to the yard requirements of the zoning district where it is located. A shed shall be no greater than twelve (12) feet in length on any side and shall be no greater in height than ten (10) feet measured to the top of the structure and shall be no larger in area than one hundred (100) gross square feet. No more than one (1) shed shall be permitted per development site.**

Record

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[Reports](#)
[Help](#)
 My Filters --Select--
 Module Planning

Showing 1-6 of 6

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name
<input type="checkbox"/>	PLN-BOA-23070005		Variance for Shed	Z- Board of Adjustment (BOA)	0	
<input type="checkbox"/>	BLD-ACC-23030008	ATF-SHED IN BACKYARD BE21090004		Accessory Structure Permit	150	
<input type="checkbox"/>	BE21090004	WORK W/O PERMIT - BUILT A SHED IN THE BACKYARD WI...		Building Code Case	0	Alexander Albor
<input type="checkbox"/>	BT-SLP-REN-20071380		State Licensed Professional ...	Professional Business Tax Renewal (State,County,Federal,Registered, etc.)	0	
<input type="checkbox"/>	BL-1101336		JUAREZ,ERNESTO J	Professional Business Tax Receipt (State,County,Federal,Registered, etc.)	84	
<input type="checkbox"/>	PM-10031304	ABANDON SEPTIC TANK CONNECT TO SEWER	ABANDON SEPTIC TANK CONNECT ...	Plumbing Sewer Cap Permit	0	

Page of 1



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING

BOARD OF ADJUSTMENT (BOA)

Rev: 6 Revision Date: 06/23/2023 Print Date: 00/00/0000

I.D. Number: Z&L- BOA

BOARD OF ADJUSTMENT (BOA) INFORMATION AND APPLICATION

- Cover : Deadlines, Fees and General Information
- Page 1 : Applicant Information Sheet
- Page 2 : Criteria for Variance Request
- Page 3 : Checklist for submittal and completeness
- Page 4 : Notice Requirements and Affidavit
- Page 5 : Technical Specifications

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. A meeting can be requested by emailing staff or submitting an email request to the [Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable deadline dates can be found on the City's website at the [Board of Adjustment](#) webpage.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the City's online citizen access portal and payment of fees [LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes.

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the City stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

Select the application type.	Fees
<input type="radio"/> Variance/Special Exception/Interpretation (Before):	\$2200.00
<input type="radio"/> Variance/Special Exception/Interpretation (After):	\$2800.00
<input type="radio"/> Variance/Special Exception/Interpretation (Before): Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only)	\$650.00
<input checked="" type="radio"/> Variance/Special Exception/Interpretation (After): Residential Accessory Structures & Existing Non-Conforming Structures (Homestead Only)	\$850.00
<input type="radio"/> Request for Continuance	\$900.00
<input type="radio"/> Request for Rehearing	\$300.00
<input type="radio"/> Rehearing Request before the board	\$1150.00

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	
NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT	
Property Owner's Name	JUAREZ, ERNESTO J & ADDIS D
Property Owner's Signature	<i>[Handwritten Signature]</i> <small>If signed agent, agent is provided. If agent is not provided, agent is required on the application by the owner.</small>
Address, City, State, Zip	2825 SW 13 CT FORT LAUDERDALE FL 33312
E-mail Address	ernesto@ictair.com
Phone Number	954-817-2069
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Agent Authorization Form Submitted	<input type="checkbox"/>

Development / Project Name	
Existing / New	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: 2825 SW 13 CT FORT LAUDERDALE FL 33312
Legal Description	See Survey
Tax ID Folio Numbers <small>(For all parcels in development)</small>	5042 17 18 1100
Variance/Special Exception Request <small>(Provide a brief description of your request)</small>	Requesting a variance to allow an existing Utility shed to have a total area of 212.37 square feet Requesting a variance to allow an existing Utility shed to have a maximum side length of 19.8 feet Requesting a variance to allow an existing Utility shed to have a maximum height of 10'-2" above finish floor.
Applicable ULDR Sections <small>(Include all code sections)</small>	Sec. 47-19.2.EE - Utility and tool sheds, residential districts.

Current Land Use Designation	Residential
Current Zoning Designation	RS-8
Current Use of Property	Residential
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

	Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front			
Side			
Side			
Rear			

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative. If additional space is needed, attach additional page(s).

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

Property Issue lacks covered secure space whereas Shed needed for usage.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

It is much need to construct adjacent building, but cost make if favorable to install Shed.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

There is not disturbances to other property owners, such to restrict the denial of existing Shed of 200 sqft.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

ULDR Provision limits the occupied space of such application of additional building. whereas the current building is no issues t

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

The Variance request from the minimum to actual is about 20 Sqft. It is not incompatible with surroundings neighborhood or de

AFFIDAVIT: I, ERNESTO JUAREZ the Owner/Agent of said property ATTEST that I am aware of the following:

- 1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
- 2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
- 3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
- 4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
- 5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Ernesto J. Juarez (Signature)

Digitally signed by Ernesto J. Juarez
DN: cn=Ernesto J. Juarez, o=, email=ernesto@pctak.com, c=US
Date: 2023.09.26 18:43:26 -0400

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 27th day of September, 20__



NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative. If additional space is needed, attach additional page(s).

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Property Issue lacks covered secure space whereas Shed needed for usage.

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There is not disturbances to other property owners, such to restrict the denial of existing Shed of 200 sqft.

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AFFIDAVIT: I, Ernesto J. Juarez the Owner/Agent of said property ATTEST that I am aware of the following:

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2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 27 day of July, 2023

(SEAL)



NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative. If additional space is needed, attach additional page(s).

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AFFIDAVIT: Addis D. Juncos the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Addis D. Juncos
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 27 day of July, 2023

(SEAL) 

Merylin Garviso
NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 3: Checklist for submittal and completeness: The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information below will result in your application being deemed incomplete.

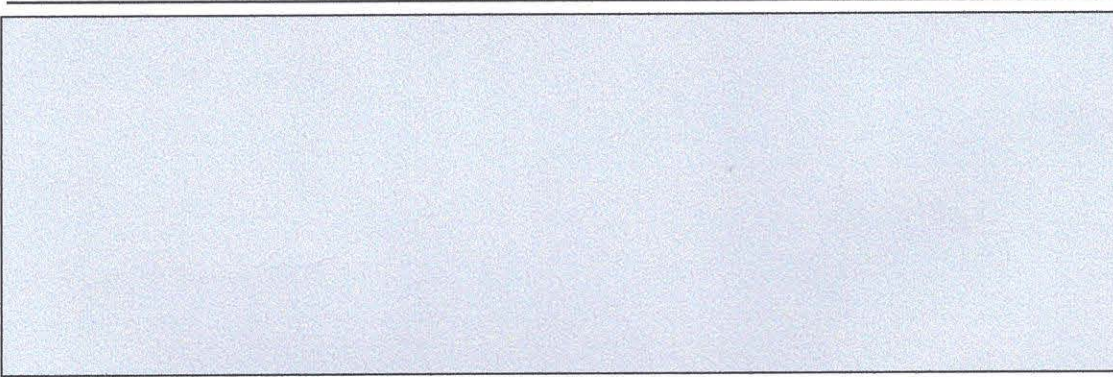
- Application submittals must be conducted through the City's Online Citizen Access Portal [LauderBuild](#).
- **Submit One** (1) complete submittal by uploading all documents listed below through our City's online citizen access portal [LauderBuild](#) (<https://aca-prod.accela.com/FTL>). Note: The survey and plans must be digitally signed and sealed when submitting through the [LauderBuild](#) Portal OR submit an Original Signed and Sealed Survey and Plans at 24" x 36". Click here for [Plans room requirements](#) .
- **Submit 14** copy sets of each item listed below **AFTER** the complete application submittal has been Deemed Complete. Note: The survey and plans must be at half-size scale 11X17". One (1) complete original application submittal is required.

-
- Completed application** (all pages must be filled, completed, signed and notarized, where applicable).
 - Mail notification documents** (mail notification instructions at bottom of page) .
 - Proof of ownership** (Broward County Property Records, warranty deed, and/or Sunbiz), including corporation documents if applicable.
 - Agent Authorization Form.** Property owner(s) original notarized signature(s) is required (if applicable).
 - Color photographs** of the entire property and all surrounding properties, dated and labeled and identified as to orientation.
 - Narrative** describing specific request and outlining ULDR sections that are applicable. Narratives must be on letterhead, dated, and with author indicated.
 - Cover sheet** on plan set to state project name and table of contents.
 - Current survey(s)** of property, signed and sealed, showing existing conditions; survey must be As-Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of lands not included in the proposed project unless specifically requested by the City. *Survey should be less than 1 year.

 - Site Plan** (a survey *may* be substituted if the requested variance is clearly indicated)
 - Landscape Plan** (if applicable)
 - Elevations** (if applicable)
 - Additional Plan details as needed**

Note: All 14 copy sets must be clear and legible. Copy sets are due **AFTER** All deficiencies have been MET.

Note: Plans must be folded to 8 ½" x 11". All non-plan documents should be 8 ½" x 11".



MAIL NOTIFICATION: Pursuant to Section 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- **MAIL NOTICE:** Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (**stamps only, metered mail will not be accepted**). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; **no handwritten addresses will be accepted**. The return address shall be listed on all envelopes as follows:

City of Fort Lauderdale
Zoning & Landscaping Division -BOA
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311

- **DISTRIBUTION:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.
- **To order a Tax Map and Notice List,** please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855. You may also contact Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503.

Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-23070005

APPLICANT: ERNESTO & ADDIS JUAREZ

PROPERTY: 2825 SW 13 CT, FORT LAUDERDALE, FL 33312

PUBLIC HEARING DATE: OCTOBER 11, 2023

BEFORE ME, the undersigned authority, personally appeared ERNESTO JUAREZ, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. _____ (Initial here)

ERNESTO JUAREZ

Affiant


SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 27 day of September, 2023

(SEAL)



[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES:

Sep 26, 2023 at 2:46:09 PM
39° NE
2825 SW 13th Ct
Fort Lauderdale, FL 33312
United States
Ernesto Juarez

 CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: OCTOBER 11, 2023 TIME: 6:00 P.M. CASE: PLN-BOA-23070005

Requesting: Sec. 47-19.2.FE - Utility and tool sheds, residential districts.

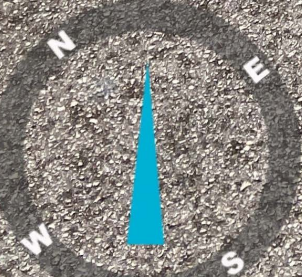
Requesting a variance to allow an existing utility and tool shed to have a total area of 212.37 square feet, whereas the code allows a maximum of 50 square feet. A total variance requested of 112.37 square feet.

Requesting a variance to allow an existing utility and tool shed to have a maximum side length of 19.8 feet, whereas the code allows a maximum side length of 12 feet. A total variance requested of 7.8 feet.

Requesting a variance to allow an existing utility and tool shed to have a maximum height of 10' 2" above the finish floor of the principal structure, whereas the code allows a maximum height of 10' 0" above the finish floor of the principal structure. A total variance requested of 2" .

APPROVED FOR THE BOARD OF ADJUSTMENT
DATE: SEPTEMBER 27, 2023
BY: JAMES A. ...

FOR MORE INFORMATION OR TO REQUEST AN APPOINTMENT, PLEASE CONTACT:
CITY OF FORT LAUDERDALE, PLANNING DEPARTMENT
3100 W. ...
WWW.FORTLAUDERDALEFL.GOV



Page 5: Technical Specifications

A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
 - Current use of property
 - Land Use designation
 - Zoning designation
 - Site area (sq. ft. and acres)
 - Setback table (required vs. provided)
 - Open space
8. Site Plan Features (graphically indicated)
 - Setbacks and building separations (dimensioned)
 - Project signage (if applicable)
 - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (i.e. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage



Site Address	2825 SW 13 COURT, FORT LAUDERDALE FL 33312	ID #	5042 17 18 1100
Property Owner	JUAREZ, ERNESTO J & ADDIS D	Millage	0312
Mailing Address	2825 SW 13 CT FORT LAUDERDALE FL 33312	Use	01-01
Abbr Legal Description	GILLCREST 34-12 B LOT 10 BLK 12		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2023 values are considered "working values" and are subject to change.

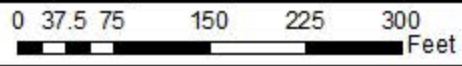
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$48,410	\$268,830	\$317,240	\$136,620	
2022	\$48,410	\$209,680	\$258,090	\$84,400	\$1,369.97
2021	\$48,410	\$159,830	\$208,240	\$81,950	\$1,323.41

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$317,240	\$317,240	\$317,240	\$317,240
Portability	0	0	0	0
Assessed/SOH 08	\$136,620	\$136,620	\$136,620	\$136,620
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$86,620	\$111,620	\$86,620	\$86,620

Sales History			
Date	Type	Price	Book/Page or CIN
7/16/2007	WD-Q	\$250,000	44357 / 1036
7/1/1993	WD	\$59,000	21000 / 373
6/1/1992	QCD	\$100	

Land Calculations		
Price	Factor	Type
\$6.50	7,448	SF
Adj. Bldg. S.F. (Card, Sketch)		1437
Units		1
Eff./Act. Year Built: 1955/1954		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



2825 SW 13 CT
DATE OF PRINT: 06/21/2023

FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP
504217180890	ALEMAN,PEDRO & MARIA		1265 SW 28 ROAD	FORT LAUDERDALE	FL	33312
504217180900	BOWMAN,DEBORAH		1271 SW 28 RD	FORT LAUDERDALE	FL	33312
504217180910	SWAY 2014-1 BORROWER LLC		1717 MAIN ST STE 2000	DALLAS	TX	75201
504217180920	NOWOGRODZKI,LUZ MARIA	ZAPIEN,JORGE E	12809 NW 20 ST	PEMBROKE PINES	FL	33028
504217180930	SRP SUB LLC		1717 MAIN ST #2000	DALLAS	TX	75201
504217180940	GONZALEZ,ISELA	GONZALEZ,JOSE	3640 SW 22 ST	FORT LAUDERDALE	FL	33312
504217180950	FLANAGAN,CHRISTOPHER R	SHIPLETT,RANDI M	1325 SW 28 RD	FORT LAUDERDALE	FL	33312
504217181010	BOHANNON,TERRY		1260 SW 28 RD	FORT LAUDERDALE	FL	33312
504217181020	CIORRA,FAIZE M H/E	JOUBERT,RENIER	1270 SW 28 RD	FORT LAUDERDALE	FL	33312
504217181030	WOLLARD,SEAN H/E	WOLLARD,KAREN	1280 SW 28 RD	FORT LAUDERDALE	FL	33312
504217181040	FIORETTI,MICHAEL & KIMBERLY		1300 SW 28 ROAD	FORT LAUDERDALE	FL	33312
504217181050	MENA,YOLANDA		1310 SW 28 RD	FORT LAUDERDALE	FL	33312
504217181060	LILLIAN P MEIERS REV TR		2845 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181070	ARISTIZABAL,IDALUZ		2839 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181080	CASTRO,AZAEH H/E	MORALES,YENEIR GONZALEZ ETAL	2833 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181090	ROMAN,MICHAEL L H/E	RAMIREZ,BARBARA M	2829 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181100	JUAREZ,ERNESTO J & ADDIS D		2825 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181110	LAZARIDES,STEVEN		2821 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181120	VANDERLELY,HENDRIK		2813 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181130	IMBRIANO,JOHN T & NONA N H/E	IMBRIANO,JOHN SR	2801 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181140	CABRERA,ELOINA A EST		1311 SW 28 AVE	FORT LAUDERDALE	FL	33312
504217181150	ESCOBAR,RICARDO J	BRAUN-ESCOBAR,FRIEDA	1301 SW 28 AVE	FORT LAUDERDALE	FL	33312
504217181160	BERKI,CLAUDIO H/E	BERKI,CLARA	1299 SW 28 AVE	FORT LAUDERDALE	FL	33312
504217181170	ROWE,KEVIN A		1291 SW 28 AVE	FORT LAUDERDALE	FL	33312
504217181180	MAZARIEGOS,OSCAR & MARIA		1259 SW 28 RD	FORT LAUDERDALE	FL	33312
504217181220	BAF ASSETS LLC		5001 PLAZA ON THE LAKE #200	AUSTIN	TX	78746
504217181230	CSMA FT LLC		1850 PARKWAY PL #900	MARIETTA	GA	30067
504217181240	EGLAUS,CERES		1298 SW 28 AVE	FORT LAUDERDALE	FL	33312
504217181250	MAZARIEGOS,JOSE &	MAZARIEGOS,MAURA E	4421 SW 22 ST	FORT LAUDERDALE	FL	33317
504217181260	AUGUSTO CASTANEDA,CESAR	SANTANILLA,TATIANA	1310 SW 28 AVE	FORT LAUDERDALE	FL	33312
504217181270	FUSCO,JAMES V		1320 SW 28 AVE	FORT LAUDERDALE	FL	33312
504217181280	SHEEHAN,LISA	PAGONES,TIMOTHY	2741 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181660	GAYTAN,PAMELA		2848 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181670	VERGO,JOHN PETER		1901 BRICKELL AVE #B 2113	MIAMI	FL	33129
504217181680	CELSO & MERCELINDA LAYOG REV TR	LAYOG,CELSO & MERCELINDA TRSTEEES	3490 SW 16 CT	FORT LAUDERDALE	FL	33312
504217181690	FIORE,MICHELLE M		2830 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181700	NURIEL,YEHUDA		2824 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181710	VEGA,DIANA ALICE		2818 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181720	ARGUETA,JOSE JAIME	MORALES,NANETTE JENNIFFER	2812 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181730	ALAMARY,SIVAN EZRA		2806 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181740	SOSA,JORGE O		2800 SW 13 CT	FORT LAUDERDALE	FL	33312
504217181800	YOUNG,STEVAN & DORREL		2819 SW 14 ST	FORT LAUDERDALE	FL	33312
504217181810	SMITH,ARICIA		2825 SW 14 ST	FORT LAUDERDALE	FL	33312
504217181820	FARRINGER,ASHLEY N		2831 SW 14 ST	FORT LAUDERDALE	FL	33312
504217181830	MAZARIEGOS,BLANCA		2837 SW 14 ST	FORT LAUDERDALE	FL	33312
504217181840	MACHIN,JOANNY		2843 SW 14 ST	FORT LAUDERDALE	FL	33312
504217182060	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301
504217200010	LA SEGUNDA REALTY CORP		2750 DAVIE BLVD	FORT LAUDERDALE	FL	33312

Ernesto and Addis Juarez

2825 SW 13CT

Fort Lauderdale, FL 33312

954-817-2069

Wednesday, September 27, 2023

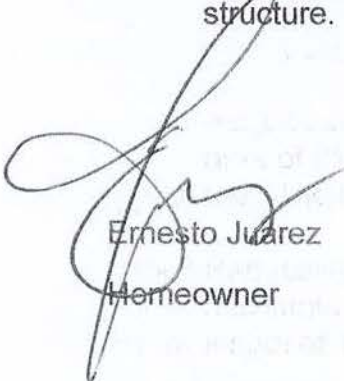
NARRATIVE:

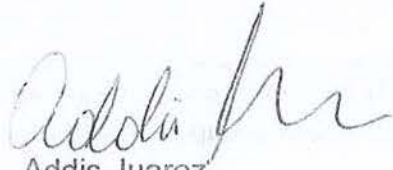
To Whom it may concern:

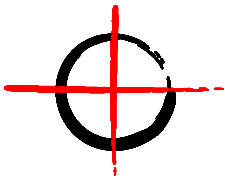
Requesting for Variance for a Pre-Existing Legal Non-Conforming Structure that is shown on the survey has (200) gross square feet. The Situation has made it pleasant for my entire family to own; we use it for many things that help us improve our lives aside from storage we use it for general purposes. For example, During COVID we used it for Kid's online learning space. I have 3 Kids who need space to perform their studies and currently, they spend time inside learning.

Sec. 47-19.2.EE - Utility and tool sheds, residential districts.

- Requesting a variance to allow an existing Utility and tool shed to have a total area of 212.37 square feet, whereas the code allows a maximum of 100 square feet. The total variance requires an increase of 112.37 square feet.
- Requesting a variance to allow an existing Utility and tool shed to have a maximum side length of 19.8 feet whereas the code allows a maximum side length of 12 feet. A total variance request for an increase of 7.8 feet
- Requesting a variance to allow an existing Utility and tool shed to have a maximum height of 10'-2" above the finish floor of the principal structure whereas the code allows a maximum height of 10'-0" above the finish floor of the principal structure. A total variance increase of 0'-2".


Ernesto Juarez
Homeowner


Addis Juarez
Homeowner



PINNELL SURVEY, INC.

5300 W. HILLSBORO BLVD., SUITE 215-A COCONUT CREEK, FLORIDA 33073
PHONE(954)418-4940 FAX(954)418-4941 EMAIL: order@sfland.net
CERTIFICATE NO.: LB6857

SURVEY ADDRESS:

2825 S.W. 13TH COURT
FORT LAUDERDALE, FLORIDA 33312

CERTIFY TO:

1. ERNESTO J. JUAREZ AND ADDIS D. JUAREZ

FLOOD ZONE & ELEVATIONS:

FLOOD ZONE: X(0.2%)
BASE FLOOD ELEVATION: N/A
CONTROL PANEL NO.: 125105-0556-H
DATE OF FIRM INDEX: 08/18/14

POTENTIAL ENCROACHMENTS:

1. STAMPED CONCRETE DRIVEWAY, 6 FOOT WOOD FENCE AND CONCRETE ENCROACHING INTO 6 FOOT UTILITY EASEMENT ALONG THE WESTERLY PORTION OF THE SUBJECT PROPERTY.
2. 6 FOOT WOOD FENCE, 4 FOOT CHAIN LINK FENCE AND METAL SHEDS ENCROACHING INTO 6 FOOT UTILITY EASEMENT ALONG THE NORTHERLY PORTION OF THE SUBJECT PROPERTY.
3. 6 FOOT WOOD FENCE, 4 FOOT CHAIN LINK FENCE, CONCRETE, A/C UNIT AND FRAME GARAGE ENCROACHING INTO 6 FOOT UTILITY EASEMENT ALONG THE NORTHEASTERLY PORTION OF THE SUBJECT PROPERTY.
4. 6 FOOT WOOD FENCE CROSSES OVER THE WESTERLY, NORTHERLY, NORTHEASTERLY AND SOUTHERLY PROPERTY LINES.
5. 4 FOOT CHAIN LINK FENCE CROSSES OVER THE NORTHERLY AND NORTHEASTERLY PROPERTY LINES.
6. ASPHALT PAVEMENT CROSSES OVER THE SOUTHWESTERLY PROPERTY LINE.

LEGAL DESCRIPTION:

LOT 10, BLOCK 12, OF "GILLCREST", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, AT PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND & ABBREVIATIONS:

A = ARC	D.E. = DRAINAGE EASEMENT	P.C. = POINT OF CURVATURE
A/C = AIR CONDITIONER	ELEV. = ELEVATION	P.E. = POOL EQUIPMENT
A.E. = ANCHOR EASEMENT	E.S. = ELECTRIC SERVICE	P.I. = POINT OF INTERSECTION
B.M. = BENCHMARK	F.P. & L. = FLORIDA POWER & LIGHT	P.R.C. = POINT OF REVERSE CURVE
B.C.R. = BROWARD COUNTY RECORDS	L.B. = LICENSED BUSINESS	P.O.B. = POINT OF BEGINNING
C.B.S. = CONCRETE BLOCK STRUCTURE	L.P. = LIGHT POLE	P.O.C. = POINT OF COMMENCEMENT
CHATT. = CHATTAHOOCHEE	M.H. = MANHOLE	P.P. = POWER POLE
C.O. = CLEANOUT	(M) = MEASURED	R = RADIUS
CONC. = CONCRETE	NAVD = NORTH AMERICAN VERTICAL DATUM	R/W = RIGHT-OF-WAY
C.L.F. = CHAIN LINK FENCE	NGVD = NATIONAL GEODETIC VERTICAL DATUM	T = TANGENT
C.L.P. = CONCRETE LIGHT POLE	NO. = NUMBER	(TYP.) = TYPICAL
(C) = CALCULATED	O.H. = OVERHANG	U.E. = UTILITY EASEMENT
C.B. = CHORD BEARING	O.R.B. = OFFICIAL RECORDS BOOK	W.F. = WOOD FENCE
C.R. = CABLE RISER	O/S = OFFSET	W.M. = WATER METER
(D) = DEED	(P) = PLAT	Δ = DELTA OR CENTRAL ANGLE
D.B. = DEED BOOK	P.B.C.R. = PALM BEACH COUNTY RECORDS	⊕ = CENTERLINE
M-D.C.R.= MIAMI-DADE COUNTY RECORDS	P.B. = PLAT BOOK	Ⓢ = ELEVATION

GENERAL NOTES:

1. TYPE OF SURVEY: BOUNDARY
2. IF THIS SURVEY HAS BEEN REVISED AS INDICATED IN THE REVISION BOX SHOWN HEREON, THEN ANY AND ALL PREVIOUS VERSIONS OF THIS SURVEY PREPARED BY PINNELL SURVEY, INC. ARE NULL & VOID.
3. THE PROPERTY SHOWN HEREON WAS NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF RECORD BY PINNELL SURVEY, INC. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT DEPICTED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY, FOR WHICH THE SUBJECT PROPERTY IS LOCATED IN.
4. UNLESS OTHERWISE NOTED, FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
5. ELEVATIONS SHOWN HEREON (IF ANY) ARE RELATIVE TO NAVD 1988, UNLESS OTHERWISE NOTED.
6. UNDERGROUND IMPROVEMENTS AND UTILITIES ARE NOT LOCATED.
7. FENCE AND WALL OWNERSHIP IS NOT DETERMINED.
8. THIS DRAWING IS THE PROPERTY OF PINNELL SURVEY, INC. AND SHALL NOT BE USED OR REPRODUCED, WHOLE OR IN PART WITHOUT WRITTEN PERMISSION & AUTHORIZATION FROM PINNELL SURVEY, INC.
9. ALL EASEMENTS SHOWN ON THE ATTACHED DRAWING ARE PER THE RECORD PLAT (UNLESS OTHERWISE NOTED).

CERTIFICATION:

THIS IS TO CERTIFY THAT I HAVE RECENTLY SURVEYED THE PROPERTY DESCRIBED IN THE FOREGOING TITLE CAPTION AND HAVE SET OR FOUND MONUMENTS AS INDICATED ON THIS SKETCH AND THAT SAID ABOVE GROUND SURVEY AND SKETCH ARE ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE UNDER RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.



THE SEAL APPEARING ON THIS DOCUMENT WAS APPROVED BY JASON H. PINNELL, P.S.M. #5734

JASON H. PINNELL
PROFESSIONAL SURVEYOR & MAPPER
LICENSE NO. 5734, STATE OF FLORIDA

REVISIONS	DATE	CHK'D BY

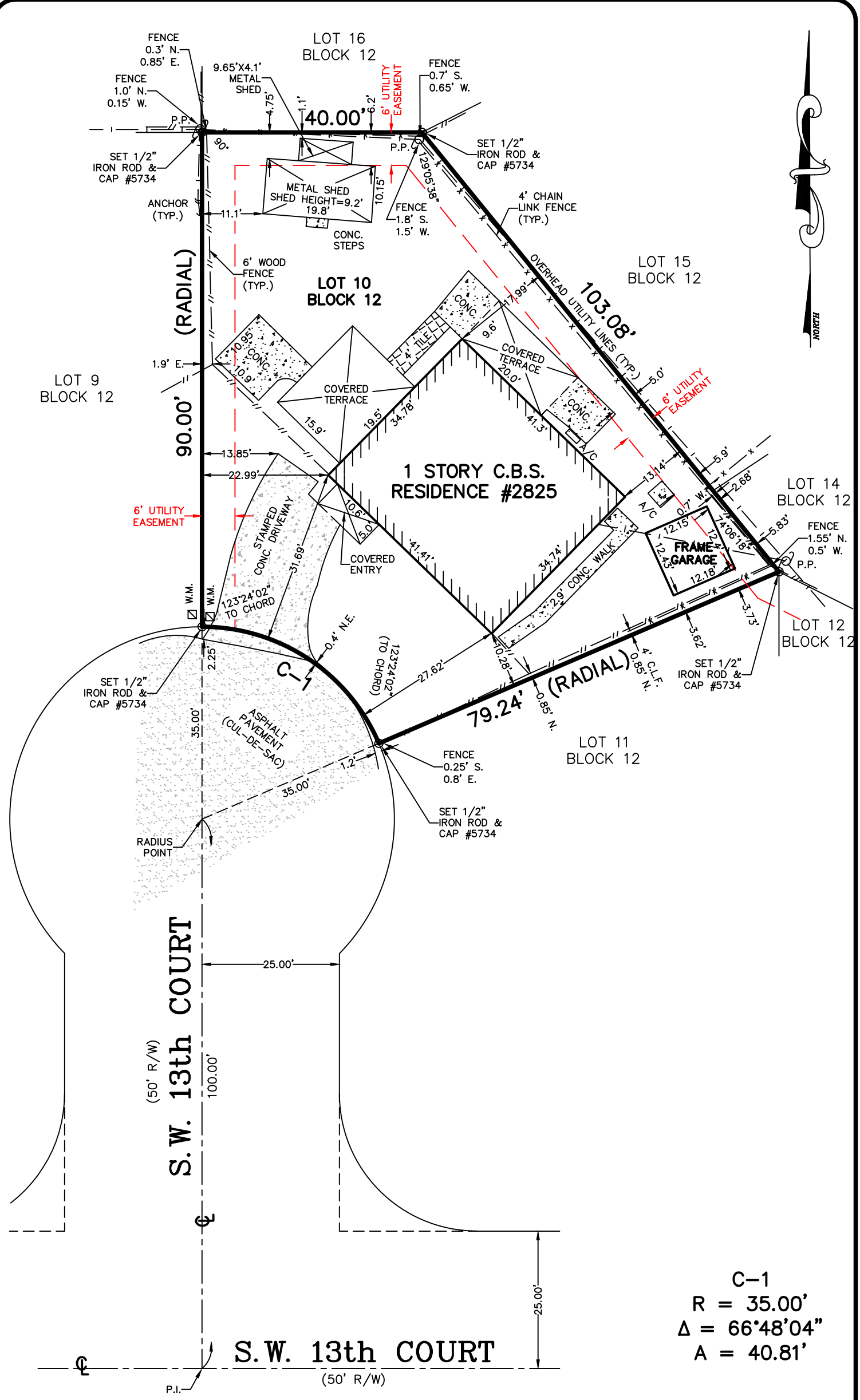
SKETCH NO.: 23-0839

DATE OF SURVEY: 05/16/23

CHECKED BY: S.A.

FIELD BOOK/PAGE: 660/29

SIDE 1 OF 2

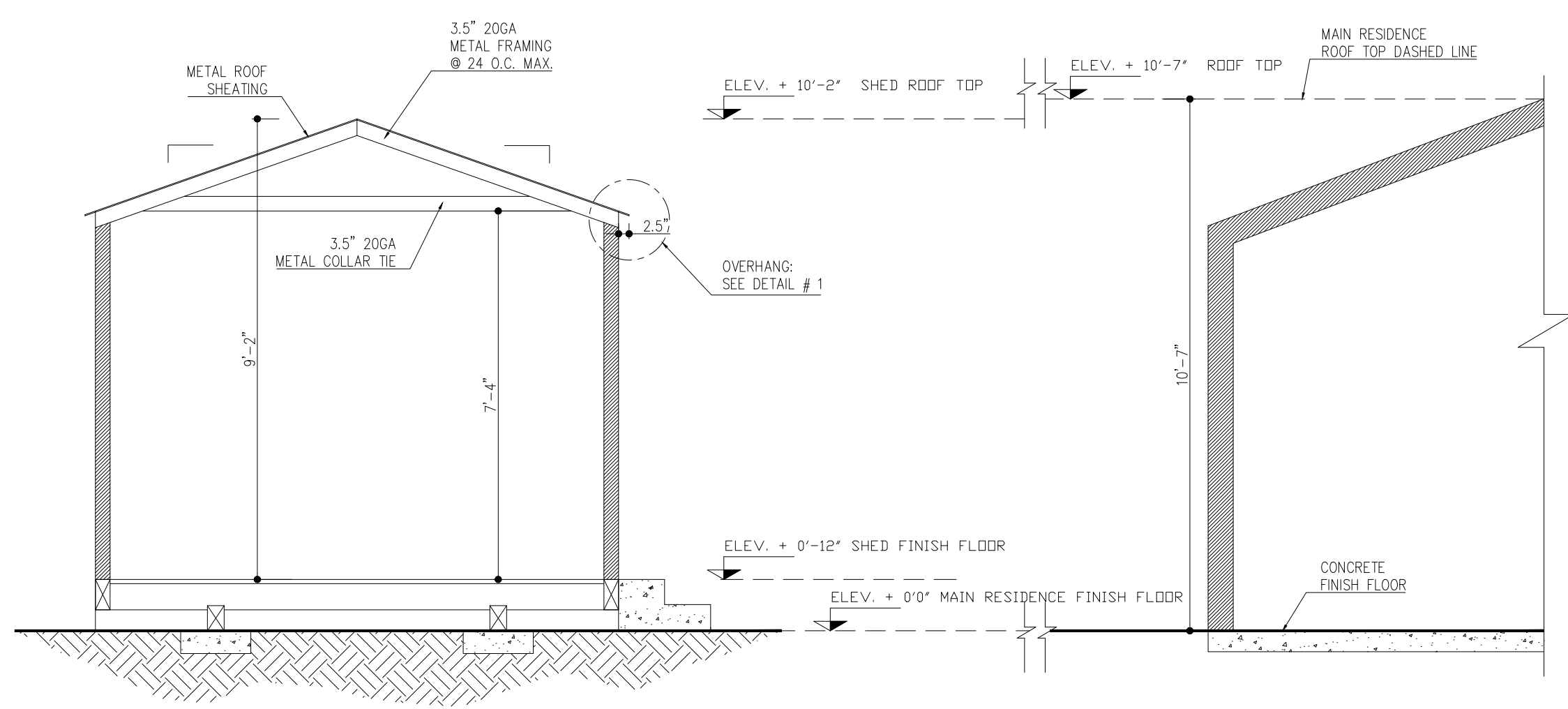
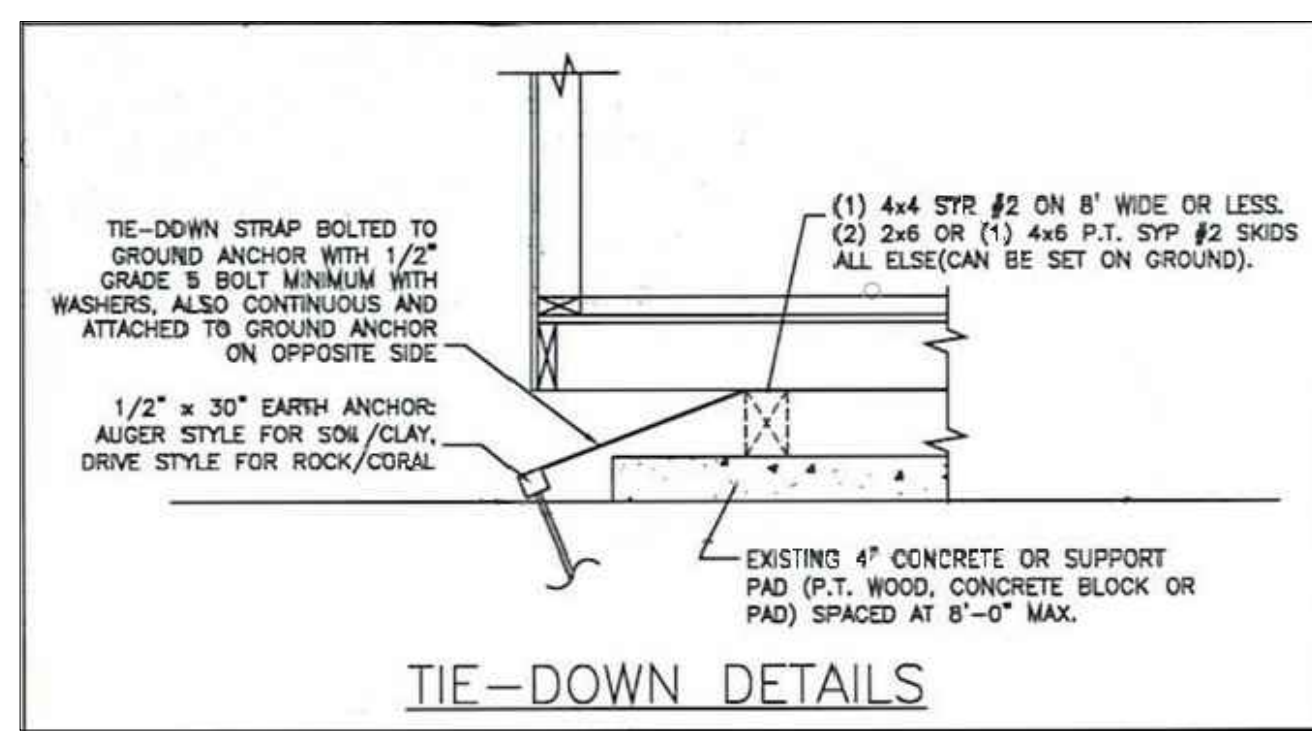
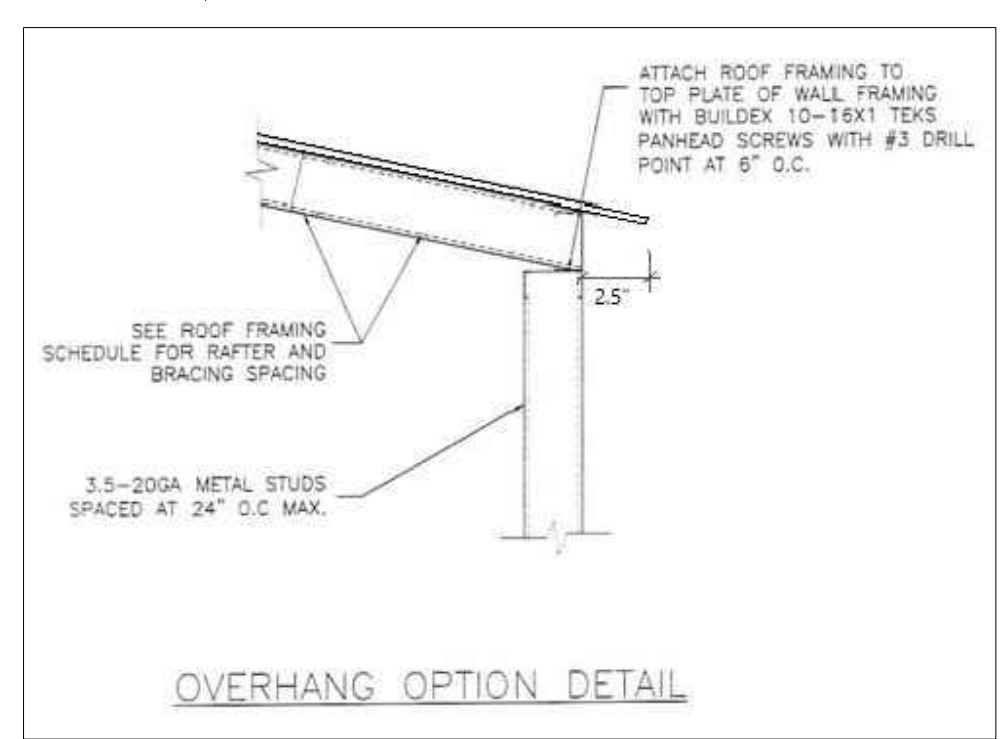
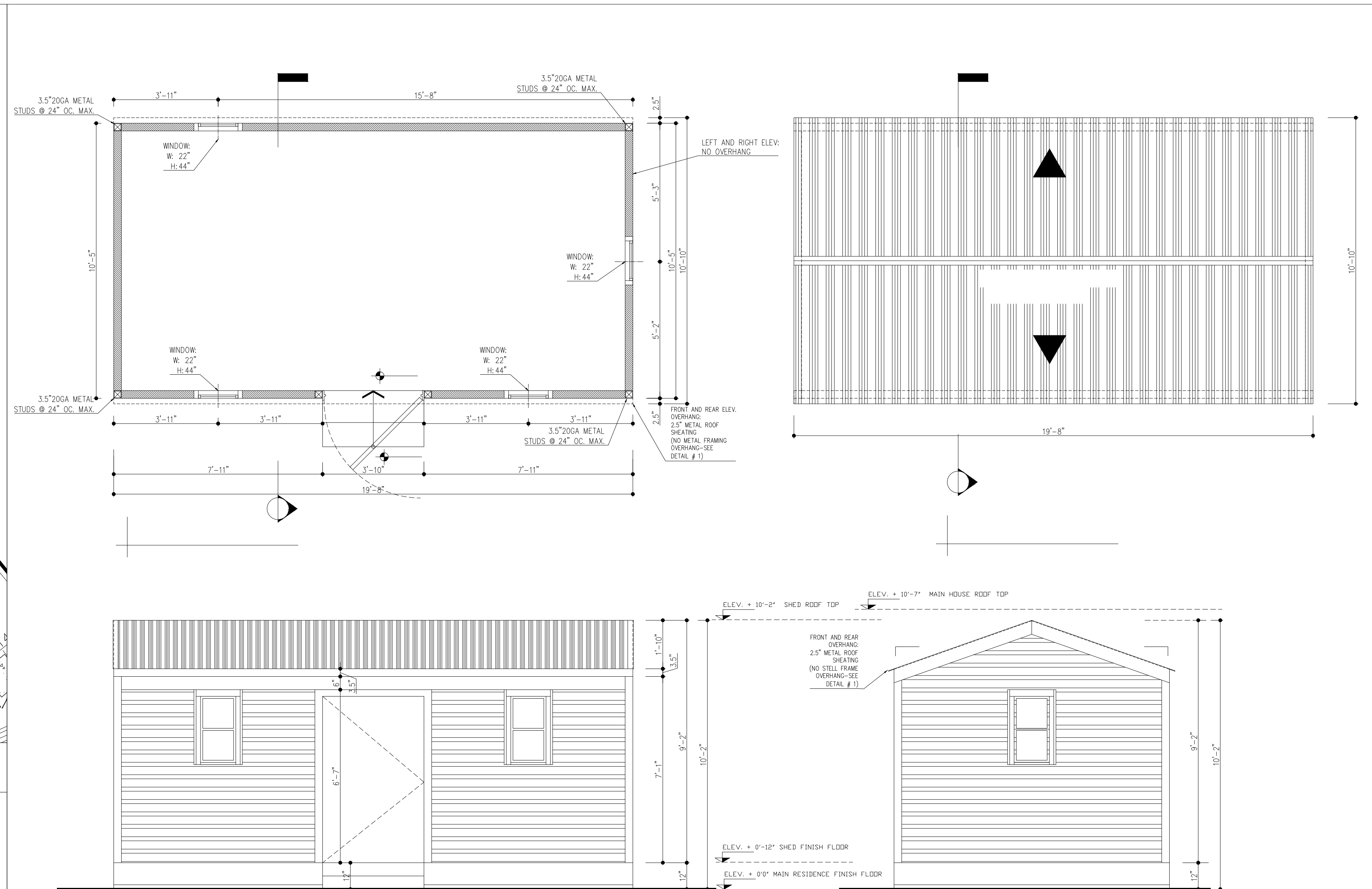
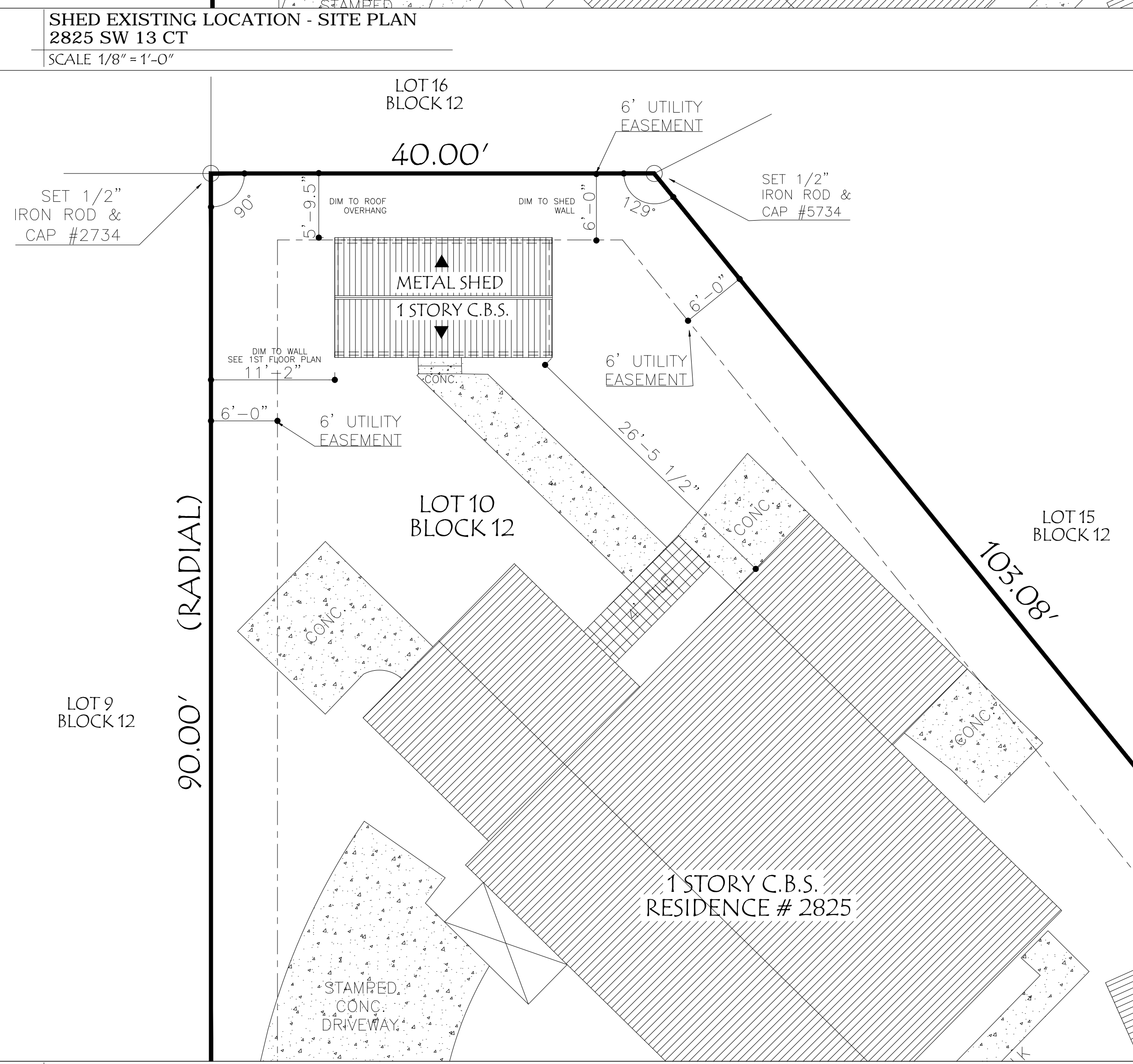
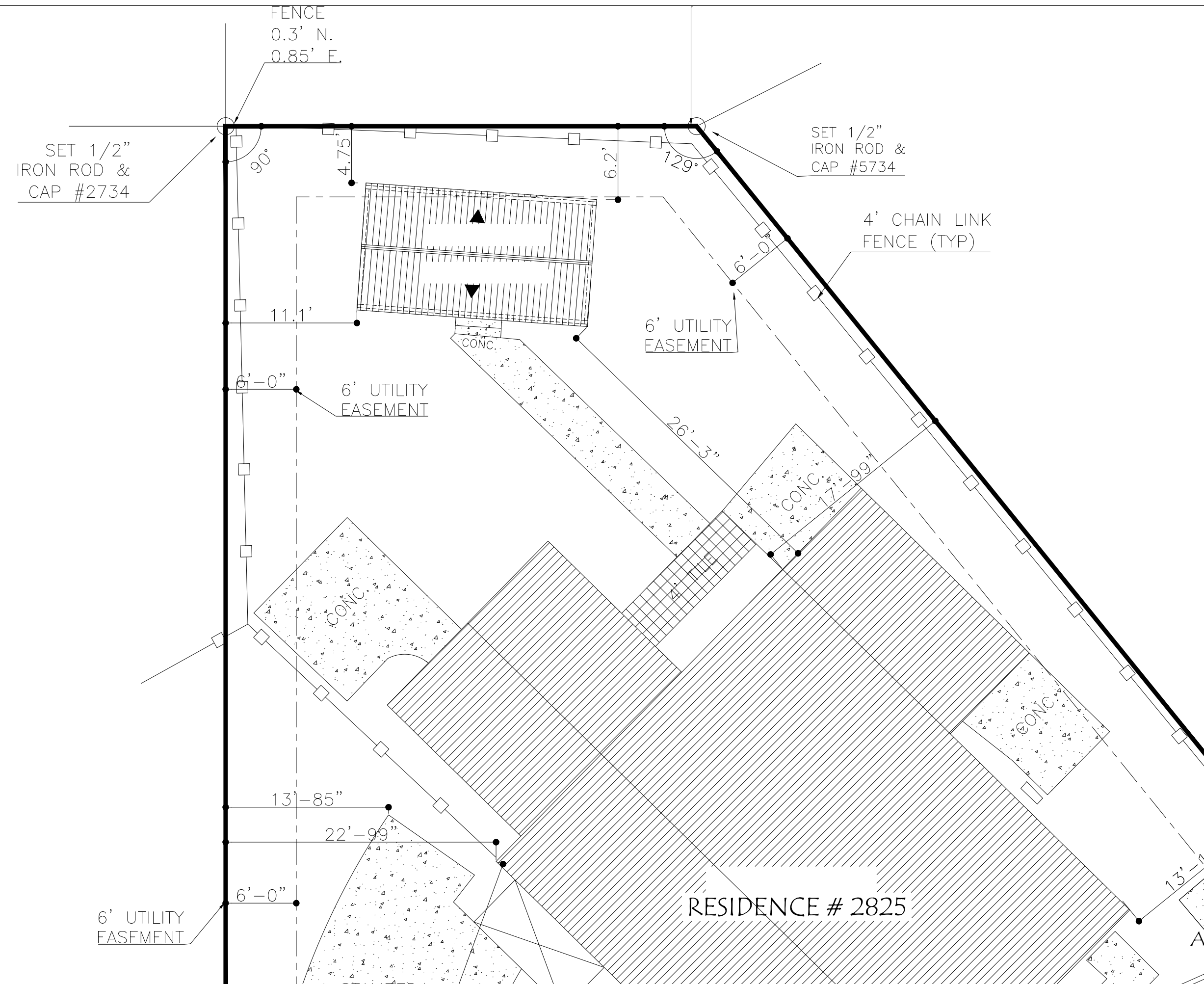


S.W. 13th COURT
(50' R/W)

S.W. 13th COURT
(50' R/W)

C-1
 $R = 35.00'$
 $\Delta = 66^{\circ}48'04''$
 $A = 40.81'$

SCALE: 1" = 20'	SKETCH NO.: 23-0839
DRAWN BY: S.P.	SIDE 2 OF 2



TITLE:

OWNER INFORMATION:
ADDRESS: 2825 SW 13 CT.
FORT LAUDERDALE FL. 33312

DATE:

DRAWN BY: GERMAN MONT.

CHECKED BY:

SCALE: AS SHOWN

SEAL/SIGNATURE/DATE:

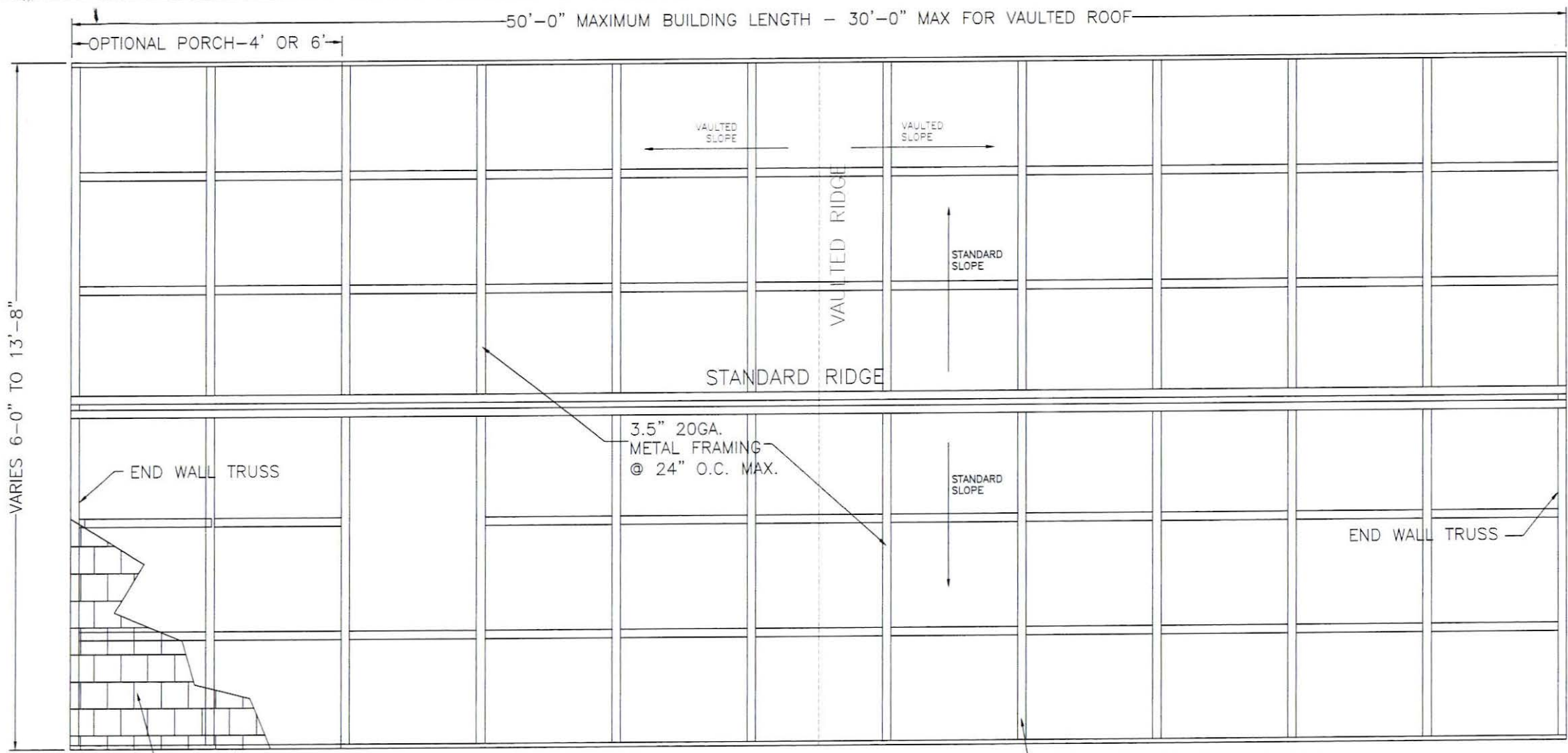
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

DRAWING NAME:

SHEET 1 OF -1



409 DIXON STREET
 VIDALIA, GEORGIA 30474
 PHONE NUMBER: (912) 538-1888



ROOF FRAMING PLAN

- ROOF SHEATHING OPTIONS:
 - BOX RIB ALUMINUM
 - 29 GAUGE STEEL AG PANEL
 - STANDING SEAM STEEL
 - ASPHALT SHIGLES

RAFTERS ARE IN-LINE WITH WALL STUDS FOR CONTINUOUS LOAD TRANSFER PATH

HVHZ APPROVED

MAXIMUM DESIGN PRESSURES								
170mph BASIC WIND SPEED								
ZONE	1	2n	2r	2e	3r	3e	4	5
	+21.8	+31.9	+17.4	+17.4	+31.9	+31.9	+31.9	+38.2
	-48.2	-115.2	-62.6	-24.7	-136.9	-115.2	-35.5	-48.4

TLE TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS
 William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734

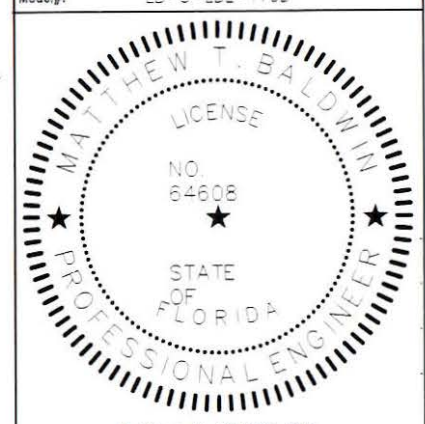
- GENERAL NOTES**
- FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
 - BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY.
 - THIS BUILDING IS EXEMPT FROM THE FECC PER SECTIONS R101.4.2.4, R402.1
 - REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE
 - ALL LUMBER FOR CONSTRUCTION WILL BE #2 SYP EXCEPT AS NOTED
 - GUTTERS SHALL BE SITE INSTALLED PER THE LOCAL AUTHORITY HAVING JURISDICTION AND PERMITTING REQUIREMENTS
 - ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS PER THE APPROVED PLANS AND THE FLORIDA BUILDING CODE
 - IN ACCORDANCE WITH FBC 1609.1.2, "STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE"
 - IN ACCORDANCE WITH FBC 1010.1.1, EXCEPTION (10.) BUILDINGS THAT ARE 400 SQ-FT OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE- AND TWO-FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE. STRUCTURES 400 SQ-FT OR MORE SHALL HAVE AN 80" MINIMUM DOOR
 - IN ACCORDANCE WITH FLORIDA STATUTE 553.80 (1)(D), LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO 553.842 (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2020 FBC 7TH EDITION
 - FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP
 - AS PER FBC SECTION 1626.1 EXCEPTION (F) STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF LESS THAN 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE
 - COMPONENTS/CLADDING ARE IN COMPLIANCE WITH THE 2020 FBC 7TH EDITION
 - SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS
 - IF A WALL IS FRAMED FOR FUTURE HVAC UNITS THAT WILL BE APPROVED BY THE AHJ AND LOCAL REQUIREMENTS FOR PERMITTING
 - WINDOWS AND DOORS INSTALLED BY THE CUSTOMER ARE REQUIRED TO HAVE APPROVAL OF THE LOCAL AHJ AND LOCAL PERMITTING REQUIREMENTS
 - HVHZ COMPONENTS FOR SHEDS REQUIRE THAT INSTALLATION PER MANUFACTURERS INSTRUCTIONS

APPROVED FOR HVHZ
 FBC 1626.1 EXCEPTION: F. STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET (67 M2) OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE.

CODE INFORMATION	
CODE VERSION	FBC 2020 7th Edition, ASCE-7-16, 2017 NEC
MANUFACTURER	LARK
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V _W =170mph
EXPOSURE	D
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	30PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS			
REV	DESCRIPTION	DATE	BY

Drawn By: MTB
Date: 11-15-20
Scale: NTS
Model#: LB-S-LBE-170D



Matthew T. Baldwin P.E.
 Florida License #64608

Sheet: FBPR-1 OF 7



409 DIXON STREET
 VIDALIA, GEORGIA 30474
 PHONE NUMBER: (912) 538-1888

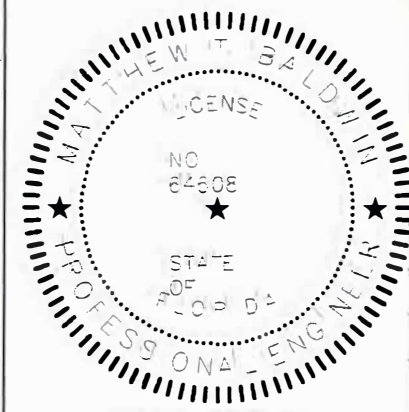
CODE INFORMATION

CODE VERSION	FBC 2020 7th Edition, ASCE-7-16, 2017 NEC
MANUFACTURER	LARK
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V _w = 170 mph
EXPOSURE	D
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 200'x POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS

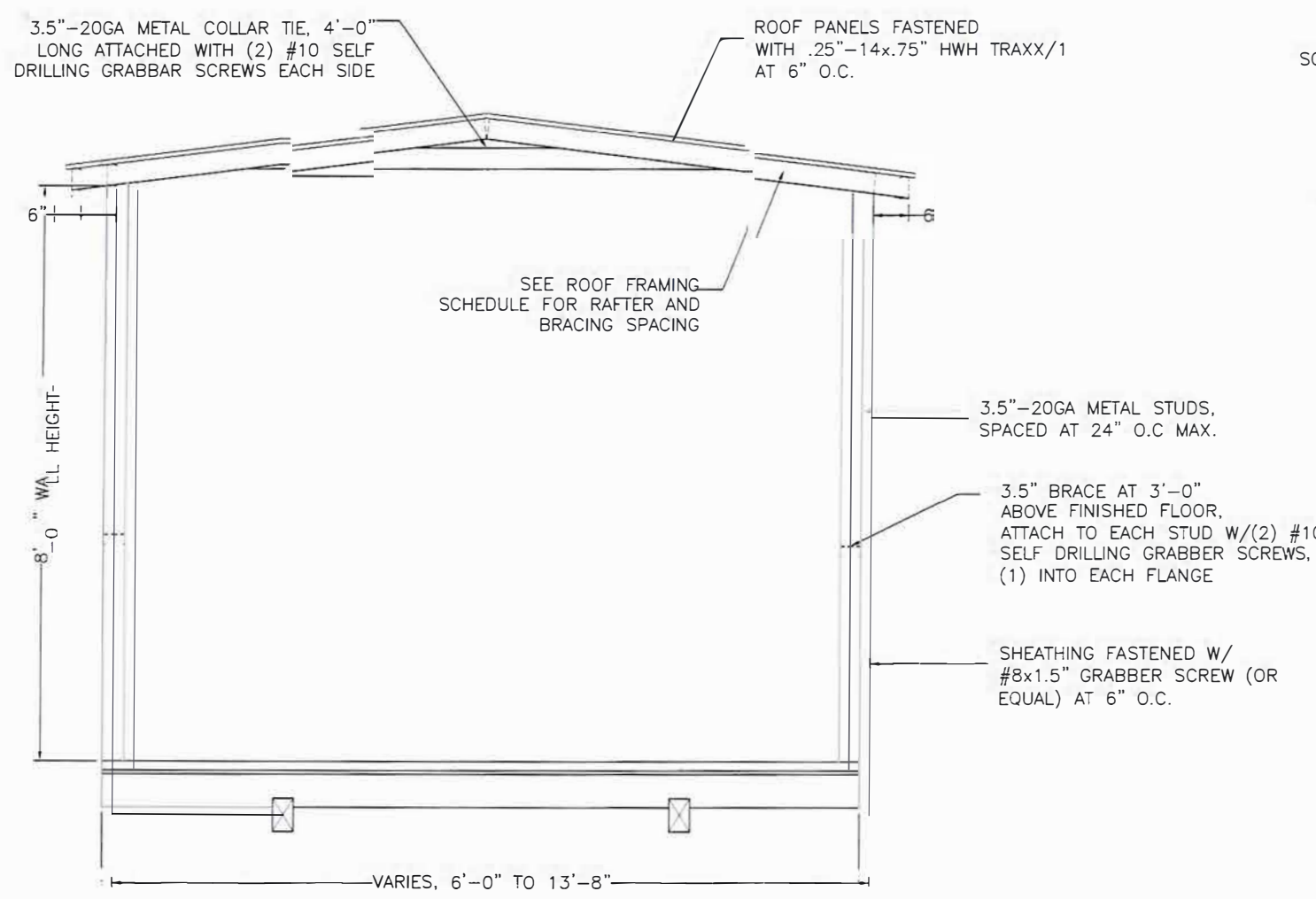
REV	DESCRIPTION	DATE	BY

Drawn By: MTB
 Date: 11-15-20
 Scale: NTS
 Model#: LB-S-LBE-170D

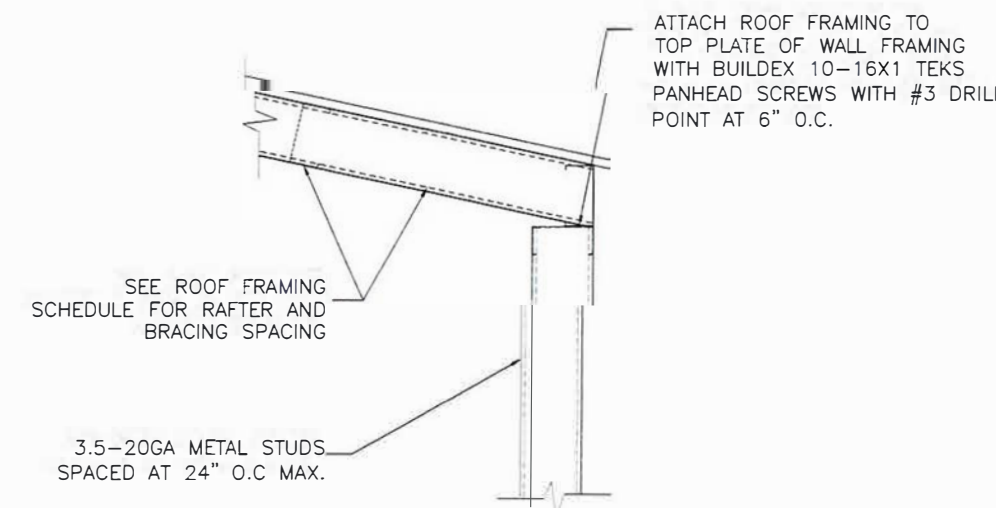


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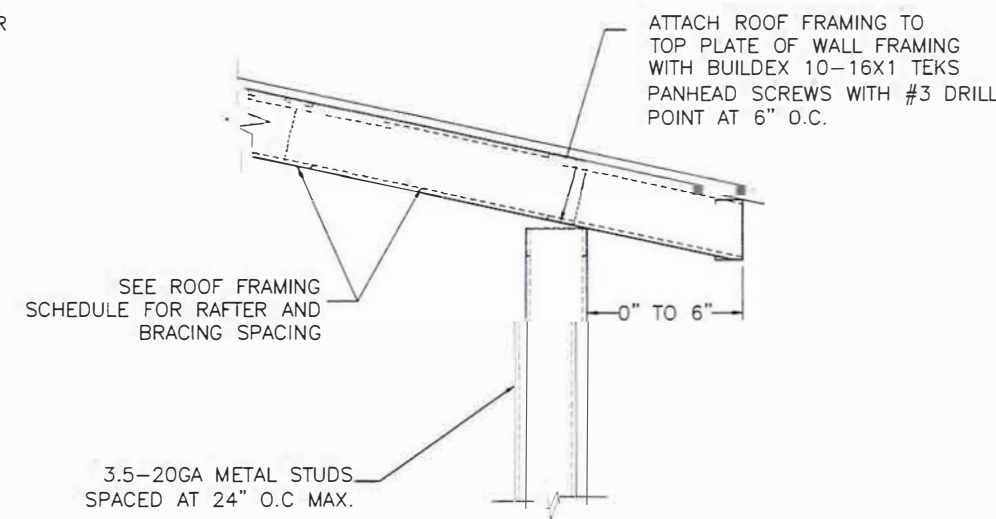
Sheet: FBPR-2 OF 7



FRAME SECTION



OVERHANG OPTION DETAIL



OVERHANG OPTION DETAIL

HVHZ APPROVED

TLE TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS

William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734



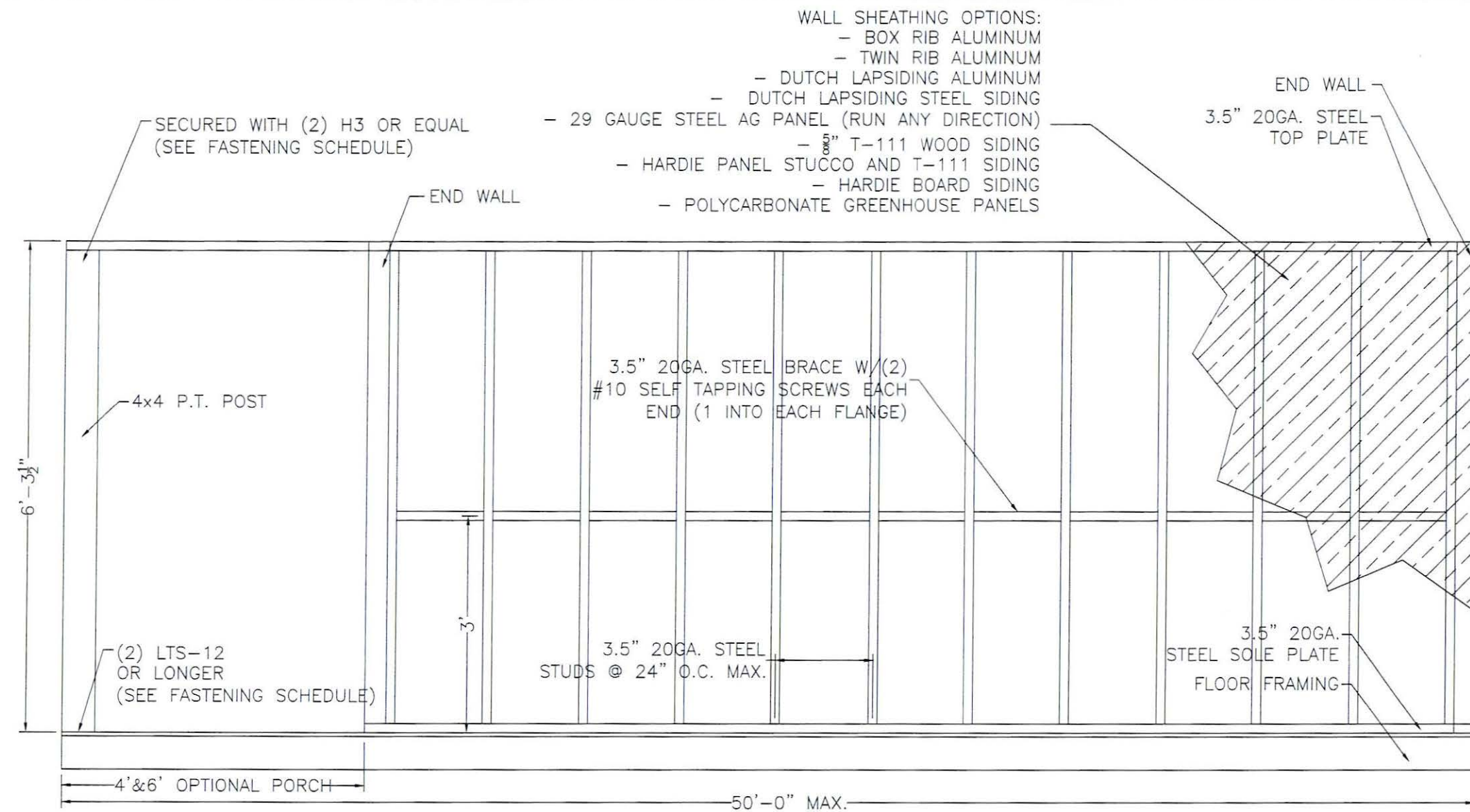
409 DIXON STREET
 VIDALIA, GEORGIA 30474
 PHONE NUMBER: (912) 538-1888

CODE INFORMATION

CODE VERSION	FBC 2020 7th Edition, ASCE-7-16, 2017 NEC
MANUFACTURER	LARK
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V _w =170mph
EXPOSURE	D
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	30PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS

REV	DESCRIPTION	DATE	BY



STANDARD WALL DETAIL

TLE TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS
 William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734

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STRAP & FASTENER SCHEDULE (A)					
RAFTER(B)	PART#/DESC	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER
	H3	320	4-BD	4-BD	--
PORCH	PART#/DESC	UPLIFT	COLUMN FASTENER	RAFTER FASTENER	
	LTS-12	820	6-100X1.5"	6-100X1.5"	
WALL TO FLOOR(C)	PART#/DESC	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	LSTA-18	1,110	7-100	7-100	
HEADER(D)	PART#/DESC	UPLIFT	STUD FASTENER	HEADER FASTENER	
	TP-35	N/R	5-3"x 0.131"	5-3"x 0.131"	
	HP40.41.80.81	4,725	5-3"x 0.131"	5-3"x 0.131"	
TIE-DOWNS	PART#/DESC	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	20GA 1 1/2" WIDE	4,725	7-100X1.5"	--	
	5/8"x 30" ANCHOR	4,300	--	--	

A. ALL STRAPS CAN BE SUBSTITUTED WITH AN EQUIVALENT BRAND MEETING SAME STRENGTHS
 B. RAFTER TIES TO STUD WALL TO BE AT EVERY CONNECTION FOR 24" O.C. & CAN BE EVERY OTHER FOR 16" O.C. BUT IS REQUIRED ON CORNERS AND STUDS ADJACENT TO CORNERS
 C. ONLY NEEDED ON ALUMINUM & VINYL SHEATHING WALLS
 D. HEADERS OVER 6' SPAN

STRAP & SIMPSON STRONG-DRIVE® SD SCREW SCHEDULE					
RAFTER	PART#/DESC	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER
	H3	320	4-SD9X1.5"	4-SD9X1.5"	--
PORCH	PART#/DESC	UPLIFT	COLUMN FASTENER	RAFTER FASTENER	
	LTS-12	885	6-SD9X1.5"	6-SD9X1.5"	
WALL TO FLOOR(A)	PART#/DESC	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	LSTA-18	1,235	7-SD9X1.5"	7-SD9X1.5"	
TIE-DOWNS	PART#/DESC	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	20GA 1 1/2" WIDE	4,725	7-SD9X1.5"	--	
	5/8"x 30" ANCHOR	4,300	--	--	

A. ONLY NEEDED ON ALUMINUM SHEATHING WALLS
 B. HEADERS OVER 6' SPAN

Drawn By: MTB
 Date: 11-15-20
 Scale: NTS
 Model#: LB-S-LBE-170D

MATTHEW T. BALDWIN
 LICENSE
 NO. 64608
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

Matthew T. Baldwin P.E.
 Florida License #64608

Sheet: FBPR-3 OF 7



409 DIXON STREET
VIDALIA, GEORGIA 30474
PHONE NUMBER: (912) 538-1888

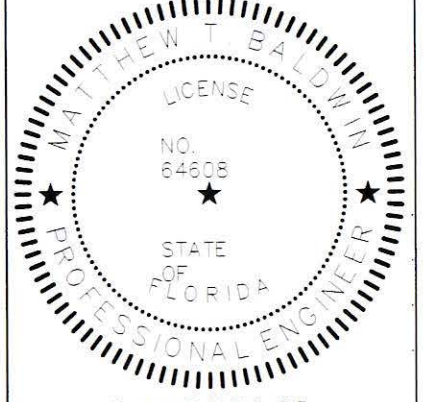
CODE INFORMATION

CODE VERSION	FBC 2020 7th Edition, ASCE-7-16, 2017 NEC
MANUFACTURER	LARK
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V_w -170mph
EXPOSURE	0
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	30PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS

REV	DESCRIPTION	DATE	BY

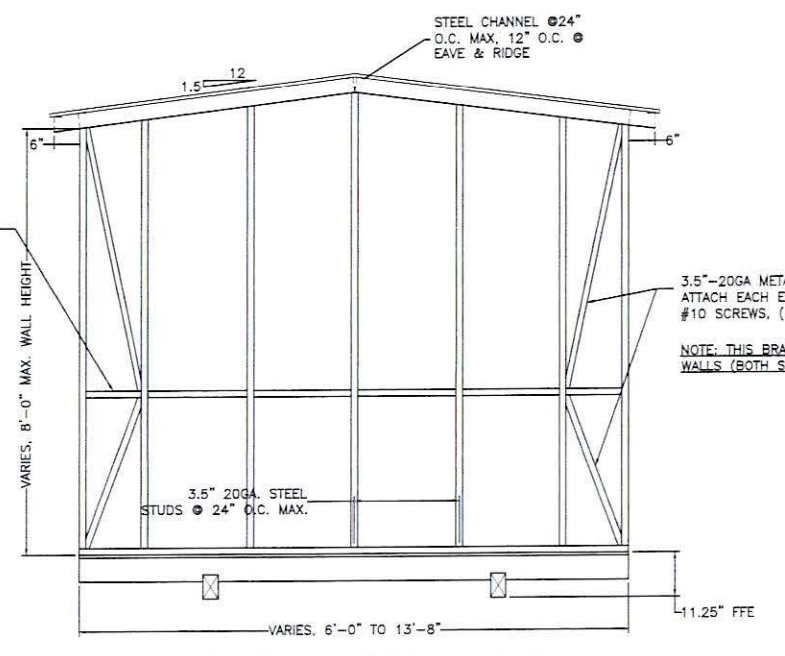
Drawn By: MTB
Date: 11-15-20
Scale: NTS
Model#: LB-S-LBE-170D



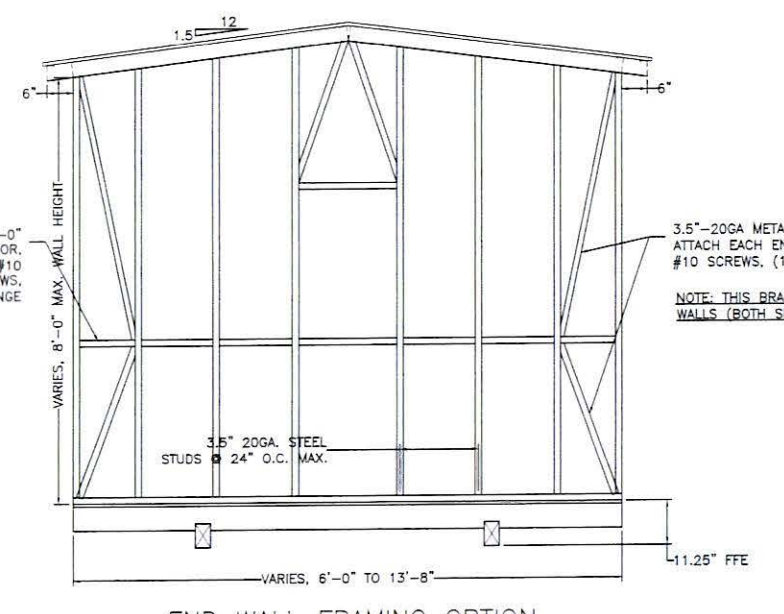
Matthew T. Baldwin P.E.
Florida License #64608

Sheet: FBPR-4 OF 7

TITLE: END WALL-STEEL LAP/BOX EAVE

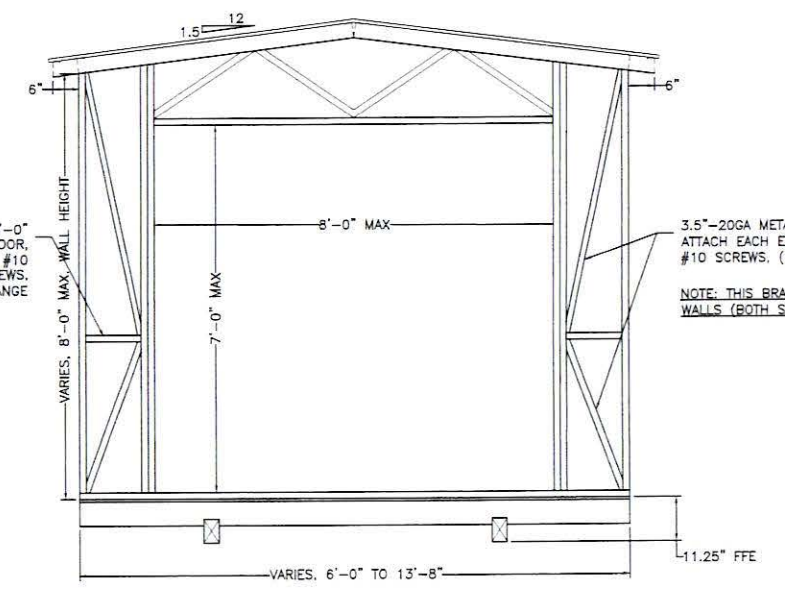


END WALL FRAMING OPTION

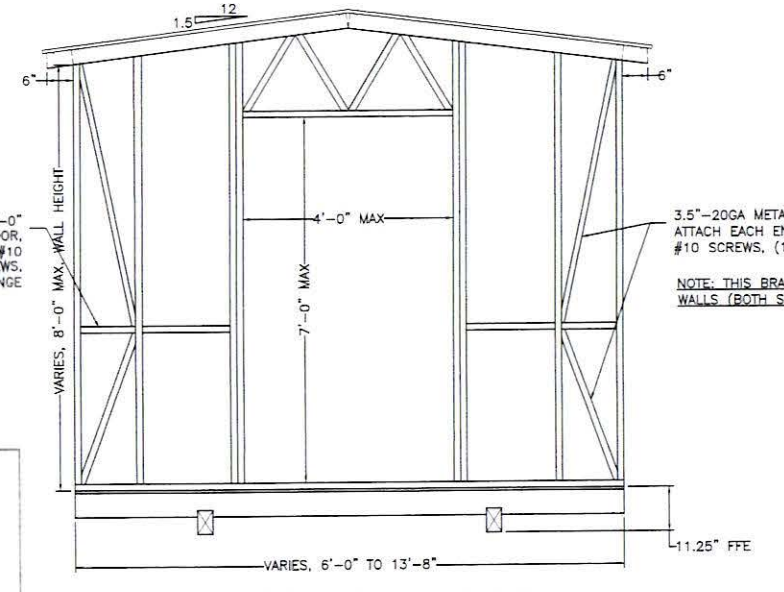


END WALL FRAMING OPTION

WALL OPENING FOR SIDE WALLS ARE TO BE FRAMED SIMILAR TO THOSE SHOWN HERE FOR END WALLS



END WALL FRAMING OPTION



END WALL FRAMING OPTION

TLE TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS
William E. Neary, III
SMP-51, SMI-79, ICC 5185040
10649 Oakview Pointe Terrace
Gotha, Florida 34734

HVHZ APPROVED



409 DIXON STREET
VIDALIA, GEORGIA 30474

PHONE NUMBER: (912) 538-1888

TLE TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS
William E. Neary, III
SMP-51, SMI-79, ICC 5185040
10649 Oakview Pointe Terrace
Gotha, Florida 34734

HVHZ APPROVED

SKID RUNNER SPACING* UNDER 30' LENGTH		
SHED WIDTH	A	B
6'-0"	15"	42"
8'-0"	18"	60"
10'-0"	18"	84"
11'-0"	24"	84"
11'-8"	28"	84"
13'-0"	36"	84"
13'-8"	40"	84"

*VALUES ARE FROM END OF JOIST TO CENTERS OF SKIDS ONLY.

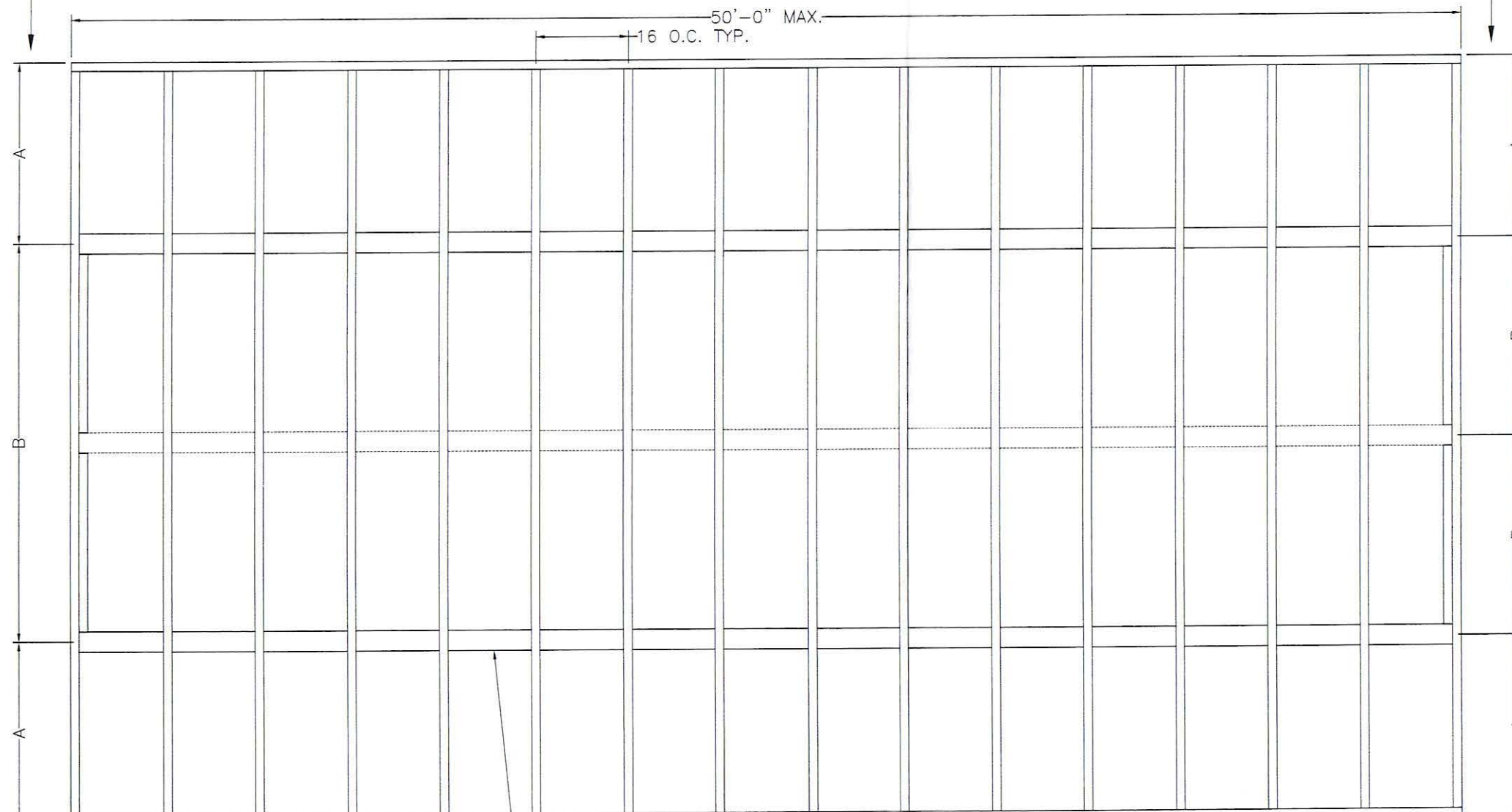
WIDTH	JOIST SIZE*
6'-0"	2"x4"
6'-1" TO 11'-8"	2"x6"
> 11'-8"	2"x8"

*NOTE: JOISTS CAN BE EITHER #2 S.Y.P. OR 18 GAGE STEEL CHANNELS. THE STEEL CHANNEL ACTUAL DIMENSIONS MATCH THE WOOD ACTUAL DIMENSIONS AND ARE INTERCHANGEABLE.

*FLOOR SHEATHING SECURED WITH 2 $\frac{3}{8}$ "X0.113" NAIL (OR EQUAL)
@ 6" O.C. MAX EDGE AND FIELD

SKID RUNNER SPACING* 30' LENGTH AND GREATER		
SHED WIDTH	A	B
6'-0"	12"	24"
8'-0"	16"	32"
10'-0"	20"	40"
11'-0"	22"	44"
11'-8"	24"	46"
13'-0"	26"	52"
13'-8"	28"	56"

*VALUES ARE FROM END OF JOIST TO CENTERS OF SKIDS ONLY.



P.T SIDE RAIL TO MATCH JOIST SIZE, SEE FRAMING SCHEDULE FOR SIZES

P.T 4x6 S.Y.P #2 OR (2) P.T. 2x6 S.Y.P. #2 SKIDS

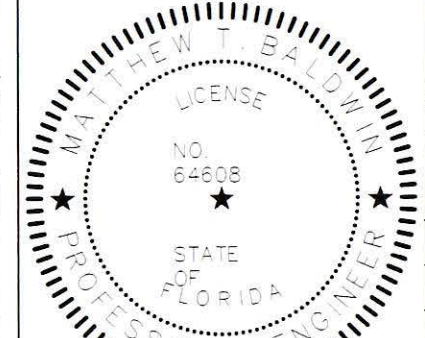
4'-0" OR 6'-0" OPTIONAL PORCH

2 & 3 SKID FLOOR FRAMING PLAN

CODE INFORMATION	
CODE VERSION	FBC 2020 7th Edition, ASCE-7-16, 2017 NEC
MANUFACTURER	LARK
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	Via-170mph
EXPOSURE	D
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	30PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS			
REV	DESCRIPTION	DATE	BY

Drawn By: MTB
Date: 11-15-20
Scale: NTS
Model#: LB-S-LBE-170D



Matthew T. Baldwin P.E.
Florida License #64608

TITLE: FLOOR LAYOUT-STEEL LAP/BOX EAVE

Sheet: FBPR-5 OF 7



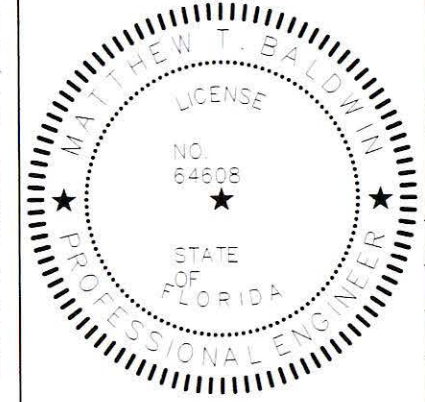
409 DIXON STREET
 VIDALIA, GEORGIA 30474
 PHONE NUMBER: (912) 538-1888

CODE INFORMATION

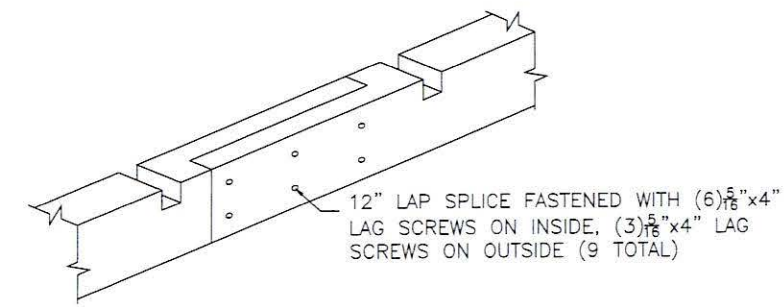
CODE VERSION	FBC 2020 7th Edition, ASCE-7-16, 2017 NEC
MANUFACTURER	LARK
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V _W =170mph
EXPOSURE	D
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	30PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS			
REV	DESCRIPTION	DATE	BY

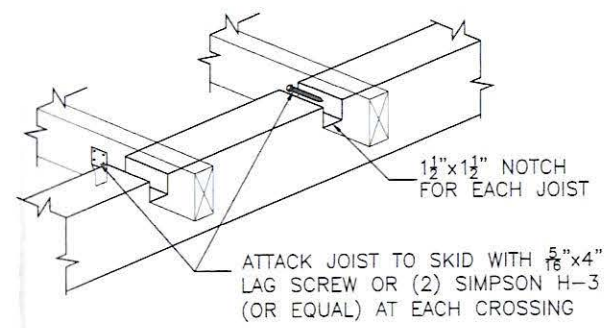
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Date:	11-15-20
Scale:	NTS
Model#:	LB-S-LBE-170D



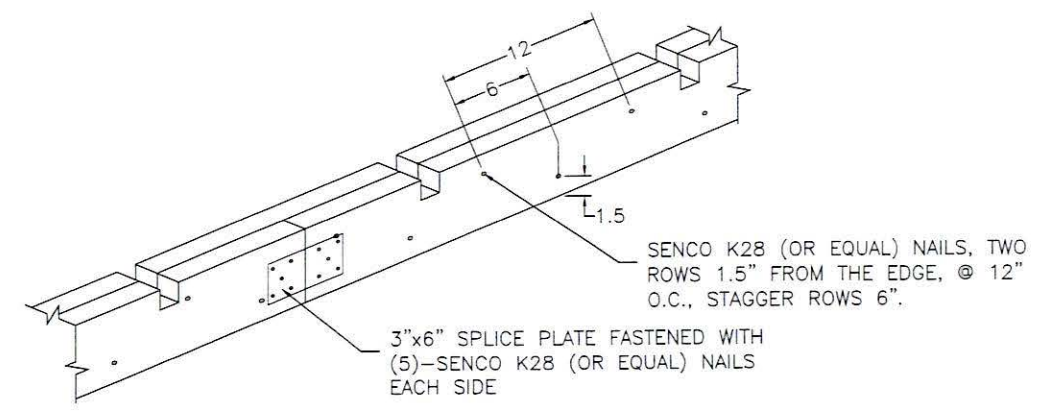
Matthew T. Baldwin P.E.
 Florida License #64608
 Sheet: FBPR-6 OF 7



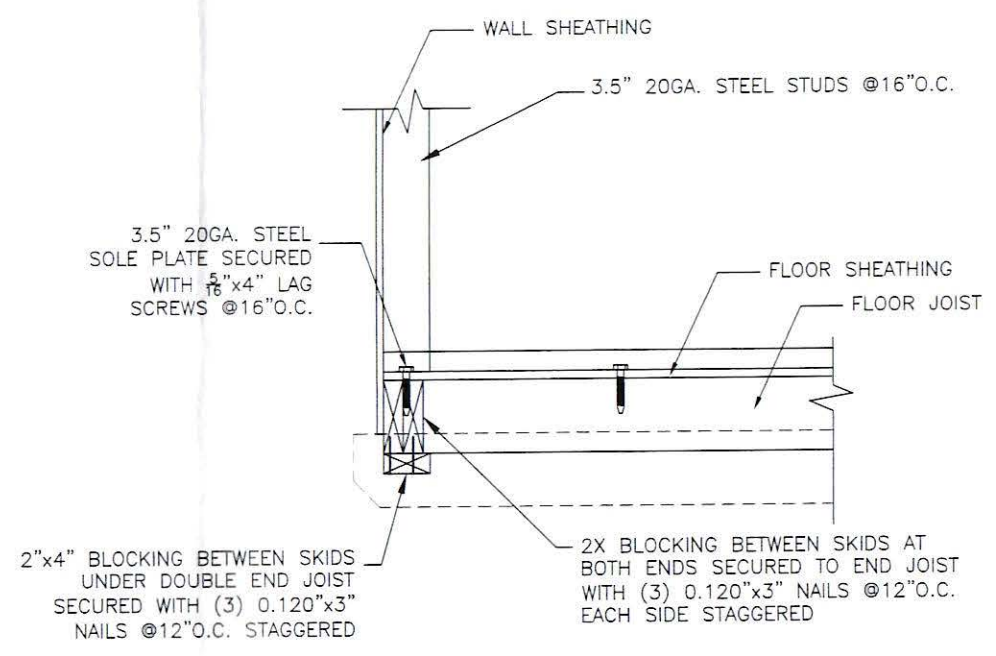
4"x6" P.T. SKID SPLICE



JOIST TO SKID CONNECTION



(2) 2"x6" P.T. SKID SPLICE/SECURING



WALL TO FLOOR CONNECTION DETAIL

HVHZ APPROVED

TLE TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS
 William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734



409 DIXON STREET
 VIDALIA, GEORGIA 30474
 PHONE NUMBER: (912) 538-1888

CODE INFORMATION

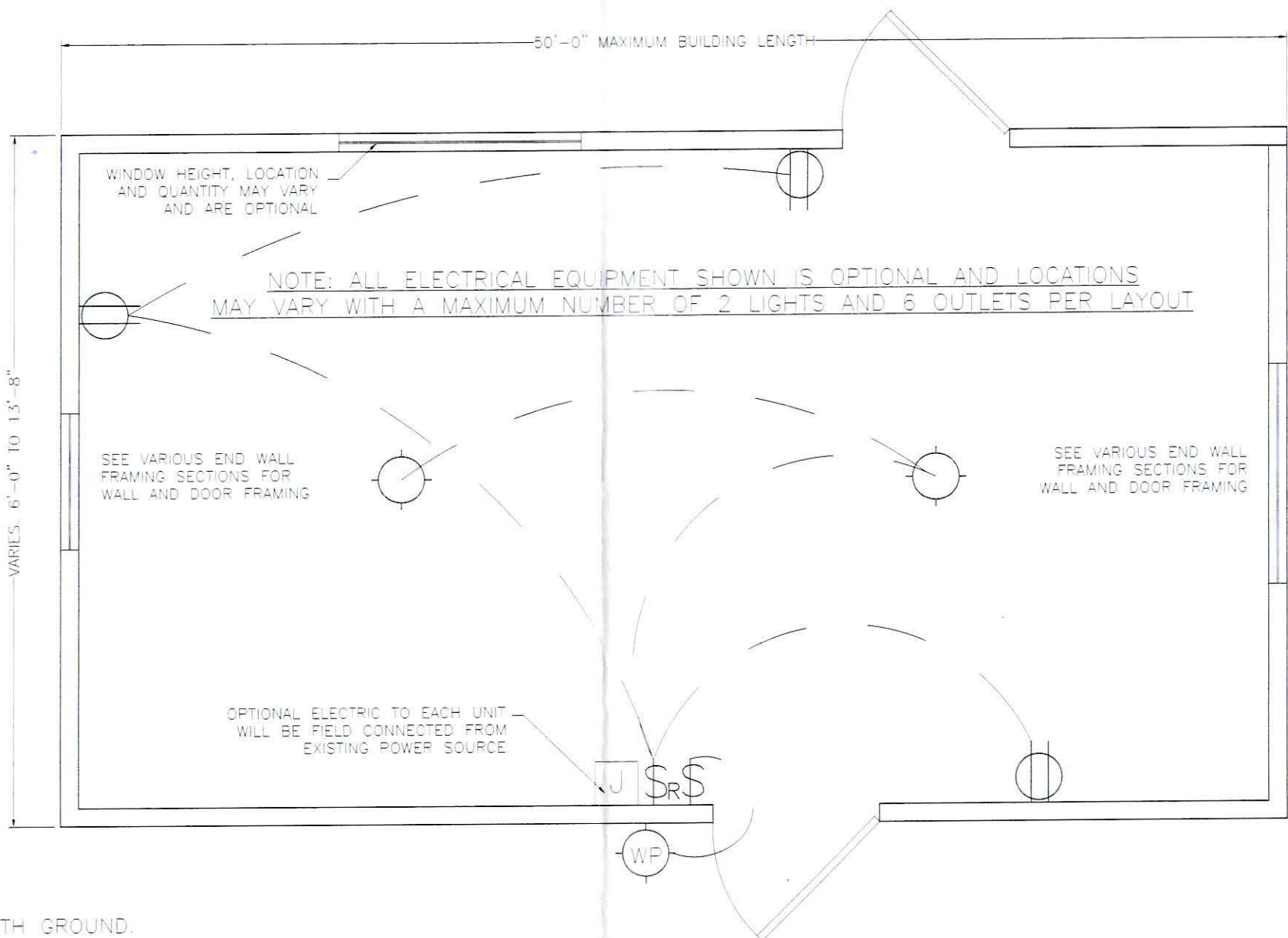
CODE VERSION	FBC 2020 7th Edition, ASCE-7-16, 2017 NEC
MANUFACTURER	LARK
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	V _e = 170mph
EXPOSURE	D
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	30PSF OR 300lb POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	75/125PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS

REV	DESCRIPTION	DATE	BY

ELECTRICAL SYMBOL KEY

	RECEPTACLE
	240V RECEPTACLE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	CEILING MOUNT LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE
	JUNCTION BOX



ELECTRICAL NOTES:

1. ALL WIRE TO BE #12 THHN SOLID COPPER WITH GROUND.
2. FIXTURE LOCATION AND TYPE MAY VARY
3. PLASTIC OR METAL "NEW WORK" OUTLET BOXES
4. 20A GFCI OUTLETS
5. ALL RECEPTACLES TO BE AT 12"-16" A.F.G.; MAXIMUM 8 RECEPTACLES.
6. ALL SWITCHES TO BE AT 48"-52" A.F.G.
7. FLUORESCENT & LED LIGHTS MAY SUBSTITUTE FOR INCANDESCENT LIGHTING
8. ALL OUTLETS TO BE GFCI
9. THE MAIN ELECTRICAL PANEL, FEEDERS, POWER HOOKUP TO UNIT (INCLUDING ALL DISCONNECTS, OVER CURRENT DEVICES, PANELS, GROUNDING, ETC.) IS DESIGNED BY OTHERS, SITE INSTALLED, AND SUBJECT TO LOCAL APPROVAL.

RMT- RIGID METALLIC TUBING

358.30 SECURING AND SUPPORTING. EMT SHALL BE INSTALLED AS A COMPLETE SYSTEM IN ACCORDANCE WITH 300.18 AND SHALL BE SECURELY FASTENED IN PLACE AND SUPPORTED IN ACCORDANCE WITH 358.30 (A) AND (B). (A) SECURELY FASTENED. EMT SHALL BE SECURELY FASTENED IN PLACE AT LEAST EVERY (10FT). IN ADDITION, EACH EMT RUN BETWEEN TERMINATION POINTS SHALL BE SECURELY FASTENED WITHIN (3 FT) OF EACH OUTLET BOX, JUNCTION BOX, DEVICE BOX, CABINET, CONDUIT BODY, OR OTHER TUBING TERMINATION. EXCEPTION NO. 1: FASTENING OF UNBROKEN LENGTHS SHALL BE PERMITTED TO BE INCREASED TO A DISTANCE OF (5 FT.) WHERE STRUCTURAL MEMBERS DO NOT READILY PERMIT FASTENING WITHIN (3 FT).

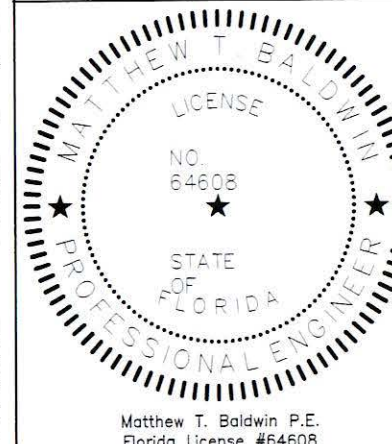
TLE TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS

William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734

HVHZ APPROVED

TITLE: ELECTRICAL - STEEL LAP/BOX EAVE

Drawn By:	MTB
Date:	11-15-20
Scale:	NTS
Model#:	LB-S-LBE-170D



Sheet: FBPR-7 OF 7



CODE INFORMATION

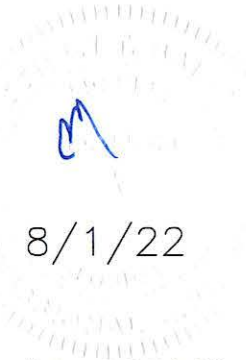
CODE VERSION	FBC 2020 7th Edition ASCE-7-16
MANUFACTURER	LARK BUILDERS
BUILDING TYPE	MANUFACTURED BUILDING RESIDENTIAL LAWN STORAGE
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY
ALLOWABLE NUMBER OF STORIES	1
BASIC WIND SPEED	Va=120/140/170mph
EXPOSURE	D
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	30PSF OR 300LB POINT LOAD
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	50PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	719 SQ.FT. OR LESS

REVISIONS

REV	DESCRIPTION	DATE	BY
1	2020 FBC	12/31/20	MTB
2	CHAIN ANCHOR	4/5/22	MTB
3	3" GROUND ANCHOR	8/1/22	MTB

Drawn By:	MTB
Date:	4/3/18
Scale:	N/A
Model#:	LARK BUILDERS

TITLE: MASTER ANCHORING PLAN



Matthew T. Baldwin P.E.
Florida License #64608

Sheet: AP-1 OF 1

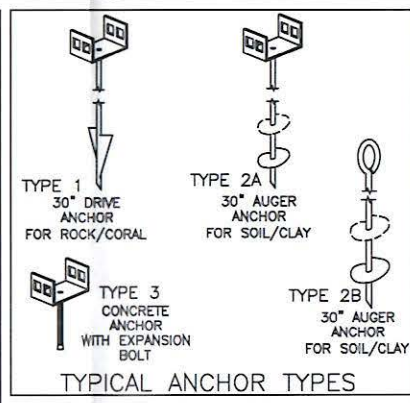


TABLE 2A - 170D
30" AUGER ANCHOR SPACING

SHED WIDTH	MAXIMUM ANCHOR SPACING
UP TO 16'-0"	10'-0"
16'-1" TO 20'-0"	8'-0"
20'-1" TO 24'-0"	6'-0"

TABLE 2C - 120C
30" AUGER ANCHOR SPACING

SHED WIDTH	MAXIMUM ANCHOR SPACING
UP TO 24'-0"	10'-0"

TABLE 1A - 120C
ANCHORING TO CONCRETE

SHED WIDTH	MAXIMUM ANCHOR SPACING
24'-0"	6'-0"
20'-0"	7'-0"
16'-0"	7'-6"
14'-0"	8'-0"
12'-0"	9'-6"
10'-0"	10'-6"
8'-0"	12'-0"
6'-0"	12'-0"

TABLE 1B - 140C
ANCHORING TO CONCRETE

SHED WIDTH	MAXIMUM ANCHOR SPACING
24'-0"	4'-0"
20'-0"	5'-0"
16'-0"	5'-6"
14'-0"	6'-0"
12'-0"	7'-6"
10'-0"	8'-6"
8'-0"	12'-0"
6'-0"	12'-0"

TABLE 1C-170D
ANCHORING TO CONCRETE

SHED WIDTH	MAXIMUM ANCHOR SPACING
24'-0"	3'-6"
20'-0"	4'-0"
16'-0"	5'-0"
14'-0"	5'-6"
12'-0"	7'-0"
10'-0"	8'-0"
8'-0"	10'-0"
6'-0"	12'-0"

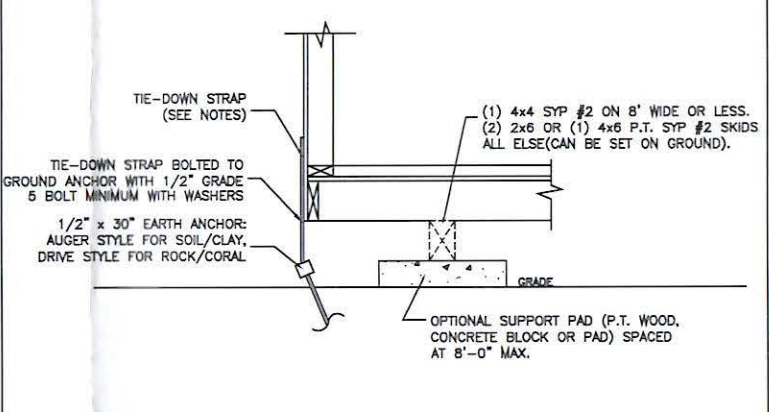
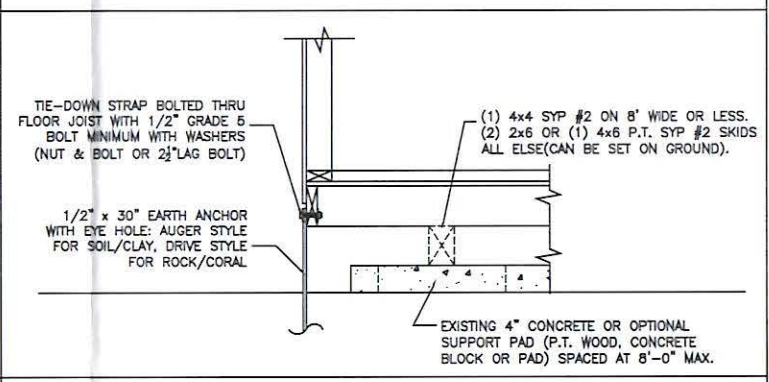
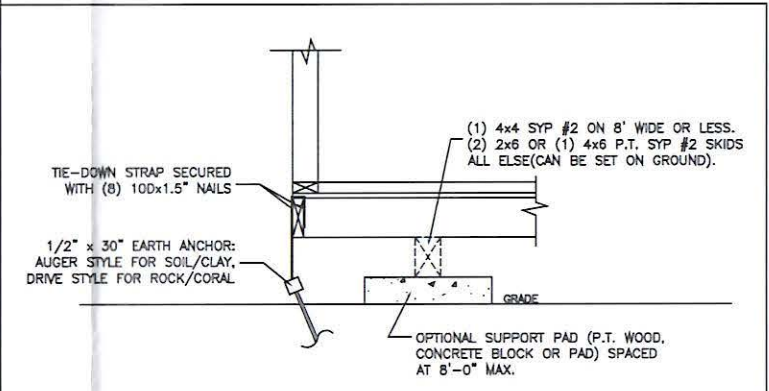
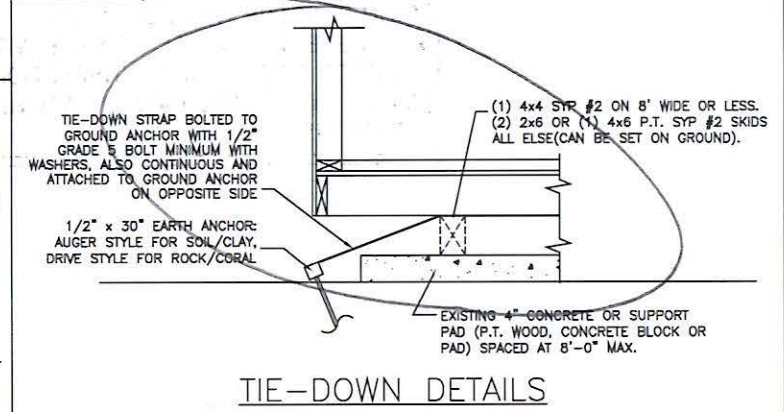
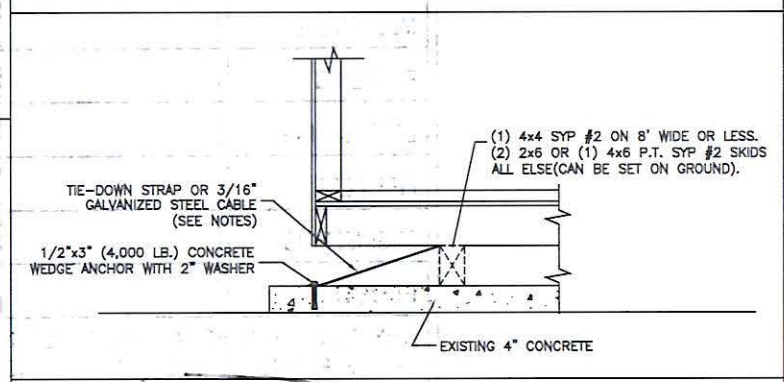
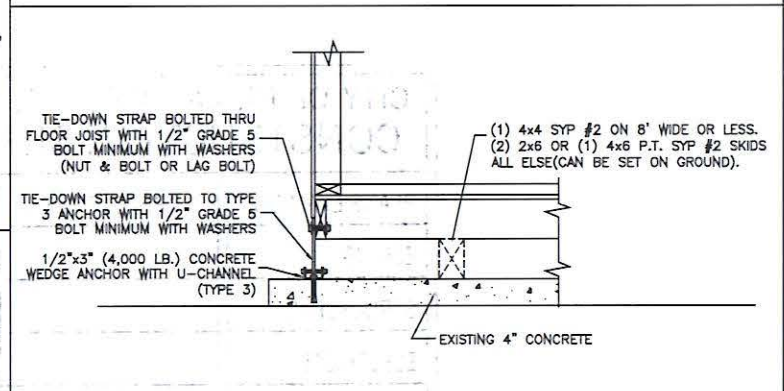
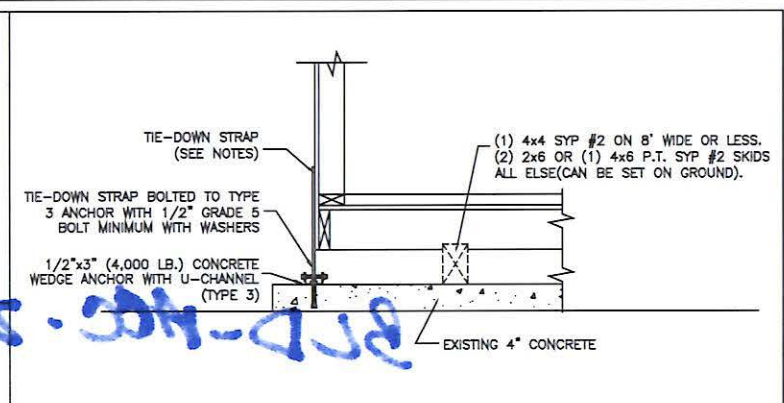
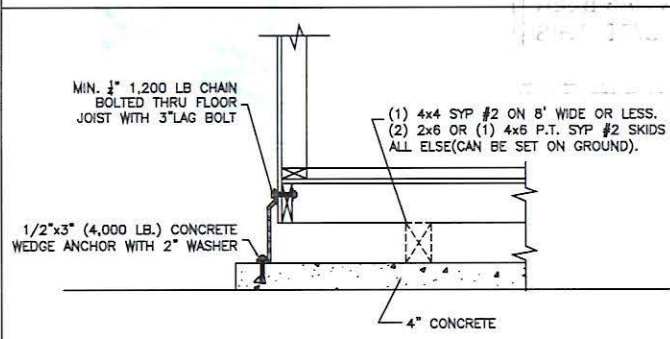
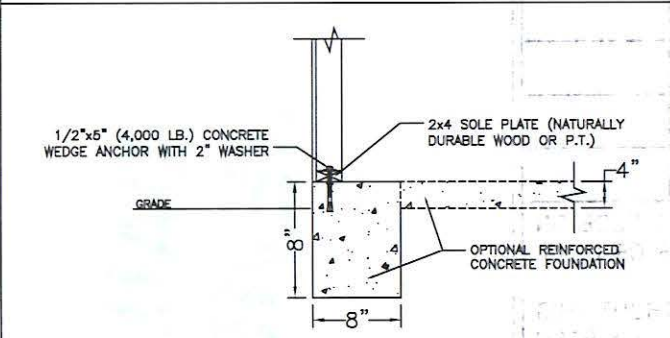
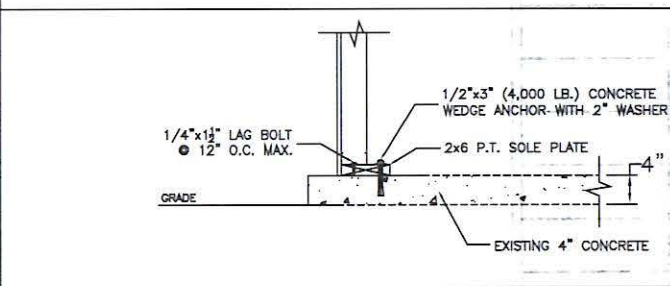
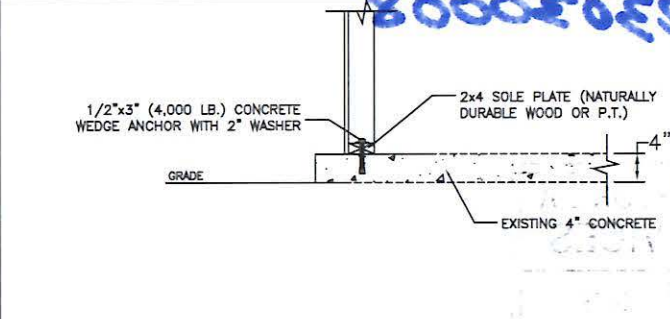
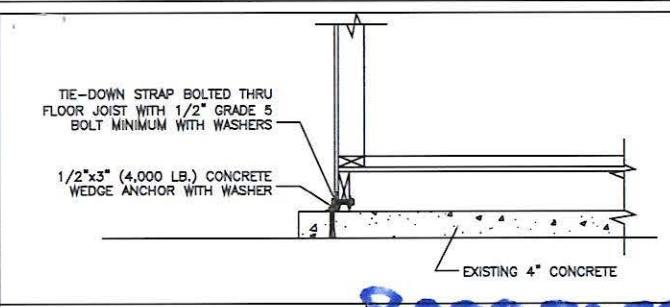


TABLE 2B - 140C
30" AUGER ANCHOR SPACING

SHED WIDTH	MAXIMUM ANCHOR SPACING
UP TO 16'-0"	10'-0"
16'-1" TO 24'-0"	8'-0"



TIE-DOWN DETAILS



- TIE-DOWN NOTES:
- ANCHOR SPACING IS DESIGNED AS PER ASCE-7.
 - ALL MEASUREMENTS ARE CENTER-TO-CENTER.
 - TIE-DOWN STRAPS TO BE MINIMUM 1-1/2" x 0.035" GALVANIZED STEEL, FEDERAL SPECIFICATIONS QQS-781-H, TYPE-1, FINISH-B, GRADE-1. TIE-DOWN STRAPS OR CABLE AND CONNECTING HARDWARE TO HAVE 4,725 LB. MINIMUM ULTIMATE CAPACITY (3,150 LB. x 1.5).
 - ALL EARTH ANCHORS SHALL HAVE A MINIMUM 4,300 LB. CAPACITY.
 - EARTH ANCHORS LOCATED AT EACH CORNER, MAXIMUM 16' FROM END (4 MINIMUM PER BUILDING), AND SPACED AS PER TABLE 2A,B,C DEPENDING ON SHED WIDTH, WIND SPEED, AND EXPOSURE. ANCHORS NOT NEEDED ON ENDS.
 - CONCRETE ANCHORS TO BE SPACED AS PER TABLE 1A,B,C DEPENDING ON SHED WIDTH, WIND SPEED, AND EXPOSURE.
 - CONCRETE ANCHORS TO HAVE A MINIMUM OF 4" COVER (DISTANCE FROM ANCHOR TO EDGE OF CONCRETE).
 - MINIMUM SOIL BEARING CAPACITY IS 2,000 PSF (TYP.)
 - EARTH ANCHORS AND CONCRETE ANCHORS MAY BE USED IN CONJUNCTION PROVIDED THAT THE SAME MAXIMUM SPACING IS FOLLOWED FOR EACH ANCHOR TYPE.
 - CONCRETE BLOCKS CAN BE OPTIONALLY CAPPED WITH APPROVED ABS CAP BOARDS (OLIVER TECHNOLOGIES, INC. MODEL#OTICB1, OTICB2 OR EQUIVALENT)
 - HOLLOW OR SOLID CONCRETE BLOCKS (8"x8"x16") MAY BE STACKED ON PADS FOR HIGH SETS UP TO 48" WITHOUT REINFORCING.
 - THE SHED WIDTH IS THE TRUSS WIDTH(GABLE END). THE SHED LENGTH IS DICTATED BY THE NUMBER OF TRUSSES.



Jul 26, 2023 12:50:11 PM
346° N
2825 Southwest 13th Court
Fort Lauderdale
Broward County
Florida



Jul 26, 2023 12:48:22 PM
11° N

2825 Southwest 18th Court
Fort Lauderdale
Broward County
Florida



Jul 26, 2023 12:50:34 PM
274° W
1299 Southwest 28th Avenue
Fort Lauderdale
Broward County
Florida



Map data ©2023 , Map data ©2023 20 ft



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Photos



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