



## BOARD OF ADJUSTMENT MEETING NOTICE

September 21, 2023

A Public Hearing will be held before the Board of Adjustment on: October 11, 2023 at 6:00 P.M.

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19<sup>th</sup> Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA)

---

CASE:	PLN-BOA-23080004
OWNER:	2500 RIVERLAND LLC
AGENT:	NICOLLE DELGADO
ADDRESS:	2500 RIVERLAND RD, FORT LAUDERDALE, FL 333124411
LEGAL DESCRIPTION:	LOT 7, PALM GROVE ACRES, ACORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA (SEE SURVEY)
ZONING DISTRICT:	RS-3.52 - IRREGULAR RESIDENTIAL
COMMISSION DISTRICT:	4
REQUESTING:	<u>Sec. 47-39. A.6.D. - Height.</u>

- Requesting a variance to allow a new single-family residence to have a maximum height of 29 feet, whereas the code allows a maximum height of 20 feet (2 Stories) as measured from the finish floor at the exterior elevation. A total variance request of 9 feet.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA> OR [www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK  
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

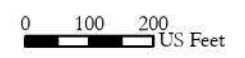
**NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.**



PLN-BOA-23080004

**LEGEND**

-  Municipal Boundary
-  Subject Site





CITY OF FORT LAUDERDALE  
**PUBLIC NOTICE**

# BOARD OF ADJUSTMENT MEETING

DATE: OCTOBER 11, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23080004

Requesting: Sec. 47-39. A.6.D.- Height.

- Requesting a variance to allow a new single-family residence to have a maximum height of 29 feet, whereas the code allows a maximum height of 20 feet (2 Stories) as measured from the finish floor at the exterior elevation. A total variance request of 9 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT  
700 N.W. 19<sup>TH</sup> AVENUE (LOBBY)  
FORT LAUDERDALE, FL., 33311  
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:  
<https://www.fortlauderdale.gov/government/BOA>  
[www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)



*This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.*

*In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a*





Page 4: Sign Notification Requirements and Affidavit

**SIGN NOTICE**

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

**AFFIDAVIT OF POSTING SIGNS**

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA 23080004

APPLICANT: 2500 Riverland, LLC

PROPERTY: 2500 Riverland Rd. Fort Lauderdale, FL

PUBLIC HEARING DATE: 10-01<sup>st</sup> - 2023

BEFORE ME, the undersigned authority, personally appeared Nicolle Delgado who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. \_\_\_\_\_ (initial here)

[Signature]  
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 27 day of September, 2023

(SEAL)



[Signature]  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 06/25/2025









**PUBLIC NOTICE**

**BOARD OF ADJUSTMENT MEETING**

DATE: 02/26/2024 TIME: 6:00 PM LOCATION: 1000 W. PALM BLVD. SUITE 100

FOR MORE INFORMATION, PLEASE CONTACT THE BOARD OF ADJUSTMENT AT (813) 271-1111.

NOTICE: The Board of Adjustment will hold a public hearing on the proposed rezoning of the property located at 1000 W. Palm Blvd. Suite 100, City of Orlando, Florida. The hearing will be held on the date and time listed above. The Board of Adjustment will consider the proposed rezoning and make a recommendation to the City Council. The public is invited to attend the hearing and provide input on the proposed rezoning. For more information, please contact the Board of Adjustment at (813) 271-1111.



 **PUBLIC NOTICE**

**BOARD OF ADJUSTMENT MEETING**

DATE: OCTOBER 11, 2023      TIME: 6:00 P.M.      CASE: PLN-BOA-23080004

Requesting: Sec. 47.39 A & D - Height

Requesting a variance to allow a new single family residence to have a maximum height of 23 feet, whereas the code allows a maximum height of 20 feet (2 stories) as measured from the finish floor of the exterior elevation. A total variance request of 3 feet.

For more information, please contact the Planning Department at (805) 251-2200 or visit the City of Palmdale website at [www.cityofpalmdale.com](http://www.cityofpalmdale.com).

This document is available for review at the City of Palmdale, Planning Department, 1000 West Palmdale Blvd., Palmdale, CA 93550.







**PUBLIC NOTICE**  
**BOARD OF ADJUSTMENT MEETING**  
The Board of Adjustment will hold a public hearing on the following applications for a variance on the following property on the following date, time and location:

Application No. 2024-0001  
Property: 12345 Main St, City, State, Zip  
Date: [Date]  
Time: [Time]  
Location: [Location]





**PUBLIC NOTICE**

**BOARD OF ADJUSTMENT MEETING**

DATE: OCTOBER 11, 2022      TIME: 9:00 P.M.      CASE: EDR 20A-23260076

Requesting: Lot 42-39 & 40 - Haight

Requesting a variance to allow a new single-family residence to have a driveway length of 29 feet, whereas the code allows a maximum height of 26 feet (2' variance) as requested by the health care at the exterior driveway. A 1200' variance required.

For more information, please contact the Planning Department at 313.381.2200 or visit our website at www.ci.haight.ca.gov. The Board of Adjustment meets on the second Tuesday of each month at 9:00 P.M. in the Board Room, 313.381.2200.



**BOA CASE # PLN-B0A-23080004**

Sec. 47-39. A.6.D.- Height.

*Height.* No building or structure, or part thereof, shall be erected or altered to exceed the maximum height of two (2) stories: scenery lofts, towers, cupolas, steeples and domes, not exceeding in gross area, at a maximum horizontal section, thirty (30) percent of the roof area, and flag poles, airplane beacons, broadcasting towers, antenna, chimneys, stacks, tanks and roof structures used for ornamental or mechanical purposes, may exceed the permissible height limit in any district by not more than twenty-five (25) percent. Parapet walls may extend not more than five (5) feet above the allowable height of a building. (Inserted from Broward County Code 39-103 entitled "Exclusions from height limits").



# Record

Menu [Refine Search](#) [New](#) [GIS](#) [Create a Set](#) [View Log](#) [Reports](#) [Help](#) My Filters  Module

Showing 1-22 of 22

<input type="checkbox"/>	<a href="#">Record, Permit, or Account #</a>	<a href="#">Record Description</a>	<a href="#">Application Name</a>	<a href="#">Record Type</a>	<a href="#">Balance</a>	<a href="#">Planner Name</a>	<a href="#">Street #</a>
<input type="checkbox"/>	<a href="#">PLN-BOA-23080004</a>		2500 RIVERLAND	Z- Board of Adjustment (BOA)	0		2500
<input type="checkbox"/>	<a href="#">BLD-RALT-22110102</a>	RENOVATION OF 2 STORY RESIDENCE	2500 Riverland	Residential Alteration Permit	0		2500
<input type="checkbox"/>	<a href="#">CE22100618</a>	GARBAGE PILE IN RESIDENTIAL DRIVEWAY OF 2500 RIV...		Code Case	0	Marco Aguilera	2500
<input type="checkbox"/>	<a href="#">SE21100273</a>			Bulk Trash Case	0	Wanda Acquavella	2500
<input type="checkbox"/>	<a href="#">PM-19011826</a>	TILE REROOF 4300 SQ FT ~ ~ASBESTOS:0000040646 ~ ~NOC	TILE REROOF 4300 SQ FT	Re-Roof Permit	0		2500
<input type="checkbox"/>	<a href="#">PM-18082503</a>	ATF: REPAIR SITE WALL 30 LF ~V: CE18031558	ATF: REPAIR SITE WALL 30 LF	Fence Permit	0		2500
<input type="checkbox"/>	<a href="#">PM-18041858</a>	ATF REPAIR PERIMETER WALL ~	ATF REPAIR PERIMETER WALL	Fence Permit	67.59		2500
<input type="checkbox"/>	<a href="#">CE18031564</a>	EAST SECTION OF THE FENCE IS IN DISARRAY. CMU, BL...	MARINO,ANGELO & ESSLY	Code Case	0		2500
<input type="checkbox"/>	<a href="#">VIO-CE18031564_1</a>	EAST SECTION OF THE FENCE IS IN DISARRAY. CMU	MARINO,ANGELO & ESSLY	Violation-CODE Hearing	0		2500
<input type="checkbox"/>	<a href="#">CE18031558</a>	1)INSTALLANCING A STUCCO LATHING FENCE WALL, WITH...	MARINO,ANGELO & ESSLY	Building Code Case	0		2500
<input type="checkbox"/>	<a href="#">VIO-CE18031558_1</a>	1)INSTALLANCING A STUCCO LATHING FENCE WALL	MARINO,ANGELO & ESSLY	Violation-BLD Hearing	0		2500
<input type="checkbox"/>	<a href="#">CE18010477</a>	THERE IS A WALL IN DISREPAIR AT THIS PROPERTY, WI...	MARINO,ANGELO & ESSLY	Building Code Case	0		2500
<input type="checkbox"/>	<a href="#">VIO-CE18010477_1</a>	THERE IS A WALL IN DISREPAIR AT THIS PROPERTY	MARINO,ANGELO & ESSLY	Violation-BLD Hearing	0		2500
<input type="checkbox"/>	<a href="#">PM-17110680</a>	KITCHEN REMODEL ~NOC ~ ~2/9/18 REV2 B-P-FLOOD ~B...	KITCHEN REMODEL	Residential Alteration Permit	0		2500
<input type="checkbox"/>	<a href="#">PM-17110681</a>	PLUMBING BP 17110680	PLUMBING BP 17110680	Plumbing Fixture Replacement Permit	0		2500
<input type="checkbox"/>	<a href="#">PM-17110683</a>	ELEC BP 17110680	ELEC BP 17110680	Electrical Residential Permit	0		2500
<input type="checkbox"/>	<a href="#">PM-13081266</a>	SEPTIC TO SEWER	SEPTIC TO SEWER	Plumbing Sewer Cap Permit	0		2500
<input type="checkbox"/>	<a href="#">PM-13011135</a>	WIRE AND 6 DOCK LIGHTS	WIRE AND 6 DOCK LIGHTS	Electrical Residential Permit	0		2500
<input type="checkbox"/>	<a href="#">PM-12110428</a>	REPAIR FRAME & RESURFACE	REPAIR FRAME & RESURFACE	Boatlift-Dock-Seawall-Pile Permit	0		2500
<input type="checkbox"/>	<a href="#">PM-12101117</a>	REPLACE 11 PILES AND 375 SF WOOD DECK	REPLACE 11 PILES AND 375 SF ...	Accessory Structure Permit	0		2500
<input type="checkbox"/>	<a href="#">PM-12070211</a>	REPLACE 11 WOOD PILES AND 375 SF WOOD DOCK ~WORK ...	REPLACE 11 WOOD PILES AND 37...	Boatlift-Dock-Seawall-Pile Permit	0		2500
<input type="checkbox"/>	<a href="#">AB-0048801</a>		MARINO ESSLY / ANGELO	Resident/Business Alarm Registration	150		2500

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	Avi Schwab - 2500 Riverland, LLC
Property Owner's Signature	<i>[Signature]</i>
Address City, State, Zip	433 Locust St Denver CO 80220
E-mail Address	AviSchwab@aol.com
Phone Number	320-218-0354
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	Nicole Beltrach
Applicant / Agent's Signature	<i>[Signature]</i>
Address, City, State, Zip	800 SE 4 Ave #142 Hallandale Beach FL 33009
E-mail Address	Solarimpactolutions@gmail.com
Phone Number	305 772 4539
Letter of Consent Submitted	<input checked="" type="checkbox"/>

Development / Project Name	2500 Riverland
Existing / New	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: 2500 Riverland Road Fort Lauderdale FL 33312
Legal Description	Palm Grove Acres 30-38 BLOT 7
Tax ID Folio Numbers (For all parcels in development)	504220080080
Variance Request (Describe)	To increase the height of the house from 20 feet to 29 feet from the top of roof.
Applicable ULDR Sections	Sec 47-39.A.6.D - height

Current Land Use Designation	
Current Zoning Designation	RS-352
Current Use of Property	Single Family - Residential
Site Adjacent to Waterway	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (Indicate direction N, S, E, W)		Required
Front	N	
Side	W	
Side	E	
Rear	S	

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property, and

N/A - See Narrative

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

N/A - See Narrative

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

N/A - See Narrative

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

N/A - See Narrative

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

To increase Roof from 20 feet to 29 feet.

AFFIDAVIT: I, Avi Schurb the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Avi Schurb  
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 6 day of JUNE, 2023

(SEAL)



Nicole Belgado  
Comm.: HH 189955  
Expires: Oct. 21, 2025  
Notary Public - State of Florida

Nicole Belgado  
NOTARY PUBLIC  
MY COMMISSION EXPIRES:





BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 6/02/2023 | Print Date: 0/00/0000  
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I, Avi Schwalb ("Owner") as the current title owner of the real property located at 2500 Riverland Rd Fort Lauderdale FL, do hereby authorize

Nicolas Delgado ("Authorized Agent") to act as my agent regarding the submittal of a variance/special exception application to the City of Fort Lauderdale and appear at any and all scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding all issues related to my pending variance/special exception application. I understand and agree that, as the Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception application, all required hearing appearances related to my variance/special exception application, and any request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form, I understand and agree, the City will mail or deliver all notices relating to my pending variance/special exception application to my property address, as listed on my variance/special exception application. I further understand and agree, the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized Agent's failure to comply with any terms or conditions outlined in my variance/special exception application, and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants, representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person, including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION  
**BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM**

Rev: 0 | Revision Date: 6/02/2023 | Print Date: 0/00/0000  
 I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this Agent Authorization Form. **\*Please provide proof of ownership. If the property is owned by an Corporation Company, please submit proof from Sunbiz.**

WITNESSES:

Nancy Dominguez  
 Witness Signature

Nancy Dominguez  
 Print Name:

[Signature]  
 Witness Signature

Vanessa Esparza  
 Print Name:

[Signature]  
 [Owner's signature]

Ar. Schwalb  
 [Print Owner's name]

STATE OF Co  
 COUNTY OF Arapahoe

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 8 day of August, 2023, by Ar. Schwalb an individual.

[SEAL]

[Signature]  
 (Signature of Notary Public- State of Florida)

**SARA ZAMANI**  
**NOTARY PUBLIC**  
**STATE OF COLORADO**  
 NOTARY ID 202110001200  
 MY COMMISSION EXPIRES 12/30/2025  
 (Print Name of Notary Public)



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
2500 RIVERLAND, LLC

### Filing Information

<b>Document Number</b>	L22000076724
<b>FEI/EIN Number</b>	NONE
<b>Date Filed</b>	02/23/2022
<b>State</b>	FL
<b>Status</b>	ACTIVE

### Principal Address

433 LOCUST ST  
DENVER, CO 80220

### Mailing Address

433 LOCUST ST  
DENVER, CO 80220

### Registered Agent Name & Address

FELDMAN, ESQ, PAUL  
2750 NE 185TH ST STE 203  
AVENTURA, FL 33180

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

SCHWALB, AVI  
433 LOCUST ST  
DENVER, CO 80220

### Annual Reports

**No Annual Reports Filed**

### Document Images

[02/23/2022 -- Florida Limited Liability](#)

[View image in PDF format](#)





Prepared by and return to:  
**Paul Feldman**  
Esquire  
**Paul Feldman, P.A.**  
2750 NE 185th Street # 203  
Aventura, FL 33180  
305-931-0433  
File Number: 22-166  
Will Call No.:



Parcel Identification No. **504220-08-0080**

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

**This Indenture** made this **29th** day of **March, 2022** between **Angelo Marino and Essly Marino, husband and wife** whose post office address is **11095 Shady Lake Run, Fort Myers, FL 33913** of the County of **Lee**, State of **Florida**, grantor\*, and **2500 Riverland, LLC, a Florida limited liability company** whose post office address is **433 Locust Street, Denver, CO 80220** of the County of **Denver**, State of **Colorado**, grantee\*,

**Witnesseth** that said grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Broward County, Florida**, to-wit:

**Lot 7, PALM GROVE ACRES, according to the map or plat thereof, as recorded in Plat Book 30, Page(s) 38, of the Public Records of Broward County, Florida.**

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Leah Brown  
Witness Name: Leah Brown

[Signature]  
Witness Name: Crissy E Rodriguez

Leah Brown  
Witness Name: Leah Brown

[Signature]  
Witness Name: Crissy E Rodriguez

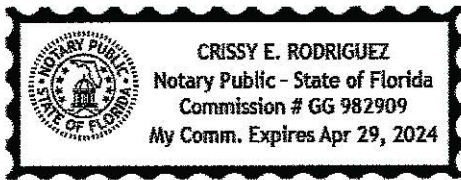
Angelo Marino (Seal)  
Angelo Marino

Essly Marino (Seal)  
Essly Marino

State of Florida  
County of Miami-Dade

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 29th day of March, 2022 by Angelo Marino and Essly Marino, who  are personally known or  have produced a driver's license as identification. (FL DL)

[Notary Seal]



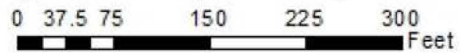
[Signature]  
Notary Public

Printed Name: Crissy E Rodriguez

My Commission Expires: 4/29/2024

Completed via Remote Online Notarization using 2 way Audio/Video technology.





MARTY KIAR  
BROWARD COUNTY PROPERTY APPRAISER



2500 RIVERLAND RD  
DATE OF PRINT: 09/20/2023

FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	ST/ZIP
504217010621	MOZINO,THEODORE J		2180 RIVERLAND	FORT LAUDERDALE	FL #####
504217010630	SLATER,CHARLES		2350 SW 26 AVE	FORT LAUDERDALE	FL #####
504217010720	BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL #####
504217020020	CITY OF FORT LAUDERDALE		100 N ANDREWS AVE	FORT LAUDERDALE	FL #####
504217020031	WORRELL,FRANK R & J A H/E	WORRELL,AVERY MICHAEL	2717 RIVERLAND RD	FORT LAUDERDALE	FL #####
504217020037	GRANDINETTI,THOMAS P		2240 SW 27 TER	FORT LAUDERDALE	FL #####
504217020038	MAHANEY,PATRICIA LAHAIE		2220 SW 27 TER	FORT LAUDERDALE	FL #####
504217020292	BERBECARU,ANNA		PO BOX 2150	VENTNOR CITY	NJ 8406
504217380073	SHAFFNER,BRUCE G & PAMELA K		2127 TANBARK LN	FORT LAUDERDALE	FL #####
504217400010	ABRAMS,JOSH H	DECLERCQ,CARMEN J	2330 SW 27 AVE	FORT LAUDERDALE	FL #####
504217400020	BERBECARU,ANNA		PO BOX 2062	JENKINTOWN	PA #####
504217400030	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL #####
504217400040	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL #####
504217440050	MCCAY,CHRISTOPHER A & STACEY P		2190 PELICAN COVE RD	FORT LAUDERDALE	FL #####
504217470020	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL #####
504220040070	JUSTRICH LLC		2711 N SEPULVEDA BLVD #513	MANHATTAN BEACH	CA #####
504220080050	HENSRUDE,SCOTT T		2912 CEDAR ST	EVERETT	WA #####
504220080060	BRAUNLICH,WILLIAM H H/E	MEYER,MICHAEL R	2321 SW 26 AVE	FORT LAUDERDALE	FL #####
504220080070	AMAYA DIOR ENTERPRISES LLC		2281 SW 26 AVE	FORT LAUDERDALE	FL #####
504220080080	2500 RIVERLAND LLC		433 LOCUST ST	DENVER	CO #####
504220080090	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL #####
504220080100	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL #####

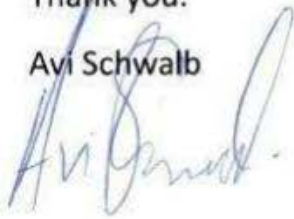
# NARRATIVE

## City of Fort Lauderdale, Unified Land Development Regulation Board of Adjustment Application

I am the owner of 2500 Riverland Rd, Fort Lauderdale, FL 33312. Currently zoned RS-352 with variance code Sec 47-39.A.6.D. The purpose of me requesting this variance is to allow me to increase my property's height from 20" to 29" which will be a unique and special design that our architect has put together and would give our zone beautiful fanastic look. It will also increse our property value and area, I am also needing this height for the Elevator that will be installing in the property to assist me going upstairs. We are aware that the code would perhaps be changing in 2024, but we would like to have this approved sooner so we can began our project.

Thank you.

Avi Schwalb

A handwritten signature in blue ink, appearing to read 'Avi Schwalb', is written over the printed name.































TYPE OF SURVEY:

- BOUNDARY
- CONSTRUCTION
- CONDOMINIUM
- ALTA/NSPS
- TOPOGRAPHIC
- SPECIAL PURPOSE

PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):

PROPERTY IMPROVEMENTS



SCALE: 1"=30'

CURVE TABLE			
	LENGTH	RADIUS	DELTA
C1 (P)	252.75'	889.44'	16°16'54"
C1 (M)	252.66'	889.44'	16°16'33"
C2 (P)	78.77'	218.39'	20°40'00"
C2 (M)	78.61'	218.39'	20°37'26"
C3	22.24'	52.00'	24°30'00"
C4 (P)	120.54'	49.88'	138°27'23"
C4 (M)	122.33'	49.88'	140°31'07"

PROPERTY ADDRESS:  
2500 RIVERLAND ROAD,  
FORT LAUDERDALE FL. 33312

LEGAL DESCRIPTION:  
LOT 7, PALM GROVE ACRES, ACCORDING  
TO THE MAP OR PLAT THEREOF, AS RECORDED IN  
PLAT BOOK 30, PAGE 38, OF THE  
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

BEARING REFERENCE:  
NONE. RECORD INFORMATION RELIANT UPON ANGULAR DATA ONLY.  
ALL ANGULAR DATA SHOWN HEREON REFERENCED THERETO.



AERIAL PHOTOGRAPH  
(MAY NOT SHOW LATEST IMPROVEMENTS)  
(NOT-TO-SCALE)

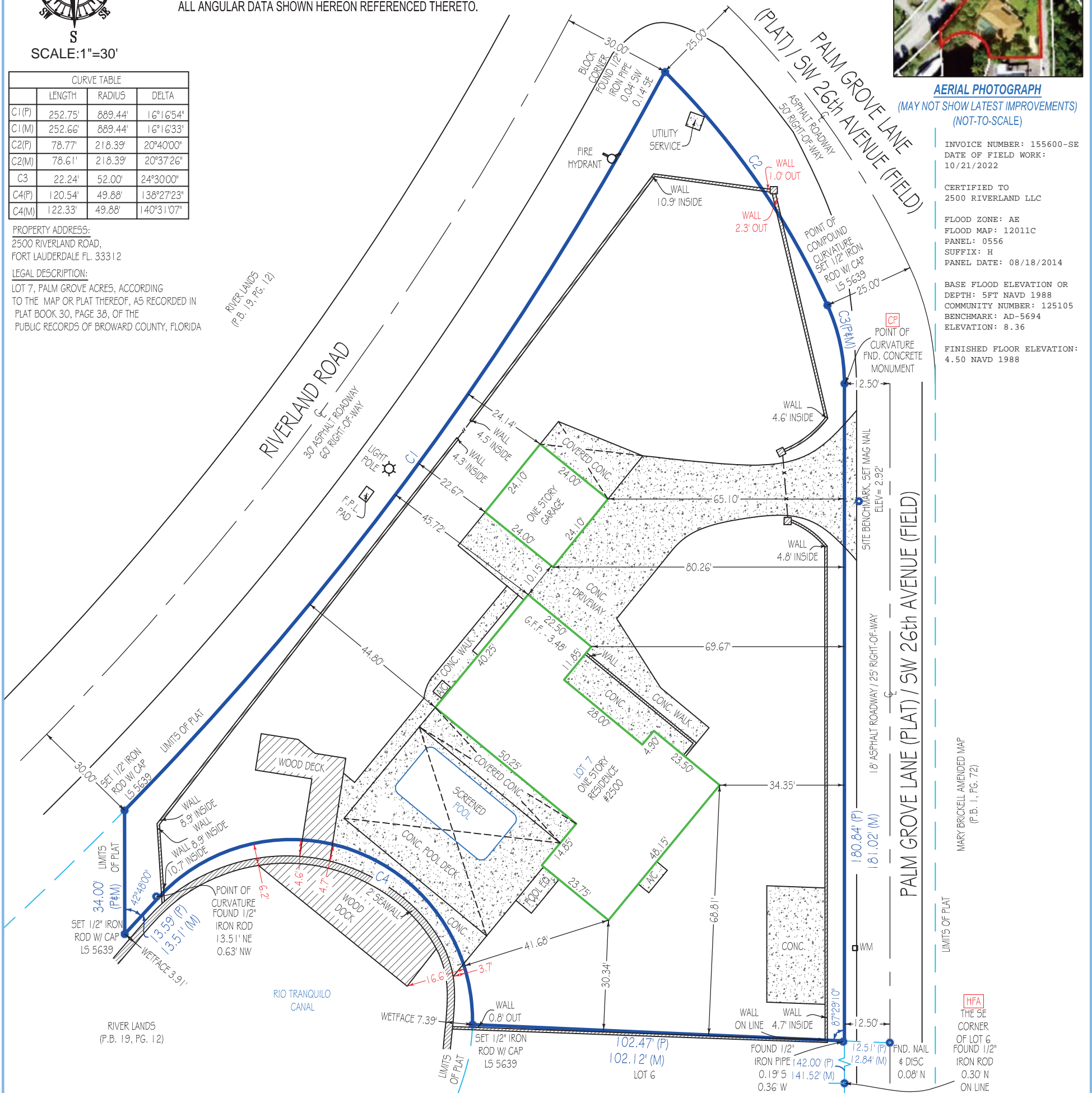
INVOICE NUMBER: 155600-SE  
DATE OF FIELD WORK:  
10/21/2022

CERTIFIED TO  
2500 RIVERLAND LLC

FLOOD ZONE: AE  
FLOOD MAP: 12011C  
PANEL: 0556  
SUFFIX: H  
PANEL DATE: 08/18/2014

BASE FLOOD ELEVATION OR  
DEPTH: 5FT NAVD 1988  
COMMUNITY NUMBER: 125105  
BENCHMARK: AD-5694  
ELEVATION: 8.36

FINISHED FLOOR ELEVATION:  
4.50 NAVD 1988



"CP" = CONTROLLING POINT (POINT OF ROTATION) "HFA" = HELD FOR ALIGNMENT - ALL OTHER MONUMENTATION AND IMPROVEMENTS RELATIVE THERETO

**Platted Easements & Notable Conditions (unplatted easements also listed if provided): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.**

- WOOD DOCK, CONC. SURFACE AND WOOD DECK CROSS BOUNDARY LINE ON SOUTHERLY SIDE OF LOT AS SHOWN.
- WALL CROSSES BOUNDARY LINE ON NORTHEASTERLY SIDE OF LOT AS SHOWN.

This survey has been issued by the following Landtec Surveying office:  
700 West Hillsboro Boulevard, Suite 4-100  
Deerfield Beach, FL 33441  
Office: (561) 367-3587  
Fax: (561) 465-3145  
[www.Landtecsurveying.com](http://www.Landtecsurveying.com)

ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING):			
A OR AL = ARC LENGTH	EL OR ELEV = ELEVATION	PRC = POINT OF REVERSE CURVE	M = MEASURED
CO = CLEANOUT	P = PLAT	PT = POINT OF TANGENCY	OHC = OVERHEAD CABLE
CA = CENTRAL ANGLE	PC = POINT OF CURVE	EM = ELECTRIC METER	QTR = QUARTER
CATV = CABLE TV RISER	POC = POINT OF COMPOUND CURVE	F.F.E. = FINISHED FLOOR ELEV.	R = RADIUS
CF = CALCULATED FROM FIELD	PH = POOL HEATER	FN = FOUND NAIL	RNG = RANGE
CH = CHORD DISTANCE	PI = POINT OF INTERSECTION	FND = FOUND	SEC = SECTION
CONC. = CONCRETE	POB = POINT OF BEGINNING	G.F.F. = GARAGE FINISHED FLOOR	TR = TELEPHONE RISER
CR = CALCULATED FROM RECORD	POC = POINT OF COMMENCEMENT	L = LEGAL DESCRIPTION	TWP = TOWNSHIP
DE = DRAINAGE EASEMENT	PP = POOL PUMP		UE = UTILITY EASEMENT
			UP = UTILITY POLE

SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE):	
	= UTILITY POLE
	= LIGHT POLE
	= CATCH BASIN
	= FIRE HYDRANT
	= MANHOLE
	= WATER VALVE
	= WATER METER
	= WELL
	= CENTER LINE
	= PARTY WALL
	= AIR CONDITIONER
	= SEPTIC LID
	= ELEV. SHOT
	= HANDICAP PARKING SPACE
	= SEC. QTR. CORNER
	= SECTION CORNER

LINETYPES:	
	BOUNDARY
	BUILDING
	EASEMENT
	CHAIN LINK FENCE
	WOOD FENCE
	PLASTIC FENCE
	OVERHEAD CABLE

GENERAL NOTES:  
1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.  
2. AS INDICATED ABOVE, UNDER "PURPOSE OF SURVEY", IF THIS SURVEY HAS BEEN PREPARED FOR A PURCHASE OR REFINANCE, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES, AND IS NOT INTENDED FOR USE IN DESIGN OR CONSTRUCTION PURPOSES. LANDTEC SURVEYING ASSUMES NO RESPONSIBILITIES FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.  
3. ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.  
4. GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.  
5. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.  
6. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ABOVE.  
7. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.  
8. ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 5 BUSINESS DAYS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LS (LICENSED SURVEYOR) #5639.

Job No: 155600-SE      Date of Field Work : 10/21/2022      Drawn by: N.M.

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

SIGNATURE  
DATE: 10-27-2022  
ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 5639 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)

Elevations, if shown:	
Benchmark:	AD-5694
Benchmark Elev.:	36.69'
Benchmark Datum:	N.A.V.D.88
Elevations on Drawing are in:	N.G.V.D.29 <input type="checkbox"/> N.A.V.D.88 <input checked="" type="checkbox"/>
Revisions:	

PRINTING INSTRUCTIONS:  
WHEN PRINTING THIS PDF IN ADOBE, SELECT "ACTUAL SIZE" TO ENSURE CORRECT SCALING.  
DO NOT USE "FIT".

LICENSED BUSINESS No. 8007

# ELEVATION CERTIFICATE

**Important:** Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION					FOR INSURANCE COMPANY USE	
A1. Building Owner's Name 2500 RIVERLAND LLC					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD					Company NAIC Number:	
City FORT LAUDERDALE		State Florida		ZIP Code 33312		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) PARCEL:5042 20 08 0080;LOT7,PLATBOOK30,PAGE38						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)					Residential-ACCESSORY	
A5. Latitude/Longitude: Lat. 26.0942419 Long. -80.1763249					Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>1A</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s)					N/A sq ft	
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade					N/A	
c) Total net area of flood openings in A8.b					N/A sq in	
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage					N/A sq ft	
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade					N/A	
c) Total net area of flood openings in A9.b					N/A sq in	
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number CITY OF FORT LAUDERDALE & 125105				B2. County Name BROWARD		B3. State Florida
B4. Map/Panel Number 12011C/0556	B5. Suffix H	B6. FIRM Index Date 08-18-2014	B7. FIRM Panel Effective/ Revised Date 08-18-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 5	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						



# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:     Construction Drawings\*     Building Under Construction\*     Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.  
 Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: BCBM:AD5694; Elev:8.36'      Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929     NAVD 1988     Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.



Check the measurement used.

- |   |     |  |                                 |
|---|-----|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) _____   | 4.5 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor _____   | N/A | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) _____   | N/A | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) _____  | N/A | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) _____ | 4.2 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) _____  | 2.8 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) _____   | 2.8 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including<br>structural support _____                               | N/A | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.  
 I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?     Yes     No     Check here if attachments.

Certifier's Name Andrew Snyder, P.S.M.	License Number LS5639		
Title Surveyor & Mapper			
Company Name Landtec Surveying, Inc.			
Address 700 W. Hillsboro Boulevard #4-100			
City Deerfield Beach	State Florida		ZIP Code 33441
Signature 	Date 10-27-2022		Telephone (561) 367-3587

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)  
 Section C2 E - A/C unit is located on the (SIDE) of the building.  
 Crown of road elevation: 3.48'  
 Elevation of detached garage: 3.48'  
 Latitude and Longitude derived from Google Earth.

**ELEVATION CERTIFICATE**

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)  
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name <i>Mr. Schmitt</i>			
Address <i>433 Grand St.</i>	City <i>DENVET</i>	State <i>CO</i>	ZIP Code <i>80220</i>
Signature <i>Mr. Schmitt</i>	Date	Telephone <i>720-218-0354</i>	
Comments			

Check here if attachments.



**ELEVATION CERTIFICATE**

OMB No. 1660-0008  
 Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD	Policy Number:
City FORT LAUDERDALE	State Florida
ZIP Code 33312	Company NAIC Number

**SECTION G – COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for:      New Construction    Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_      feet    meters   Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_      feet    meters   Datum \_\_\_\_\_
- G10. Community's design flood elevation: \_\_\_\_\_      feet    meters   Datum \_\_\_\_\_

Local Official's Name	Title
-----------------------	-------

Community Name	Telephone
----------------	-----------

Signature	Date
-----------	------

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.



# BUILDING PHOTOGRAPHS

OMB No. 1660-0008  
Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

See Instructions for Item A6.

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT 10-21-2022

Clear Photo One

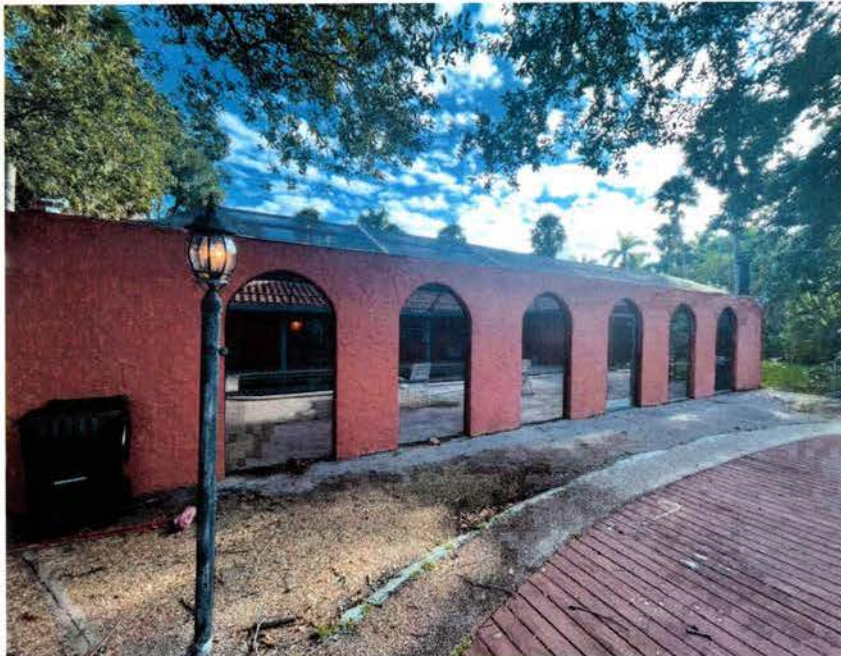


Photo Two

Photo Two Caption REAR 10-21-2022

Clear Photo Two



# BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008  
Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption AC 10-21-2022

Clear Photo Three

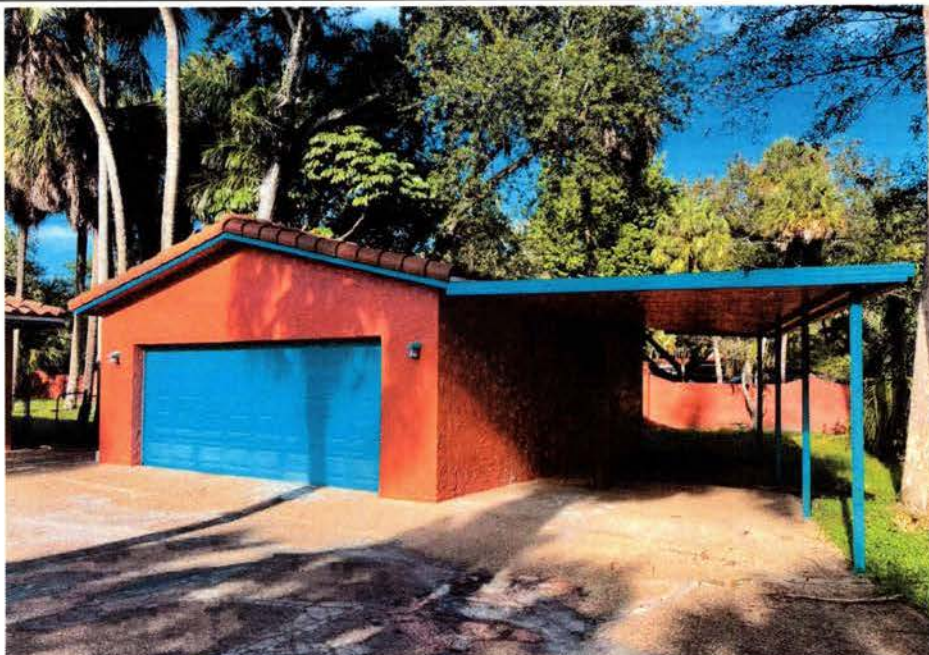


Photo Four

Photo Four Caption DETACHED GARAGE 10-21-2022

Clear Photo Four



11/30/22, 1:10 PM

We've received your payment

**From:** AmericanExpress@welcome.americanexpress.com,  
**To:** avischwalb@aol.com,  
**Subject:** We've received your payment  
**Date:** Wed, Nov 30, 2022 1:06 pm

---

Thanks for your payment received on  
Nov 30, 2022



**AVI SCHWALB**  
Account Ending: 65009



Thank you for your payment

**We received your payment.**

You're all set. You can view your updated balances online.

Don't see the deduction in your bank account? The withdrawal date will vary depending on your bank. Please check with your bank if you have any questions.

---

**Payment amount:**

**\$10,000.00**

---

**Processed on:**

**Nov 30, 2022**

---

[Helpful Links](#)





[About your online security](#)



[Manage your alerts](#)



[View your account online](#)

[Privacy statement](#)

[Contact us](#)

[Update your email address](#)

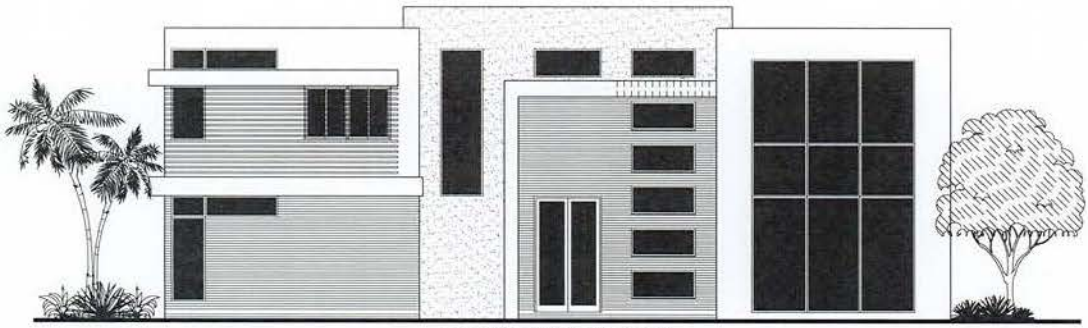
[Stop receiving this alert](#)

Your account information is included above to help you recognize this as a customer care e-mail from American Express. To learn more about e-mail security or report a suspicious e-mail, please visit us at [americanexpress.com/phishing](https://americanexpress.com/phishing). We kindly ask you not to reply to this e-mail but instead contact us via [Customer Care](#).

© 2022 American Express. All rights reserved.

SPB0CNF003





**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

**INDEX OF DRAWINGS**

- A1 SITE PLAN
- A2 EXISTING/DEMOLITION PLAN
- A3 FIRST FLOOR ARCHITECTURAL PLAN
- A4 SECOND FLR. ARCHITECTURAL PLAN
- A5 FIRST FLOOR SLAB PLAN
- A6 SECOND FLOOR FRAMIN PLAN
- A7 ROOF FRAMING PLAN
- A8 FRONT & REAR ELEVATIONS
- A9 SIDE & ALL GARAGE ELEVATIONS
- A10 WALL SECTIONS, & DETAILS
- E1 FIRST FLOOR ELECTRIC PLAN
- E2 FIRST FLOOR ELECTRIC PLAN
- M1 FIRST FLR. MECHANICAL PLAN
- M2 SECOND FLR. MECHANICAL PLAN
- P1 1ST FLR. PLUMBING FLOOR PLAN
- P2 2ND FLR. PLUMBING FLOOR PLAN
- P3 PLUMBING SANITARY RISER

**SHOP DRAWING NOTE:**

GENERAL PRECAST SHOP DRAWINGS SHALL BE PROVIDED DURING CONSTRUCTION.  
TRUSS ENGINEERING & TRUSS LAYOUT SHOP DRAWINGS SHALL BE PROVIDED DURING CONSTRUCTION.  
GLASS RAILING SHOP DRAWINGS SHALL BE PROVIDED DURING CONSTRUCTION.

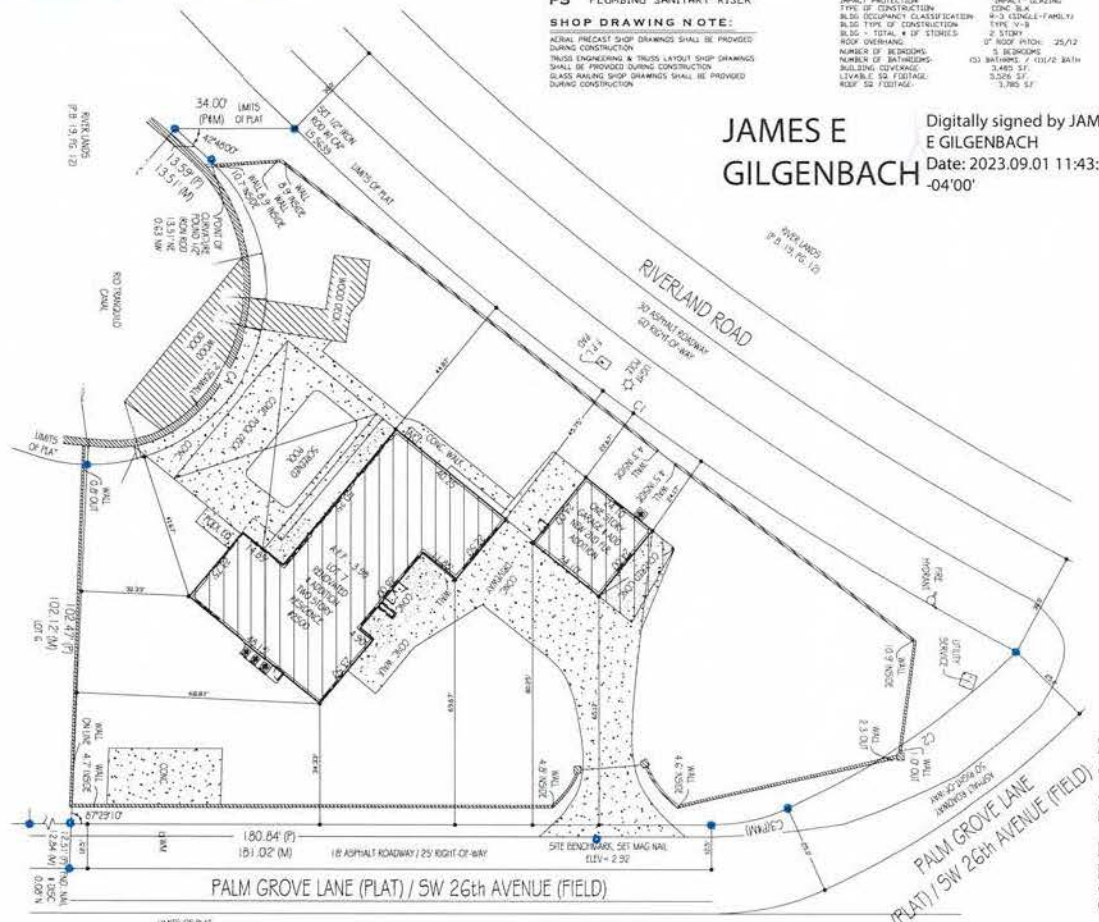
**NEW SINGLE FAMILY HOUSE  
SCOPE OF WORK:**

SCOPE OF WORK IS TO RENOVATE EXISTING TWO STORY RES. & BUILD AN ENTIRELY NEW 2 STORY RENOVATED RESIDENCE AT EXISTING HOUSE AND GARAGE.

**BUILDING CODE INFORMATION:**

ARCHITECT: JAMES E. GILGENBACH (FL 047457)  
 VENDOR STANDARD: ASCE 7-16  
 BUILDING CODE: FL BDC CODE 808 (7th Edition)  
 ELECTRICAL CODE: N.E.C. 2017 (NFPA 70)  
 DESIGN WIND SPEED: 140 MPH (150 MPH NOMINAL)  
 DESIGN WIND VELOCITY PRESSURE: 41.1 PSF  
 IMPORTANCE FACTOR: 1.0  
 BUILDING OCCUPANCY CATEGORY: R-2  
 BUILDING WIND EXPOSURE CLASS: "B"  
 INTERNAL PRESSURE COEFFICIENT: +/- 0.18  
 MEAN ROOF HEIGHT FROM GRADE: 29.5 FT  
 BUILDING BESSONS: ENCLOSED  
 IMPACT PROTECTION: IMPACT GLAZING CODE: ICA  
 TYPE OF CONSTRUCTION: II-A  
 BLDG. OCCUPANT CLASSIFICATION: 4-3 (SINGLE-FAMILY)  
 BLDG. TYPE OF CONSTRUCTION: TYPE 1-B  
 BLDG. - TOTAL # OF STORIES: 2 STORY  
 ROOF OVERHANG: 0' ROOF PITCH: 25/12  
 NUMBER OF BEDROOMS: 5 BEDROOMS  
 NUMBER OF BATHROOMS: 3 BATHROOMS / 131/2 BATH  
 BUILDING COVERAGE: 3,480 SF  
 LIVABLE SQ. FOOTAGE: 5,526 SF  
 ROOF SQ. FOOTAGE: 3,996 SF

**JAMES E GILGENBACH**  
 Digitally signed by JAMES E GILGENBACH  
 Date: 2023.09.01 11:43:37 -04'00'



CURVE TABLE			
CHORD	RADIUS	DELTA	
C(PI)	252.75'	869.44'	107°16'54"
C(IM)	252.64'	869.44'	107°16'33"
C(OI)	76.77'	216.39'	20°40'00"
C(M)	76.61'	216.39'	20°37'50"
C3	22.24'	52.00'	24°30'00"
C(PI)	120.54'	49.60'	130°27'23"
C(M)	122.33'	49.60'	140°31'07"

PROPERTY ADDRESS:  
 2500 RIVERLAND ROAD  
 FORT LAUDERDALE, FL 33312  
 LEGAL DESCRIPTION:  
 LOT 7, PALM GROVE ACRES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA  
 FLOOD CERTIFICATION:  
 ZONE: XA  
 (ELEV. = 594.008)  
 MAP PANEL # 12099C5561  
 DTD. DATE: 6/18/2014



**JAMES E. GILGENBACH & PLANNING**  
**ARCHITECTURE**  
 8000 ONE DUSTY PLACE  
 FORT ST. LUDE, FLORIDA 34985  
 (954) 292-1057



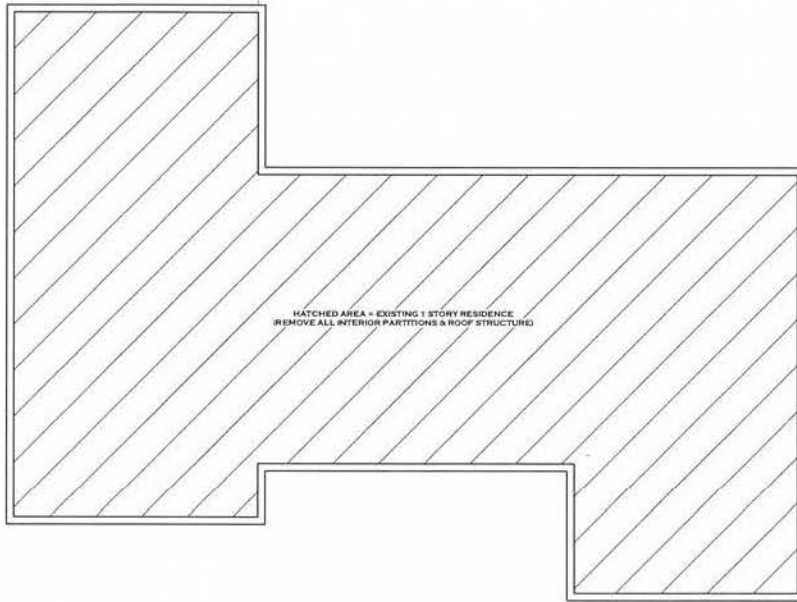
REVISIONS:

1. REVISED TO REFLECT CHANGES TO THE EXISTING STRUCTURE AND TO ADD NEW STRUCTURE. ALL DIMENSIONS AND NOTES SHALL BE AS SHOWN ON THIS SET OF DRAWINGS. ANY CHANGES TO THE ORIGINAL DESIGN SHALL BE APPROVED BY THE ARCHITECT AND ENGINEER.

**2500 RIVERLAND ROAD**  
 2500 RIVERLAND ROAD  
 FORT LAUDERDALE, BROWARD COUNTY, FLORIDA 33312

**SITE PLAN**  
 SCALE: 1/8" = 1'-0"  
 DATE: 04 NOV '22  
 PROJECT NO: 22-001  
 SHEET: A1  
 of 10





**EXISTING / DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES:**

- 1. REMOVE ALL EXISTING 1 STORY RESIDENCE. REMOVE ALL INTERIOR PARTITIONS & ROOF STRUCTURE. REMOVE ALL EXISTING EXTERIOR WALLS & FOUNDATION.
- 2. REMOVE ALL EXISTING GARAGE. REMOVE ROOF STRUCTURE.
- 3. REMOVE ALL EXISTING DRIVEWAY. REMOVE ALL EXISTING DRIVEWAY PAVEMENT.
- 4. REMOVE ALL EXISTING PATIO. REMOVE ALL EXISTING PATIO PAVEMENT.
- 5. REMOVE ALL EXISTING PORCH. REMOVE ALL EXISTING PORCH PAVEMENT.
- 6. REMOVE ALL EXISTING WALKWAY. REMOVE ALL EXISTING WALKWAY PAVEMENT.
- 7. REMOVE ALL EXISTING FENCE. REMOVE ALL EXISTING FENCE POSTS & RAILS.
- 8. REMOVE ALL EXISTING UTILITY LINES. REMOVE ALL EXISTING UTILITY LINES.
- 9. REMOVE ALL EXISTING SEWER LINES. REMOVE ALL EXISTING SEWER LINES.
- 10. REMOVE ALL EXISTING WATER LINES. REMOVE ALL EXISTING WATER LINES.
- 11. REMOVE ALL EXISTING GAS LINES. REMOVE ALL EXISTING GAS LINES.
- 12. REMOVE ALL EXISTING ELECTRICAL LINES. REMOVE ALL EXISTING ELECTRICAL LINES.
- 13. REMOVE ALL EXISTING TELEPHONE LINES. REMOVE ALL EXISTING TELEPHONE LINES.
- 14. REMOVE ALL EXISTING CABLE LINES. REMOVE ALL EXISTING CABLE LINES.
- 15. REMOVE ALL EXISTING SATELLITE LINES. REMOVE ALL EXISTING SATELLITE LINES.
- 16. REMOVE ALL EXISTING ANTENNAE. REMOVE ALL EXISTING ANTENNAE.
- 17. REMOVE ALL EXISTING AIR CONDITIONING UNITS. REMOVE ALL EXISTING AIR CONDITIONING UNITS.
- 18. REMOVE ALL EXISTING HEATING UNITS. REMOVE ALL EXISTING HEATING UNITS.
- 19. REMOVE ALL EXISTING STOVE. REMOVE ALL EXISTING STOVE.
- 20. REMOVE ALL EXISTING SINK. REMOVE ALL EXISTING SINK.
- 21. REMOVE ALL EXISTING TUB. REMOVE ALL EXISTING TUB.
- 22. REMOVE ALL EXISTING SHOWER. REMOVE ALL EXISTING SHOWER.
- 23. REMOVE ALL EXISTING TOILET. REMOVE ALL EXISTING TOILET.
- 24. REMOVE ALL EXISTING BATH. REMOVE ALL EXISTING BATH.
- 25. REMOVE ALL EXISTING BEDROOM. REMOVE ALL EXISTING BEDROOM.
- 26. REMOVE ALL EXISTING LIVING ROOM. REMOVE ALL EXISTING LIVING ROOM.
- 27. REMOVE ALL EXISTING DINING ROOM. REMOVE ALL EXISTING DINING ROOM.
- 28. REMOVE ALL EXISTING KITCHEN. REMOVE ALL EXISTING KITCHEN.
- 29. REMOVE ALL EXISTING HALL. REMOVE ALL EXISTING HALL.
- 30. REMOVE ALL EXISTING CLOSET. REMOVE ALL EXISTING CLOSET.
- 31. REMOVE ALL EXISTING PORCH. REMOVE ALL EXISTING PORCH.
- 32. REMOVE ALL EXISTING PATIO. REMOVE ALL EXISTING PATIO.
- 33. REMOVE ALL EXISTING DRIVEWAY. REMOVE ALL EXISTING DRIVEWAY.
- 34. REMOVE ALL EXISTING GARAGE. REMOVE ALL EXISTING GARAGE.
- 35. REMOVE ALL EXISTING FENCE. REMOVE ALL EXISTING FENCE.
- 36. REMOVE ALL EXISTING UTILITY LINES. REMOVE ALL EXISTING UTILITY LINES.
- 37. REMOVE ALL EXISTING SEWER LINES. REMOVE ALL EXISTING SEWER LINES.
- 38. REMOVE ALL EXISTING WATER LINES. REMOVE ALL EXISTING WATER LINES.
- 39. REMOVE ALL EXISTING GAS LINES. REMOVE ALL EXISTING GAS LINES.
- 40. REMOVE ALL EXISTING ELECTRICAL LINES. REMOVE ALL EXISTING ELECTRICAL LINES.
- 41. REMOVE ALL EXISTING TELEPHONE LINES. REMOVE ALL EXISTING TELEPHONE LINES.
- 42. REMOVE ALL EXISTING CABLE LINES. REMOVE ALL EXISTING CABLE LINES.
- 43. REMOVE ALL EXISTING SATELLITE LINES. REMOVE ALL EXISTING SATELLITE LINES.
- 44. REMOVE ALL EXISTING ANTENNAE. REMOVE ALL EXISTING ANTENNAE.
- 45. REMOVE ALL EXISTING AIR CONDITIONING UNITS. REMOVE ALL EXISTING AIR CONDITIONING UNITS.
- 46. REMOVE ALL EXISTING HEATING UNITS. REMOVE ALL EXISTING HEATING UNITS.
- 47. REMOVE ALL EXISTING STOVE. REMOVE ALL EXISTING STOVE.
- 48. REMOVE ALL EXISTING SINK. REMOVE ALL EXISTING SINK.
- 49. REMOVE ALL EXISTING TUB. REMOVE ALL EXISTING TUB.
- 50. REMOVE ALL EXISTING SHOWER. REMOVE ALL EXISTING SHOWER.
- 51. REMOVE ALL EXISTING TOILET. REMOVE ALL EXISTING TOILET.
- 52. REMOVE ALL EXISTING BATH. REMOVE ALL EXISTING BATH.
- 53. REMOVE ALL EXISTING BEDROOM. REMOVE ALL EXISTING BEDROOM.
- 54. REMOVE ALL EXISTING LIVING ROOM. REMOVE ALL EXISTING LIVING ROOM.
- 55. REMOVE ALL EXISTING DINING ROOM. REMOVE ALL EXISTING DINING ROOM.
- 56. REMOVE ALL EXISTING KITCHEN. REMOVE ALL EXISTING KITCHEN.
- 57. REMOVE ALL EXISTING HALL. REMOVE ALL EXISTING HALL.
- 58. REMOVE ALL EXISTING CLOSET. REMOVE ALL EXISTING CLOSET.
- 59. REMOVE ALL EXISTING PORCH. REMOVE ALL EXISTING PORCH.
- 60. REMOVE ALL EXISTING PATIO. REMOVE ALL EXISTING PATIO.
- 61. REMOVE ALL EXISTING DRIVEWAY. REMOVE ALL EXISTING DRIVEWAY.
- 62. REMOVE ALL EXISTING GARAGE. REMOVE ALL EXISTING GARAGE.
- 63. REMOVE ALL EXISTING FENCE. REMOVE ALL EXISTING FENCE.
- 64. REMOVE ALL EXISTING UTILITY LINES. REMOVE ALL EXISTING UTILITY LINES.
- 65. REMOVE ALL EXISTING SEWER LINES. REMOVE ALL EXISTING SEWER LINES.
- 66. REMOVE ALL EXISTING WATER LINES. REMOVE ALL EXISTING WATER LINES.
- 67. REMOVE ALL EXISTING GAS LINES. REMOVE ALL EXISTING GAS LINES.
- 68. REMOVE ALL EXISTING ELECTRICAL LINES. REMOVE ALL EXISTING ELECTRICAL LINES.
- 69. REMOVE ALL EXISTING TELEPHONE LINES. REMOVE ALL EXISTING TELEPHONE LINES.
- 70. REMOVE ALL EXISTING CABLE LINES. REMOVE ALL EXISTING CABLE LINES.
- 71. REMOVE ALL EXISTING SATELLITE LINES. REMOVE ALL EXISTING SATELLITE LINES.
- 72. REMOVE ALL EXISTING ANTENNAE. REMOVE ALL EXISTING ANTENNAE.
- 73. REMOVE ALL EXISTING AIR CONDITIONING UNITS. REMOVE ALL EXISTING AIR CONDITIONING UNITS.
- 74. REMOVE ALL EXISTING HEATING UNITS. REMOVE ALL EXISTING HEATING UNITS.
- 75. REMOVE ALL EXISTING STOVE. REMOVE ALL EXISTING STOVE.
- 76. REMOVE ALL EXISTING SINK. REMOVE ALL EXISTING SINK.
- 77. REMOVE ALL EXISTING TUB. REMOVE ALL EXISTING TUB.
- 78. REMOVE ALL EXISTING SHOWER. REMOVE ALL EXISTING SHOWER.
- 79. REMOVE ALL EXISTING TOILET. REMOVE ALL EXISTING TOILET.
- 80. REMOVE ALL EXISTING BATH. REMOVE ALL EXISTING BATH.
- 81. REMOVE ALL EXISTING BEDROOM. REMOVE ALL EXISTING BEDROOM.
- 82. REMOVE ALL EXISTING LIVING ROOM. REMOVE ALL EXISTING LIVING ROOM.
- 83. REMOVE ALL EXISTING DINING ROOM. REMOVE ALL EXISTING DINING ROOM.
- 84. REMOVE ALL EXISTING KITCHEN. REMOVE ALL EXISTING KITCHEN.
- 85. REMOVE ALL EXISTING HALL. REMOVE ALL EXISTING HALL.
- 86. REMOVE ALL EXISTING CLOSET. REMOVE ALL EXISTING CLOSET.
- 87. REMOVE ALL EXISTING PORCH. REMOVE ALL EXISTING PORCH.
- 88. REMOVE ALL EXISTING PATIO. REMOVE ALL EXISTING PATIO.
- 89. REMOVE ALL EXISTING DRIVEWAY. REMOVE ALL EXISTING DRIVEWAY.
- 90. REMOVE ALL EXISTING GARAGE. REMOVE ALL EXISTING GARAGE.
- 91. REMOVE ALL EXISTING FENCE. REMOVE ALL EXISTING FENCE.
- 92. REMOVE ALL EXISTING UTILITY LINES. REMOVE ALL EXISTING UTILITY LINES.
- 93. REMOVE ALL EXISTING SEWER LINES. REMOVE ALL EXISTING SEWER LINES.
- 94. REMOVE ALL EXISTING WATER LINES. REMOVE ALL EXISTING WATER LINES.
- 95. REMOVE ALL EXISTING GAS LINES. REMOVE ALL EXISTING GAS LINES.
- 96. REMOVE ALL EXISTING ELECTRICAL LINES. REMOVE ALL EXISTING ELECTRICAL LINES.
- 97. REMOVE ALL EXISTING TELEPHONE LINES. REMOVE ALL EXISTING TELEPHONE LINES.
- 98. REMOVE ALL EXISTING CABLE LINES. REMOVE ALL EXISTING CABLE LINES.
- 99. REMOVE ALL EXISTING SATELLITE LINES. REMOVE ALL EXISTING SATELLITE LINES.
- 100. REMOVE ALL EXISTING ANTENNAE. REMOVE ALL EXISTING ANTENNAE.

**NEW SINGLE FAMILY HOUSE  
SCOPE OF WORK:**

SCOPE OF WORK IS TO DEMOLISH EXISTING TWO STORY RES. & BUILD AN EXISTING ONE STORY RENOVATED RESIDENCE AT EXISTING HOME AND GARAGE.



**JAMES  
E  
GILGENBACH  
NBACH**

Digitally signed by  
JAMES E  
GILGENBACH  
Date:  
2023.09.01  
11:46:18  
-04'00'



**JAMES E. GILGENBACH ARCHITECTURE & PLANNING**  
1000 ONE FIFTY PLACE  
FORT ST. LUCE, FLORIDA 32034-2922



EXPIRES: 09/01/2026

2500 RIVERLAND ROAD  
FORT LAUDERDALE, FLORIDA 33312

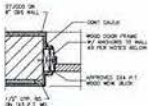
**2500 RIVERLAND ROAD**  
FORT LAUDERDALE, FLORIDA 33312

04 NOV '22  
AS11  
A2

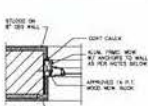




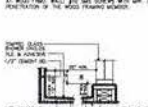
**GAR. DR. DTL.**  
SCALE: 3/4" = 1'-0"



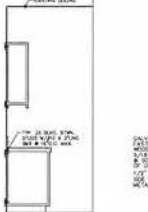
**CONC. BLK. ANCHORAGE DTL. DOOR DETAIL**  
SCALE: 1/2" = 1'-0"



**CONC. BLK. ANCHORAGE DTL. WDW DETAIL**  
SCALE: 1/2" = 1'-0"



**SHOWER CURB DTL.**  
SCALE: 1" = 1'-0"



**KITCHEN CAB. CROSS-SECTION**  
SCALE: 1/2" = 1'-0"

**MASONRY WALL BEAM SCHEDULE:**

- MW-1 CM 8 (12\"/>

**DOORS:**

NO.	TYPE	FINISH
1	10000 SFL. CANAD. DR.	1
2	122010 FRONT ENTRY (CLAMP 4)	1
3	14000 SLOG. GLS. DR. (FORM 4)	1
4	12000 SLOG. GLS. DR. (FORM 4)	1
5	4000 SLOG. GLS. DR. (FORM 4)	1
6	3000 WFL. DR.	1
7	3000 FINISH DR.	1
8	121 2000 NO. DR.	1
9	121 2000 NO. DR.	1
10	3000 NO. DR.	1
11	3000 NO. DR.	1
12	3000 NO. DR.	1
13	2400 NO. DR.	1
14	2000 NO. DR.	1
15	6000 B-PASS DR.	1
16	ELEVATOR DR.	1

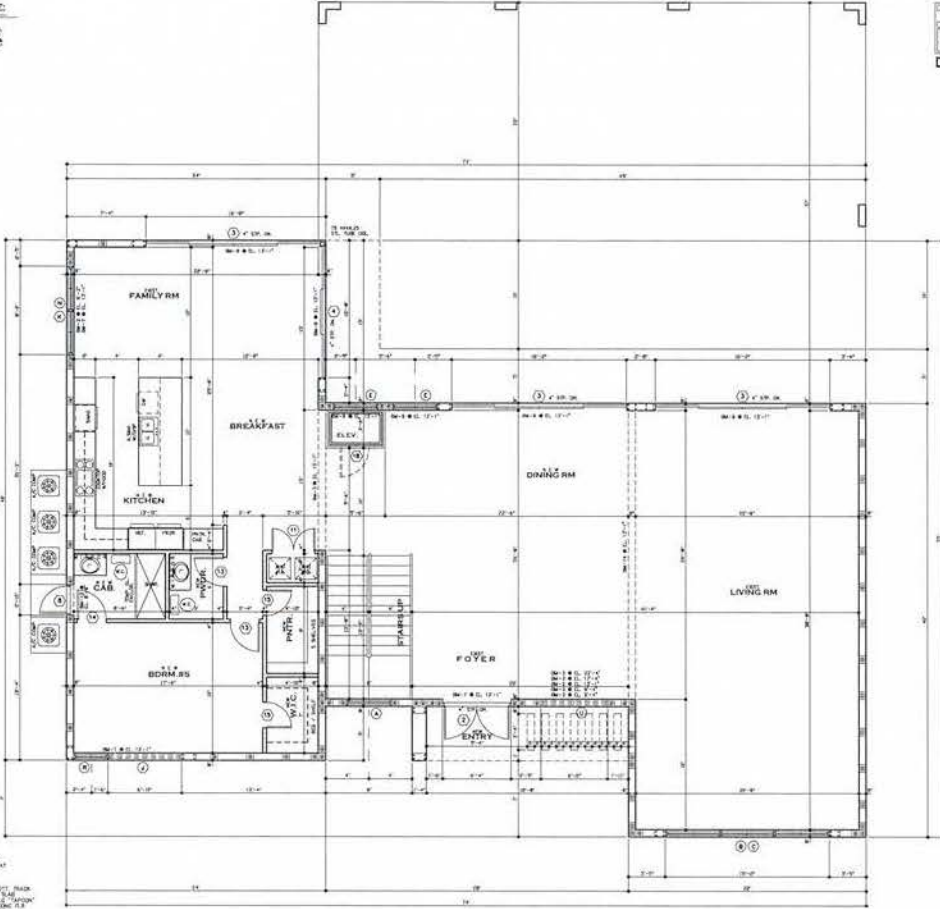
**WINDOWS:**

NO.	TYPE	FINISH
1	4040 FPD. GLS. WDW. (SFL. 12)	1
2	130010 FPD. GLS. WDW. (SFL. 12)	1
3	130010 FPD. GLS. WDW. (SFL. 12)	1
4	130010 FPD. GLS. WDW. (SFL. 12)	1
5	130010 FPD. GLS. WDW. (SFL. 12)	1
6	130010 FPD. GLS. WDW. (SFL. 12)	1
7	130010 FPD. GLS. WDW. (SFL. 12)	1
8	130010 FPD. GLS. WDW. (SFL. 12)	1
9	130010 FPD. GLS. WDW. (SFL. 12)	1
10	130010 FPD. GLS. WDW. (SFL. 12)	1
11	130010 FPD. GLS. WDW. (SFL. 12)	1
12	130010 FPD. GLS. WDW. (SFL. 12)	1
13	130010 FPD. GLS. WDW. (SFL. 12)	1
14	130010 FPD. GLS. WDW. (SFL. 12)	1
15	130010 FPD. GLS. WDW. (SFL. 12)	1
16	130010 FPD. GLS. WDW. (SFL. 12)	1
17	130010 FPD. GLS. WDW. (SFL. 12)	1
18	130010 FPD. GLS. WDW. (SFL. 12)	1
19	130010 FPD. GLS. WDW. (SFL. 12)	1
20	130010 FPD. GLS. WDW. (SFL. 12)	1
21	130010 FPD. GLS. WDW. (SFL. 12)	1
22	130010 FPD. GLS. WDW. (SFL. 12)	1
23	130010 FPD. GLS. WDW. (SFL. 12)	1
24	130010 FPD. GLS. WDW. (SFL. 12)	1
25	130010 FPD. GLS. WDW. (SFL. 12)	1
26	130010 FPD. GLS. WDW. (SFL. 12)	1
27	130010 FPD. GLS. WDW. (SFL. 12)	1
28	130010 FPD. GLS. WDW. (SFL. 12)	1
29	130010 FPD. GLS. WDW. (SFL. 12)	1
30	130010 FPD. GLS. WDW. (SFL. 12)	1
31	130010 FPD. GLS. WDW. (SFL. 12)	1
32	130010 FPD. GLS. WDW. (SFL. 12)	1
33	130010 FPD. GLS. WDW. (SFL. 12)	1
34	130010 FPD. GLS. WDW. (SFL. 12)	1
35	130010 FPD. GLS. WDW. (SFL. 12)	1
36	130010 FPD. GLS. WDW. (SFL. 12)	1
37	130010 FPD. GLS. WDW. (SFL. 12)	1
38	130010 FPD. GLS. WDW. (SFL. 12)	1
39	130010 FPD. GLS. WDW. (SFL. 12)	1
40	130010 FPD. GLS. WDW. (SFL. 12)	1
41	130010 FPD. GLS. WDW. (SFL. 12)	1
42	130010 FPD. GLS. WDW. (SFL. 12)	1
43	130010 FPD. GLS. WDW. (SFL. 12)	1
44	130010 FPD. GLS. WDW. (SFL. 12)	1
45	130010 FPD. GLS. WDW. (SFL. 12)	1
46	130010 FPD. GLS. WDW. (SFL. 12)	1
47	130010 FPD. GLS. WDW. (SFL. 12)	1
48	130010 FPD. GLS. WDW. (SFL. 12)	1
49	130010 FPD. GLS. WDW. (SFL. 12)	1
50	130010 FPD. GLS. WDW. (SFL. 12)	1
51	130010 FPD. GLS. WDW. (SFL. 12)	1
52	130010 FPD. GLS. WDW. (SFL. 12)	1
53	130010 FPD. GLS. WDW. (SFL. 12)	1
54	130010 FPD. GLS. WDW. (SFL. 12)	1
55	130010 FPD. GLS. WDW. (SFL. 12)	1
56	130010 FPD. GLS. WDW. (SFL. 12)	1
57	130010 FPD. GLS. WDW. (SFL. 12)	1
58	130010 FPD. GLS. WDW. (SFL. 12)	1
59	130010 FPD. GLS. WDW. (SFL. 12)	1
60	130010 FPD. GLS. WDW. (SFL. 12)	1
61	130010 FPD. GLS. WDW. (SFL. 12)	1
62	130010 FPD. GLS. WDW. (SFL. 12)	1
63	130010 FPD. GLS. WDW. (SFL. 12)	1
64	130010 FPD. GLS. WDW. (SFL. 12)	1
65	130010 FPD. GLS. WDW. (SFL. 12)	1
66	130010 FPD. GLS. WDW. (SFL. 12)	1
67	130010 FPD. GLS. WDW. (SFL. 12)	1
68	130010 FPD. GLS. WDW. (SFL. 12)	1
69	130010 FPD. GLS. WDW. (SFL. 12)	1
70	130010 FPD. GLS. WDW. (SFL. 12)	1
71	130010 FPD. GLS. WDW. (SFL. 12)	1
72	130010 FPD. GLS. WDW. (SFL. 12)	1
73	130010 FPD. GLS. WDW. (SFL. 12)	1
74	130010 FPD. GLS. WDW. (SFL. 12)	1
75	130010 FPD. GLS. WDW. (SFL. 12)	1
76	130010 FPD. GLS. WDW. (SFL. 12)	1
77	130010 FPD. GLS. WDW. (SFL. 12)	1
78	130010 FPD. GLS. WDW. (SFL. 12)	1
79	130010 FPD. GLS. WDW. (SFL. 12)	1
80	130010 FPD. GLS. WDW. (SFL. 12)	1
81	130010 FPD. GLS. WDW. (SFL. 12)	1
82	130010 FPD. GLS. WDW. (SFL. 12)	1
83	130010 FPD. GLS. WDW. (SFL. 12)	1
84	130010 FPD. GLS. WDW. (SFL. 12)	1
85	130010 FPD. GLS. WDW. (SFL. 12)	1
86	130010 FPD. GLS. WDW. (SFL. 12)	1
87	130010 FPD. GLS. WDW. (SFL. 12)	1
88	130010 FPD. GLS. WDW. (SFL. 12)	1
89	130010 FPD. GLS. WDW. (SFL. 12)	1
90	130010 FPD. GLS. WDW. (SFL. 12)	1
91	130010 FPD. GLS. WDW. (SFL. 12)	1
92	130010 FPD. GLS. WDW. (SFL. 12)	1
93	130010 FPD. GLS. WDW. (SFL. 12)	1
94	130010 FPD. GLS. WDW. (SFL. 12)	1
95	130010 FPD. GLS. WDW. (SFL. 12)	1
96	130010 FPD. GLS. WDW. (SFL. 12)	1
97	130010 FPD. GLS. WDW. (SFL. 12)	1
98	130010 FPD. GLS. WDW. (SFL. 12)	1
99	130010 FPD. GLS. WDW. (SFL. 12)	1
100	130010 FPD. GLS. WDW. (SFL. 12)	1

**WINDOW GLAZING NOTE:**  
 WINDOW GLAZING SHALL BE AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED.  
 ALL WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.  
 WINDOW PRODUCT INFO:  
 VIEWS & SIZES SHALL BE FOR APPROXIMATE SIZES ONLY.



**INTERIOR NON-BRG. COUNTERTOP KNEE-WALL**  
SCALE: 3/4" = 1'-0"



**FIRST FLOOR LEVEL ARCHITECTURAL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**AREA CALCS:**

EXIST FIRST FLOOR	2,616 S.F.
NEW 2ND FLOOR ADDN.	5,770 S.F.
TOTAL FLOOR	8,386 S.F.
GARAGE	578 S.F.
ENTRY PORCH	93 S.F.
TOTAL	8,957 S.F.

**JAMES E. GILGENBACH ARCHITECTURE & PLANNING**  
 3000 ONE FORT PLACE  
 FORT LAUDERDALE, FLORIDA 33405  
 (561) 292-0879

**JAMES E. GILGENBACH**  
 ARCHITECT

Renovation to existing residence of  
 2500 RIVERLAND ROAD  
 FORT LAUDERDALE, FLORIDA 33312

04 NOV '22  
 SHEET NO. A11  
 OF 10  
**A3**





JAMES E  
GILGENBACH

Digitally signed by JAMES E  
GILGENBACH  
Date: 2023.09.01 12:08:51 -04'00'

**JAMES E. GILGENBACH & PLANNING**  
ARCHITECTURE  
9009 ONE PUTT PLACE  
(854) 292 - 0679  
PORT ST LUCE  
FLORIDA 34986

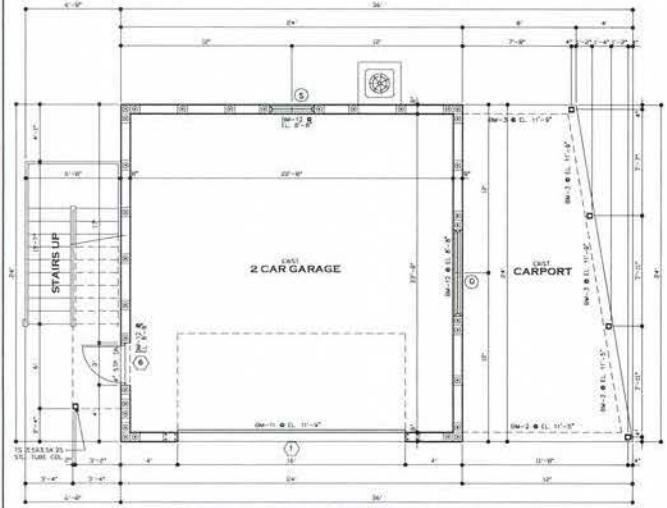


REVISIONS:

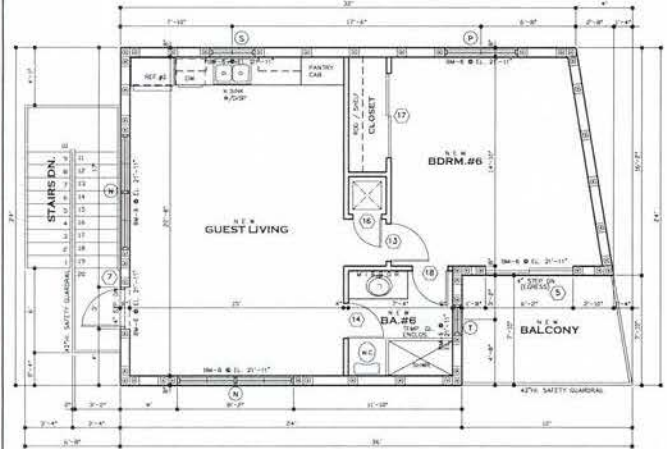
1. REVISED PER COMMENTS FROM CLIENT  
2. REVISED PER COMMENTS FROM CLIENT  
3. REVISED PER COMMENTS FROM CLIENT  
4. REVISED PER COMMENTS FROM CLIENT  
5. REVISED PER COMMENTS FROM CLIENT  
6. REVISED PER COMMENTS FROM CLIENT  
7. REVISED PER COMMENTS FROM CLIENT  
8. REVISED PER COMMENTS FROM CLIENT  
9. REVISED PER COMMENTS FROM CLIENT  
10. REVISED PER COMMENTS FROM CLIENT  
11. REVISED PER COMMENTS FROM CLIENT  
12. REVISED PER COMMENTS FROM CLIENT  
13. REVISED PER COMMENTS FROM CLIENT  
14. REVISED PER COMMENTS FROM CLIENT  
15. REVISED PER COMMENTS FROM CLIENT  
16. REVISED PER COMMENTS FROM CLIENT  
17. REVISED PER COMMENTS FROM CLIENT  
18. REVISED PER COMMENTS FROM CLIENT  
19. REVISED PER COMMENTS FROM CLIENT  
20. REVISED PER COMMENTS FROM CLIENT  
21. REVISED PER COMMENTS FROM CLIENT  
22. REVISED PER COMMENTS FROM CLIENT  
23. REVISED PER COMMENTS FROM CLIENT  
24. REVISED PER COMMENTS FROM CLIENT  
25. REVISED PER COMMENTS FROM CLIENT  
26. REVISED PER COMMENTS FROM CLIENT  
27. REVISED PER COMMENTS FROM CLIENT  
28. REVISED PER COMMENTS FROM CLIENT  
29. REVISED PER COMMENTS FROM CLIENT  
30. REVISED PER COMMENTS FROM CLIENT  
31. REVISED PER COMMENTS FROM CLIENT  
32. REVISED PER COMMENTS FROM CLIENT  
33. REVISED PER COMMENTS FROM CLIENT  
34. REVISED PER COMMENTS FROM CLIENT  
35. REVISED PER COMMENTS FROM CLIENT  
36. REVISED PER COMMENTS FROM CLIENT  
37. REVISED PER COMMENTS FROM CLIENT  
38. REVISED PER COMMENTS FROM CLIENT  
39. REVISED PER COMMENTS FROM CLIENT  
40. REVISED PER COMMENTS FROM CLIENT  
41. REVISED PER COMMENTS FROM CLIENT  
42. REVISED PER COMMENTS FROM CLIENT  
43. REVISED PER COMMENTS FROM CLIENT  
44. REVISED PER COMMENTS FROM CLIENT  
45. REVISED PER COMMENTS FROM CLIENT  
46. REVISED PER COMMENTS FROM CLIENT  
47. REVISED PER COMMENTS FROM CLIENT  
48. REVISED PER COMMENTS FROM CLIENT  
49. REVISED PER COMMENTS FROM CLIENT  
50. REVISED PER COMMENTS FROM CLIENT  
51. REVISED PER COMMENTS FROM CLIENT  
52. REVISED PER COMMENTS FROM CLIENT  
53. REVISED PER COMMENTS FROM CLIENT  
54. REVISED PER COMMENTS FROM CLIENT  
55. REVISED PER COMMENTS FROM CLIENT  
56. REVISED PER COMMENTS FROM CLIENT  
57. REVISED PER COMMENTS FROM CLIENT  
58. REVISED PER COMMENTS FROM CLIENT  
59. REVISED PER COMMENTS FROM CLIENT  
60. REVISED PER COMMENTS FROM CLIENT  
61. REVISED PER COMMENTS FROM CLIENT  
62. REVISED PER COMMENTS FROM CLIENT  
63. REVISED PER COMMENTS FROM CLIENT  
64. REVISED PER COMMENTS FROM CLIENT  
65. REVISED PER COMMENTS FROM CLIENT  
66. REVISED PER COMMENTS FROM CLIENT  
67. REVISED PER COMMENTS FROM CLIENT  
68. REVISED PER COMMENTS FROM CLIENT  
69. REVISED PER COMMENTS FROM CLIENT  
70. REVISED PER COMMENTS FROM CLIENT  
71. REVISED PER COMMENTS FROM CLIENT  
72. REVISED PER COMMENTS FROM CLIENT  
73. REVISED PER COMMENTS FROM CLIENT  
74. REVISED PER COMMENTS FROM CLIENT  
75. REVISED PER COMMENTS FROM CLIENT  
76. REVISED PER COMMENTS FROM CLIENT  
77. REVISED PER COMMENTS FROM CLIENT  
78. REVISED PER COMMENTS FROM CLIENT  
79. REVISED PER COMMENTS FROM CLIENT  
80. REVISED PER COMMENTS FROM CLIENT  
81. REVISED PER COMMENTS FROM CLIENT  
82. REVISED PER COMMENTS FROM CLIENT  
83. REVISED PER COMMENTS FROM CLIENT  
84. REVISED PER COMMENTS FROM CLIENT  
85. REVISED PER COMMENTS FROM CLIENT  
86. REVISED PER COMMENTS FROM CLIENT  
87. REVISED PER COMMENTS FROM CLIENT  
88. REVISED PER COMMENTS FROM CLIENT  
89. REVISED PER COMMENTS FROM CLIENT  
90. REVISED PER COMMENTS FROM CLIENT  
91. REVISED PER COMMENTS FROM CLIENT  
92. REVISED PER COMMENTS FROM CLIENT  
93. REVISED PER COMMENTS FROM CLIENT  
94. REVISED PER COMMENTS FROM CLIENT  
95. REVISED PER COMMENTS FROM CLIENT  
96. REVISED PER COMMENTS FROM CLIENT  
97. REVISED PER COMMENTS FROM CLIENT  
98. REVISED PER COMMENTS FROM CLIENT  
99. REVISED PER COMMENTS FROM CLIENT  
100. REVISED PER COMMENTS FROM CLIENT

RENOVATION TO EXISTING RESIDENCE OF  
**2500 RIVERLAND ROAD**  
2500 RIVERLAND ROAD  
FORT LAUDERDALE, FLORIDA 33312

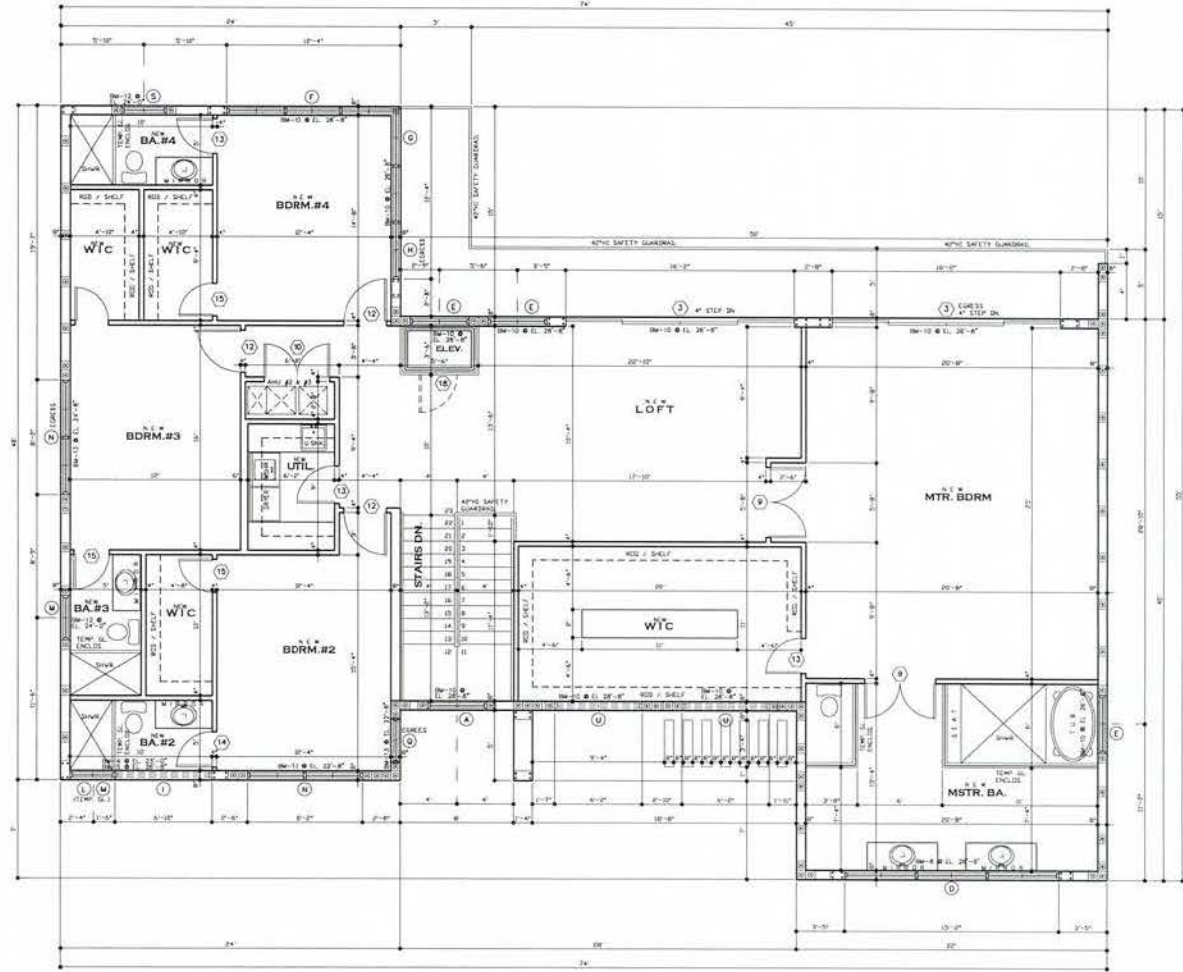
DATE: 04 NOV '22  
PROJECT NO: 22 - A111  
SHEET: 10  
A4



**EXISTING / DEMOLITION & 1ST FLR ARCHITECTURAL PLAN**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR LEVEL ARCHITECTURAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR LEVEL ARCHITECTURAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

22222 - SCHWAB



**GENERAL CONSTRUCTION NOTES:**

1. ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE LOCAL & GOVERNMENTAL CODES, SPECIFICATIONS, STANDARDS AND RESTRICTIONS.
2. ALL TRADES TO COORDINATE THEIR WORK WITH ALL OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT OF ALL DISCREPANCIES IMMEDIATELY.
4. ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
5. ALL DIMENSIONS ARE REFERRED TO THE FACE OF STUDS, CONG. SLAB, OR EDGE OF MEMBER UNLESS OTHERWISE NOTED OTHERWISE. DOOR AND WINDOW SIZES TO BE VERIFIED WITH THE MANUFACTURER.
6. IF IT IS NOT CLEAR FROM THESE PLANS TO SHOW EXACTLY WHICH DETAIL OF CONSTRUCTION THE CONTRACTOR IS EXPECTED TO FOLLOW & INSTALL ALL ITEMS FOR COMPLETE FULLY OPERATIVE SYSTEMS IN FIRST CLASS WORKMANSHIP MANNER.
7. INSTALL EXTERIOR MASONRY WALL WITH MIN. #10 REIN. EXTERIOR W/ FRAMED WALLS WITH #11 REIN. AND INTERIOR GRADES WITH MIN. #10 CONCRETE REIN.
8. CONTACT ALL UTIL. TO A MIN. OF 36" DENSITY AND FLOOR SOIL FOR TOWERITE, MIN. 200# SPEC. 2000 PSI.
9. #10 REIN. WITH CONCRETE COVERAGE FOR REIN. SLAB, 3/4" BEAMS & COLS. 1 1/2" TO COLS. 3/4" FORMED CONC. BELOW GRADE. 1" UNFORMED CONC. 2"
10. REINFORCING STEEL TO BE GRADE 60.
11. DETAILS OF CONCRETE REIN. SHALL BE IN ACCORDANCE WITH "THE MANUAL OF PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION".
12. ALL JOINTS TO HAVE CONCRETE AND CONCRETE FILL WITH THE SAME SLAB AND NUMBER OF JOINTS AS VERTICAL REIN. JOINTS. REIN. IS TO BE LAPPED TO BAR DIA. MIN. # 3 SPACES.
13. REMOVE CLEANOUT OPENINGS AT THE BOTTOM OF CASTED COLLS OF CONCRETE SLAB TO COLUMNS.
14. ALL WORK IN CONTACT WITH CONG. MASONRY OR STL. SHALL BE PROTECTED WITH STRUCTURAL LAMBER TO BE A MIN. 2" THICK OR MIN. 2" (200 PS) BENDING.
15. MIN. ELECTRICAL WIRE SIZE SHALL BE #14 A.W.G. INCLUDING THE CONDUIT.
16. ALL CONDUITS SHALL BE "TOPPING" WITH TYPICAL INSULATION.
17. ALL FACED WALLS AND FOUNDATIONS TO BE MIN. 2" IN DIA. SHALL BE GALVANIZED REIN. OR CONCRETE OR STEEL. OTHER REINFORCEMENT AS PER OWNER REQUEST.
18. PROVIDE 1/2" RECEPTACLES IN BATHROOMS, AT KITCHEN COUNTERTOPS, IN GARAGE AND OUTSIDE LOCATIONS.
19. SANITARY FLOOR FINISH TO HAVE MIN. 1/4" PER FT. FIT IN AT ALL HORIZ. RUNS. PROVIDE CLEANOUTS AT THE BASE OF WASTE STACKS.
20. ALL UNDERCRAZED WATER PIPING SHALL BE COPPER TYPE "K" ALL OTHER WATER PIPING SHALL BE GALVANIZED STEEL.
21. PROVIDE AIR CHAMBERS AND SHUT OFF VALVES FOR ALL WATER SUPPLY PIPING AT EXTERIOR. PROVIDE VALVE MEMBER AND SHUT OFF VALVE ON ALL WASH BASINS.
22. A/C AIR HANDLING UNITS TO HAVE CONDENSATE SAFE WASTE WITH DRAIN.

**THE COLUMN / SLAB NOTES:**

- (S) TYPICAL THE COLUMN (C) #8 REIN. BAR VERT. & GROUTED SOLE IN CELL OF CONG. SLAB. WALL W/ CONCRETE.
- (M) SPECIAL 8" X 12" (18") POURED CONG. THE COLUMN W/ #10 REIN. BARS. VERT. & #2" TO BARS @ 12" MAX.

- (A) SPECIAL POURED CORNER CONG. THE COLUMN W/ #10 REIN. BARS. VERT. & #2" TO BARS @ 8" O.C. MAX.

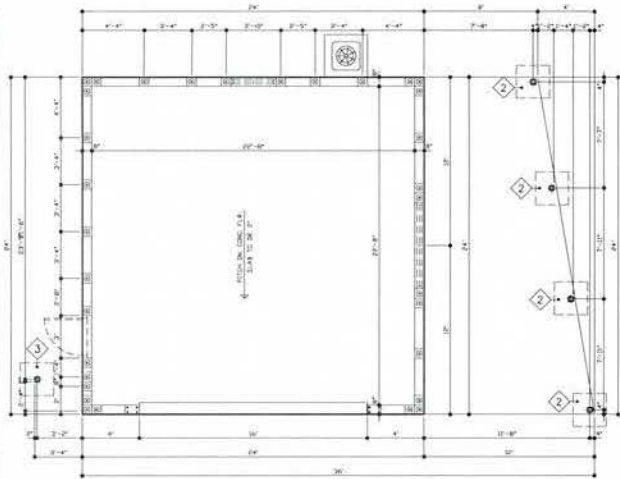
- 3/4" DIA. X 8" W/ WATERSTOP RECES ALL AROUND HOUSE PERIMETER UNDER CONG. SLAB. WALLS.
- 1/2" X 1/2" W/ WATERSTOP RECES IN FLOOR SLAB UNDER ALL EXTERIOR GARAGE DOORS.

**FOUNDATION SCHEDULE**

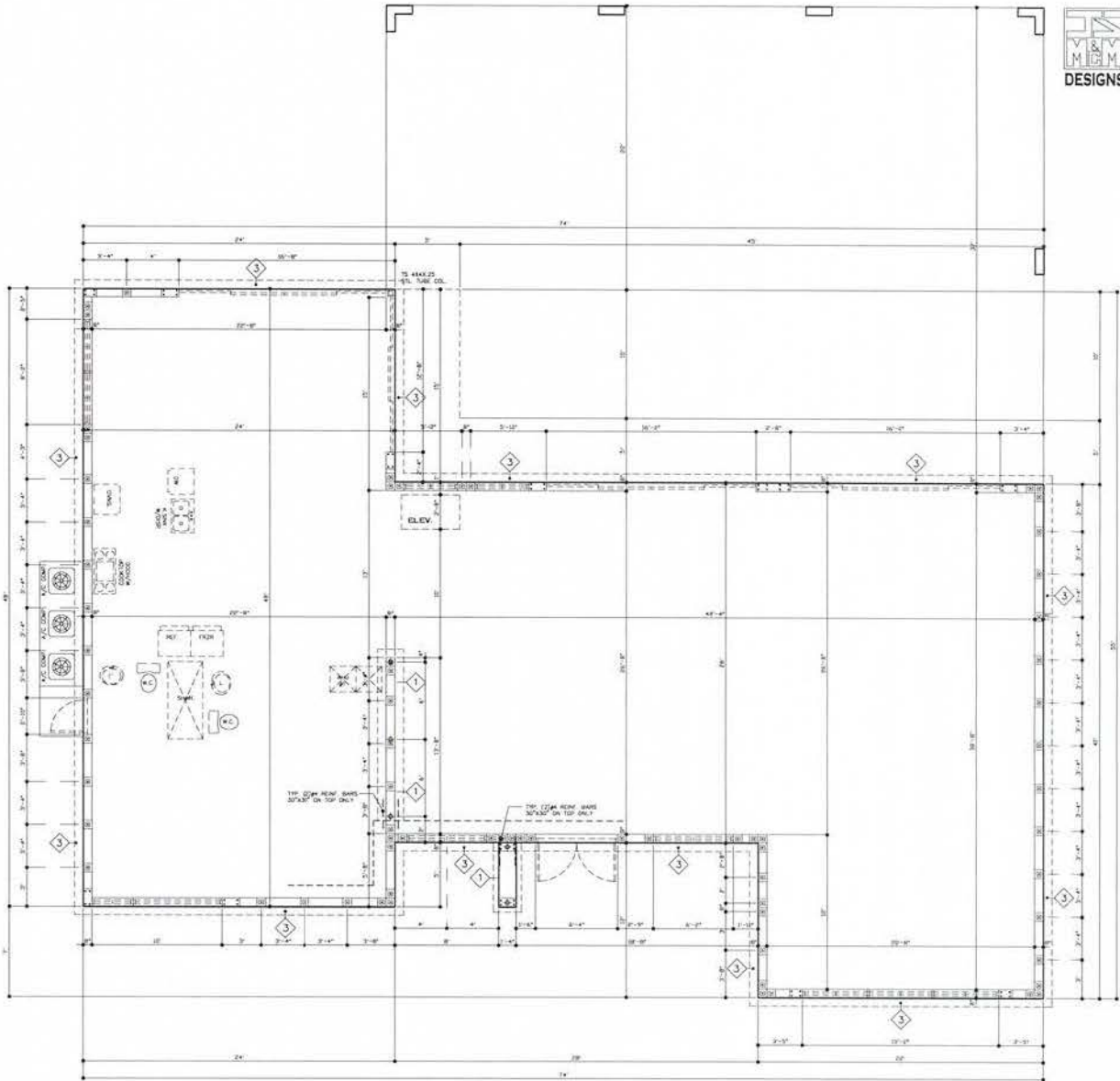
- 1 24" DIA. X 18" CONCRETE GRADE BEAM FTS W/ (2) #4 REIN. BARS TOP, MIDDLE, AND BOTTOM W/ (3) STAPLES @ 12" O.C.
- 2 20" X 30" X 12" CONCRETE PAD FOOTING W/ (3) #8 REIN. BARS EACH WAY.
- 3 24" DIA. X 8" CONCRETE MOUNTING FTG W/ (2) #4 REIN. BARS TOP, MIDDLE AND BOTTOM W/ (3) STAPLES @ 12" O.C. W/ 1/2" X 1/2" W/ WATERSTOP RECES ALL AROUND HOUSE PERIMETER OF EXISTING FOUNDATION.

**FINISH FLOOR NOTE:**

NEW ADDITION FLOOR TO BE FLOOR AND MATCH EXISTING FINISH FLOOR ELEVATION OF EXISTING HOUSE.



**FOUNDATION SLAB PLAN**  
SCALE: 1/4" = 1'-0"



**FOUNDATION SLAB PLAN**  
SCALE: 1/4" = 1'-0"

**JAMES E GILGENBACH**  
Digitally signed by JAMES E GILGENBACH  
Date: 2023.09.01 12:14:31 -04'00'



**JAMES E. GILGENBACH & PLANNING**  
ARCHITECTURE  
9009 ONE PUTT PLACE  
FORT ST. LUDE  
FLORIDA 34096  
(954) 292 - 0679



REVISIONS:

1. REVISED AS NOTED TO BE IN ACCORDANCE WITH THE LATEST LOCAL AND STATE CODES AND REGULATIONS. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT OF ALL DISCREPANCIES IMMEDIATELY. ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

RENOVATION TO EXISTING RESIDENCE OF  
**2500 RIVERLAND ROAD**  
FORT LAUDERDALE, BROWARD COUNTY, FLORIDA 33312

DATE: 04 NOV '22  
PROJECT NO.: 22 - A111  
SHEET: 11  
OF 10 **A5**



# JAMES E GILGENBACH

Digitally signed by  
JAMES E GILGENBACH  
Date: 2023.09.01 12:12:38  
-04'00'



**JAMES E. GILGENBACH**  
ARCHITECTURE & PLANNING  
9009 ONE PUTT PLACE  
FORT ST. LUCE  
FLORIDA 34986  
(954) 292 - 0576

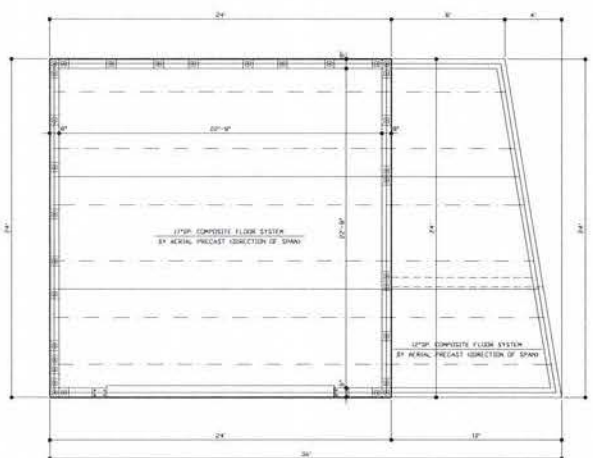


REVISIONS:

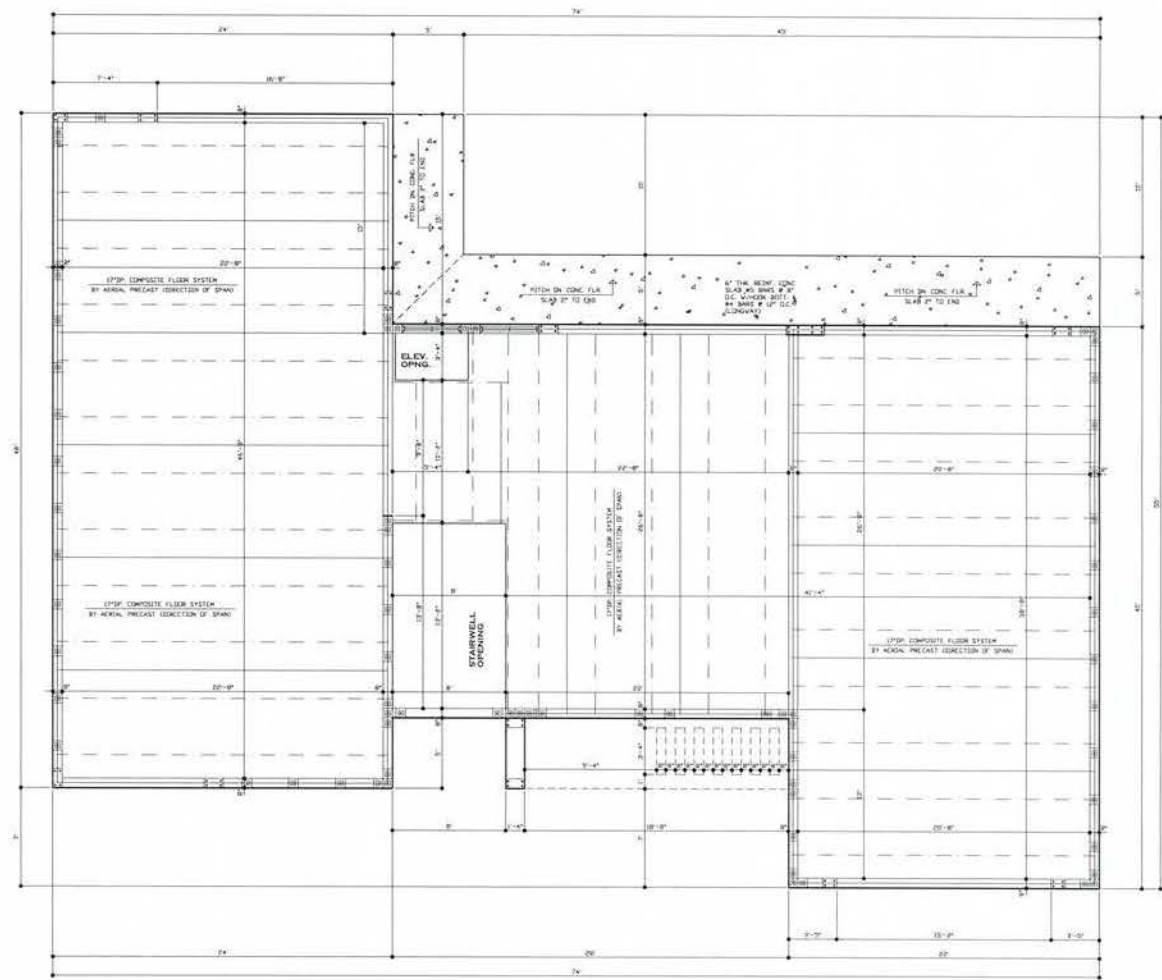
1. DRAWING SET TO BE  
USED WITHIN THE  
LIMITS OF THE  
DESIGNER'S  
LICENSE AND  
EXPERIENCE.  
NO PART OF THIS  
DRAWING SHALL BE  
REPRODUCED OR  
TRANSMITTED IN  
ANY FORM OR BY  
ANY MEANS,  
ELECTRONIC,  
MECHANICAL,  
PHOTOCOPYING,  
RECORDING, OR  
BY ANY INFORMATION  
SYSTEMS WITHOUT  
THE WRITTEN  
PERMISSION OF  
THE DESIGNER.

RENOVATION TO EXISTING RESIDENCE OF  
**2500 RIVERLAND ROAD**  
2500 RIVERLAND ROAD  
FORT LAUDERDALE, BROWARD COUNTY, FLORIDA 33312

DATE: 04 NOV '22  
PROJECT NO: 22 - A111  
SHEET: 11  
of 10 **A6**



(SEE STRUCTURAL DRAWINGS BY AERIAL SYSTEMS)  
**FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



(SEE STRUCTURAL DRAWINGS BY AERIAL SYSTEMS)  
**FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



2023.09.01 12:17:17 -04'00'

JAMES E  
GILGENBACH

Digitally signed by JAMES E  
GILGENBACH  
Date: 2023.09.01 12:17:17 -04'00'



JAMES E. GILGENBACH  
ARCHITECTURE & PLANNING  
1000 ONE FORT PLACE  
FORT ST. LOUIS  
FLORIDA 34608  
954) 792 - 0875

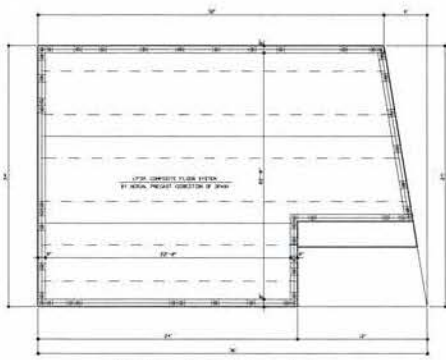


REVISIONS

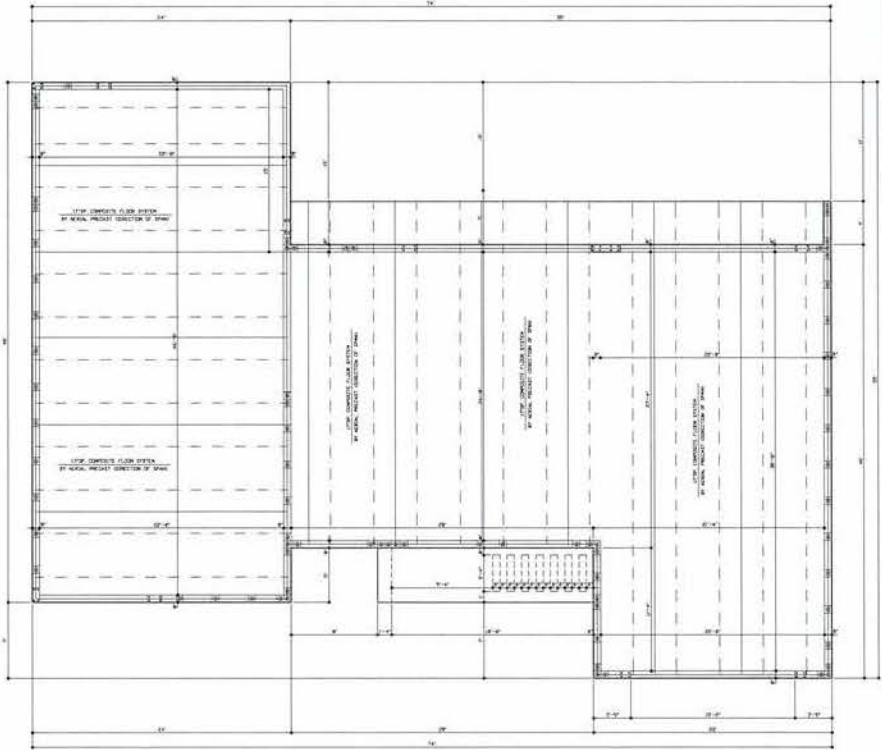
NO. DESCRIPTION  
1. AS SHOWN

RENOVATION TO EXISTING RESIDENCE OF  
2500 RIVERLAND ROAD  
FORT LAUDERDALE, FLORIDA 33312

04 804 22  
22 242 10  
SHEET NO. A111  
A7



(SEE STRUCTURAL DRAWINGS BY AERIAL SYSTEMS)  
**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

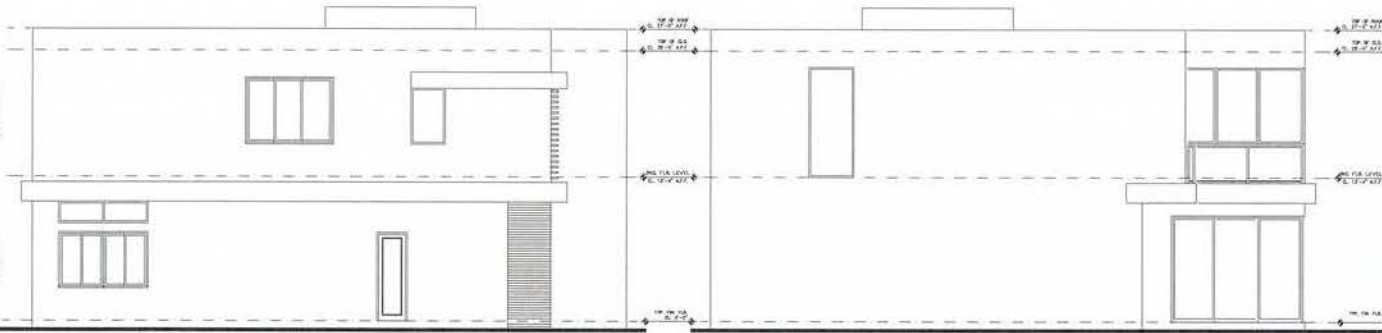


(SEE STRUCTURAL DRAWINGS BY AERIAL SYSTEMS)  
**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

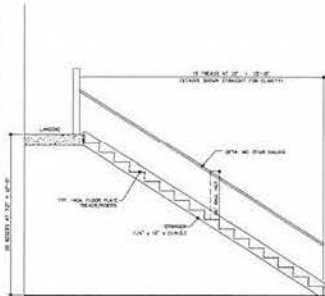




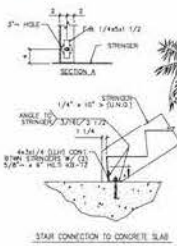
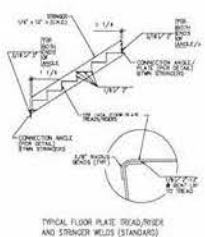
LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



STAIR SECTION  
SCALE 1/2" = 1'-0"

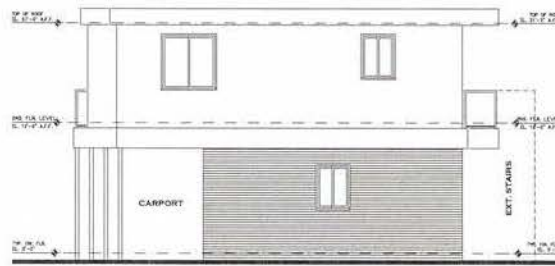


FRONT ELEVATION  
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



REAR ELEVATION  
SCALE 1/4" = 1'-0"

JAMES  
E  
GILGENBACH

Digitally signed  
by JAMES E  
GILGENBACH  
Date:  
2023.09.01  
12:56:40 -04'00'

REVISIONS

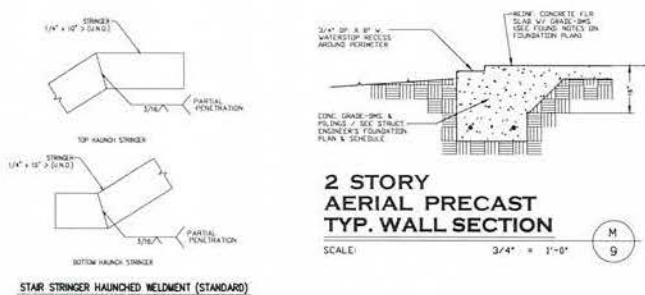
NO. 1	DATE	DESCRIPTION
1	09/01/23	ISSUED FOR PERMITS
2	09/01/23	REVISED PER PERMITTING
3	09/01/23	REVISED PER PERMITTING
4	09/01/23	REVISED PER PERMITTING
5	09/01/23	REVISED PER PERMITTING
6	09/01/23	REVISED PER PERMITTING
7	09/01/23	REVISED PER PERMITTING
8	09/01/23	REVISED PER PERMITTING
9	09/01/23	REVISED PER PERMITTING
10	09/01/23	REVISED PER PERMITTING

2500 RIVERLAND ROAD  
FORT LAUDERDALE, FLORIDA 33322

DESIGNS

04 NOV 22  
SHEET  
A9

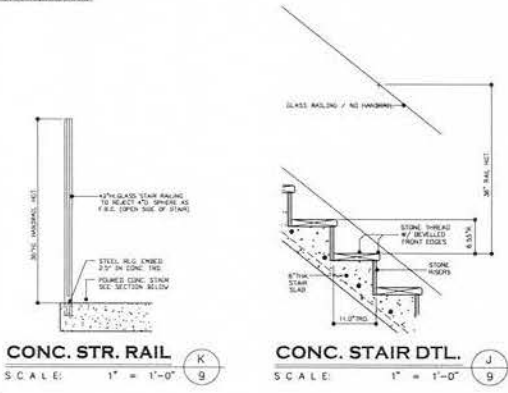




**2 STORY  
AERIAL PRECAST  
TYP. WALL SECTION**

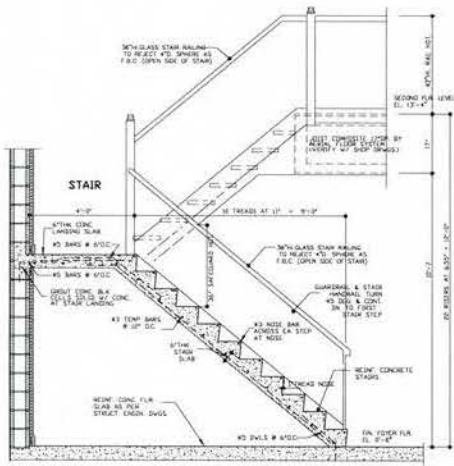
SCALE: 3/4" = 1'-0" **M**  
9

STAR STRINGER HAUNCHED WELDMENT (STANDARD)

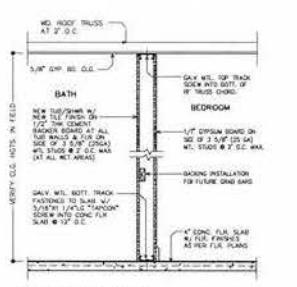


**CONC. STR. RAIL**  
SCALE: 1" = 1'-0" **K**  
9

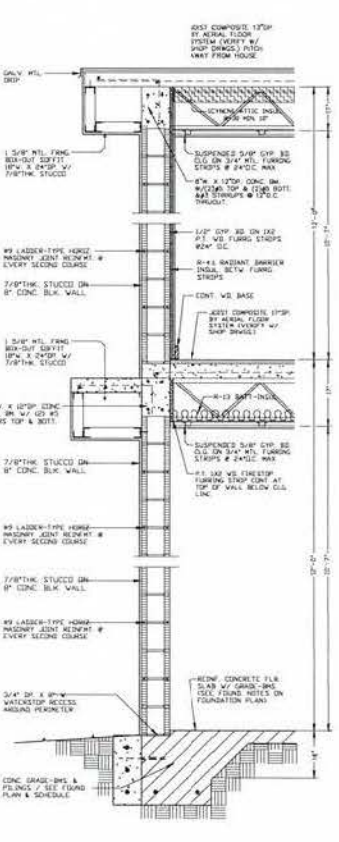
**CONC. STAIR DTL.**  
SCALE: 1" = 1'-0" **J**  
9



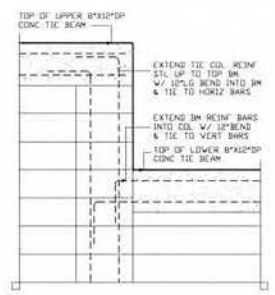
**CONCRETE STAIR SECTION**  
SCALE: 1/2" = 1'-0" **L**  
9



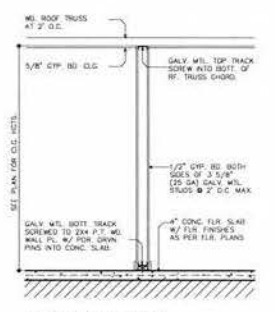
**GARAGE ONE STORY  
TYP. WALL SECTION**  
SCALE: 1/2" = 1'-0" **G**  
9



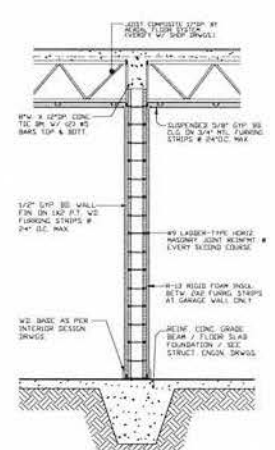
**GARAGE ONE STORY  
TYP. WALL SECTION**  
SCALE: 3/4" = 1'-0" **H**  
9



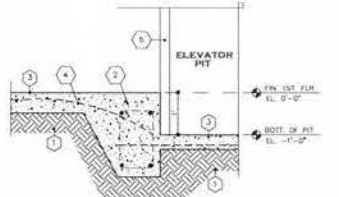
**STEP UP  
WALL SECTION**  
SCALE: 3/4" = 1'-0" **F**  
9



**[NON-BEARING]  
TYP. INTERIOR WALL**  
SCALE: 1/2" = 1'-0" **F**  
9

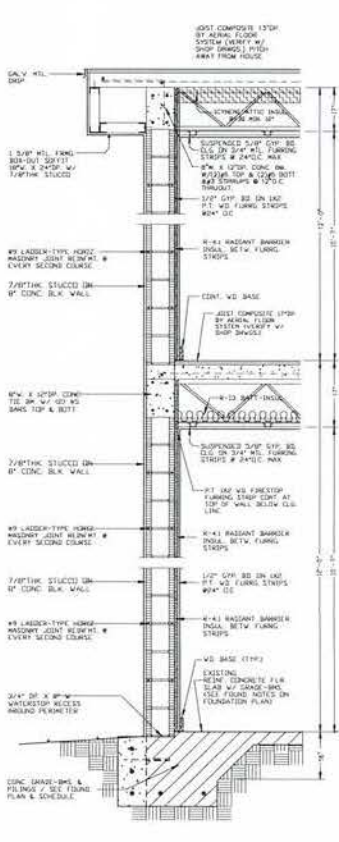


**BEARING WALL DTL.**  
SCALE: 1/2" = 1'-0" **F**  
9



**ELEV. PIT SECTION**  
SCALE: 3/4" = 1'-0" **E**  
9

**WALL SECTION MATERIAL NOTES:**  
 1 COMPACTE TEMENT TITE CLEAN FILL  
 2 CONC. FOOTING/FOUNDATION - (SEE ENGINEERING DRWG.)  
 3 REIN. CONC. FLOOR SLAB - (SEE ENGINEERING DRWG.)  
 4 1/2\"/>



**TWO STORY  
TYP. WALL SECTION**  
SCALE: 3/4" = 1'-0" **E**  
9



**JAMES E. GILGENBACH & PLANNING**  
 ARCHITECTURE & PLANNING  
 4500 N. POWERLINE ROAD  
 SUITE 100  
 POMPANO BEACH, FLORIDA 33073  
 (954) 292-0879



**REVISIONS:**

1. REVISED TO REFLECT CHANGES TO THE FOUNDATION PLAN AND SCHEDULE.  
 2. REVISED TO REFLECT CHANGES TO THE FOUNDATION PLAN AND SCHEDULE.  
 3. REVISED TO REFLECT CHANGES TO THE FOUNDATION PLAN AND SCHEDULE.  
 4. REVISED TO REFLECT CHANGES TO THE FOUNDATION PLAN AND SCHEDULE.  
 5. REVISED TO REFLECT CHANGES TO THE FOUNDATION PLAN AND SCHEDULE.

**3248 NE 169TH STREET RES**

RENOVATION TO EXISTING RESIDENCE OF  
 3248 NE 169TH STREET  
 DADE COUNTY, FLORIDA  
 MAMI.

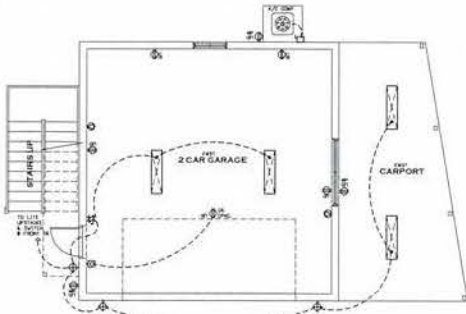
DATE: 04 NOV '22  
 PROJECT NO.: 22-0111  
 SHEET: 10A10  
 OF 10A10

**JAMES E GILGENBACH**  
 Digitally signed by JAMES E GILGENBACH  
 Date: 2023.09.01 12:58:43 -04'00'

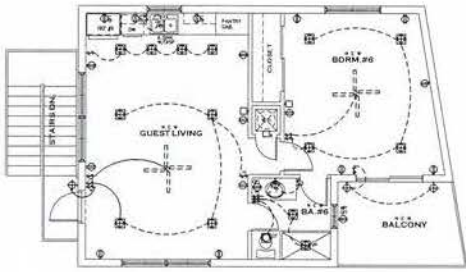




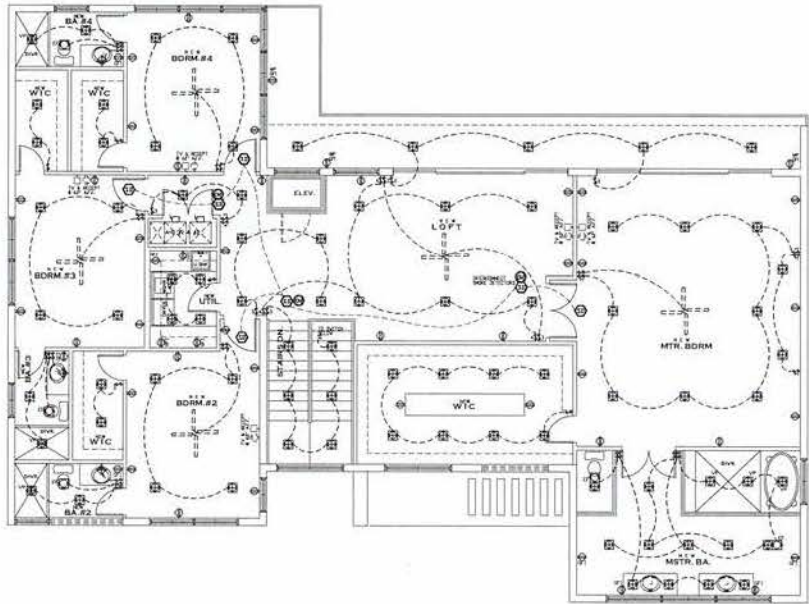
DRAWN BY: J. EDWARDS



**FIRST FLOOR LEVEL ELECTRICAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR LEVEL ELECTRICAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR LEVEL ELECTRICAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**JAMES E  
GILGENBACH**

Digitally signed by JAMES E  
GILGENBACH  
Date: 2023.09.01 12:26:55  
-04'00'

DESIGNS

**JAMES E. GILGENBACH ARCHITECTURE & PLANNING**

8000 ONE RIVER PLACE  
FORT LAUDERDALE, FLORIDA 33312  
(561) 232-1079

REGISTRATION TO EXISTING RESIDENCE OF  
**2500 RIVERLAND ROAD**  
FORT LAUDERDALE, FLORIDA 33312

DATE: 04/22/23  
PROJECT: 2500 RIVERLAND ROAD  
SHEET: 10 OF 11  
SCALE: 1/4" = 1'-0"

**EN**



**JAMES E. GILGENBACH & PLANNING**  
 9008 ONE PUTT PLACE  
 FLORIDA 34986  
 (954) 292 - 0679



REVISIONS:

RENOVATION TO EXISTING RESIDENCE OF  
**2500 RIVERLAND ROAD**  
 FORT LAUDERDALE, FLORIDA 33312

DATE: 04 NOV '22  
 PROJECT NO.: 222 - A111  
 SHEET: 111  
 OF 2 **M1**

**A/C EQUIPMENT:**

**SYSTEM - 1 A -**

COND:	RA1656AJNA
AHU:	RH173621STANJA
SEER:	13.0 EER, 16.0 SEER
COOLING:	33,400 BTUH
SENSIBLE:	23,200 BTUH
LATENT:	10,200 BTUH
HEAT:	7.5 KW
DUCT:	R-6 FIBERGLASS
LIQUID:	3/8"
SUCTION:	7/8"

\* WIND RESISTANCE CALC FOR A/C COMP. [-14842E]

**A/C EQUIPMENT:**

**SYSTEM - 1 B -**

COND:	RA1660AJNA
AHU:	RH176021STANJA
SEER:	13.0 EER, 16.0 SEER
COOLING:	59,000 BTUH
SENSIBLE:	39,600 BTUH
LATENT:	19,400 BTUH
HEAT:	10.0 KW
DUCT:	R-6 FIBERGLASS
LIQUID:	3/8"
SUCTION:	1 1/8"

\* WIND RESISTANCE CALC FOR A/C COMP. [-14842E]

**A/C EQUIPMENT:**

**SYSTEM - 2 -**

COND:	RA1656AJNA
AHU:	RH173621STANJA
SEER:	13.0 EER, 16.0 SEER
COOLING:	33,400 BTUH
SENSIBLE:	23,200 BTUH
LATENT:	10,200 BTUH
HEAT:	7.5 KW
DUCT:	R-6 FIBERGLASS
LIQUID:	3/8"
SUCTION:	7/8"

\* WIND RESISTANCE CALC FOR A/C COMP. [-14842E]

**A/C EQUIPMENT:**

**SYSTEM - 3 -**

COND:	RA1656AJNA
AHU:	RH173621STANJA
SEER:	13.0 EER, 16.0 SEER
COOLING:	33,400 BTUH
SENSIBLE:	23,200 BTUH
LATENT:	10,200 BTUH
HEAT:	7.5 KW
DUCT:	R-6 FIBERGLASS
LIQUID:	3/8"
SUCTION:	7/8"

\* WIND RESISTANCE CALC FOR A/C COMP. [-14842E]

**A/C EQUIPMENT:**

**SYSTEM - 4 -**

COND:	RA1624AJNA
AHU:	RH17421STANJA
SEER:	13.0 EER, 16.0 SEER
COOLING:	23,400 BTUH
SENSIBLE:	15,200 BTUH
LATENT:	8,200 BTUH
HEAT:	5.8 KW
DUCT:	R-6 FIBERGLASS
LIQUID:	5/16"
SUCTION:	3/4"

\* WIND RESISTANCE CALC FOR A/C COMP. [-14842E]

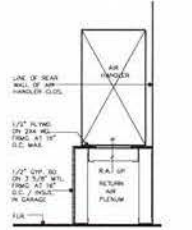
**JAMES E GILGENBACH**

Digitally signed by  
**JAMES E GILGENBACH**  
 Date: 2023.09.01  
 12:41:51 -04'00'

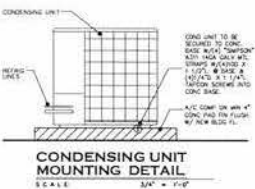
**A/C GRILLES**

	NO.	SIZE	TYPE	LOCATION	NO.
1	1	24" x 24"	1	KITCHEN	1
2	2	24" x 24"	1	BREAKFAST	2
3	3	24" x 24"	1	DINING RM	3
4	4	24" x 24"	1	LIVING RM	4
5	5	24" x 24"	1	FAMILY RM	5

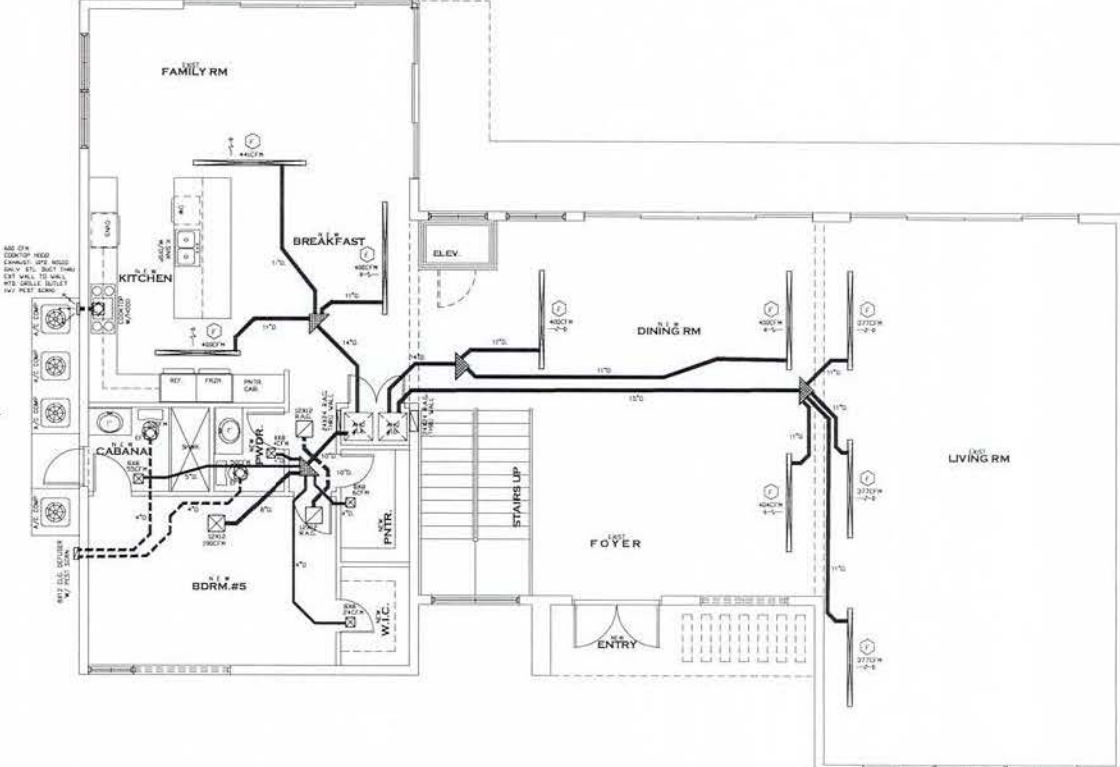
**NOTES:**  
 1. HVAC MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS SHALL BE DESIGNED TO MEET ALL APPLICABLE CODES AND REGULATIONS.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE.  
 3. CONDENSING LINES SHALL BE 1/2" THICK PVC (SCHEDULE 40) FROM AIR HANDLING UNIT TO EXTERIOR OF STRUCTURE. ANY WALL PENETRATIONS SHALL BE SEALED. LINE SHALL TERMINATE 12" ABOVE GRADE W/ TURN DOWN ELBOW & BUNG. SLOPE CONDENSING LINE SHALL BE DRAINAGE TO BE PROVIDED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. A P/S TO HAVE CONDENSING PANS FULLY SEALED. INCLUDE SECONDARY DRAIN LINE TO STOP ACTUAL IN THE EVENT OF CURBING.  
 4. ALL CONDENSING LINES SHALL BE DRAINAGE TO BE PROVIDED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. A P/S TO HAVE CONDENSING PANS FULLY SEALED. INCLUDE SECONDARY DRAIN LINE TO STOP ACTUAL IN THE EVENT OF CURBING.  
 5. CONDENSING LINES SHALL BE TESTED TO 150 LBS. PRESSURE AIR P/S. MFG.  
 6. LIGERACUT 2" ALL NETWORK GOODS  
 7. ALL FLEX & DUCT BENDING SHALL BE 1 1/2" THICK & R-6. SUPPORT FLEX DUCTS TO AC TO PREVENT SHARP BENDS. SEAL ALL JOINTS, COUPLERS, FITTINGS AND MASTIC AS PER FLORIDA BUILDING CODE.  
 8. USE 1/2" LONG SADDLES BETWEEN DUCT AND HANGERS.  
 9. DUCT LOCATIONS MAY CHANGE DUE TO FIELD CONDITIONS.  
 10. SUPPORT RECTANGULAR DUCTS WITH 1" STRAP AND NUT CLIP. ALL CORNERS OF DUCTS.  
 11. PROVIDE PROGRAMMABLE THERMOSTAT FOR EACH UNIT.  
 12. CHECK ELECTRICAL SERVICE BEFORE OPERATING EQUIPMENT.  
 13. ANY/OVER CONDENSING UNITS TO SLAB PER MFR RECOMMENDED INSTALLATION.  
 14. OTHER VENT MATERIALS TO BE GA. MAX. 25' INCLUDING ELBOWS.  
 15. ALL REFRIGERANT PIPING TO BE INSULATED WITH 1/2" THICK ALL P.V.C. FOR EACH AHU. TO BE 3/4" SCHEDULE 40. EXTERIOR DUCTS SHALL BE 1/2" THICK & R-6. ALL ROOF AND WALL PENETRATIONS SHALL BE SEALED WITH 1/2" THICK DEVELOPED LENGTH SHALL NOT EXCEED 25'. THE MAX. LENGTH OF THE DUCT SHALL BE REDUCED 1/2" FT. FOR EA. 4" DIA. AND 1/3" FT. FOR EA. 3" DIA. PER PER F.L.C. MFG. AND PER MFG. 22.  
 16. OTHER LENGTHS SHALL TERMINATE NOT LESS THAN 3' FT. IN NY DIRECTION FROM OPENINGS INTO BUILDINGS FILE IN MFG. 22.  
 17. A/C CONTRACTOR SHALL PROVIDE FLEXIBLE DUCT CONNECTIONS TO ALL FANS, A/C UNITS OR MECHANICAL EQUIPMENT. CHECK FOR LEAKAGE BEFORE.



**A.H.U. MOUNTING PLENUM DETAIL**  
 SCALE: 3/4" = 1'-0"



**CONDENSING UNIT MOUNTING DETAIL**  
 SCALE: 3/4" = 1'-0"



**FIRST FLOOR LEVEL MECHANICAL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"







**JAMES E. GILGENBACH**  
 ARCHITECTURE & PLANNING  
 9009 ONE PUTT PLACE  
 FORT ST LUCE  
 FLORIDA 34986  
 (954) 292 - 0679



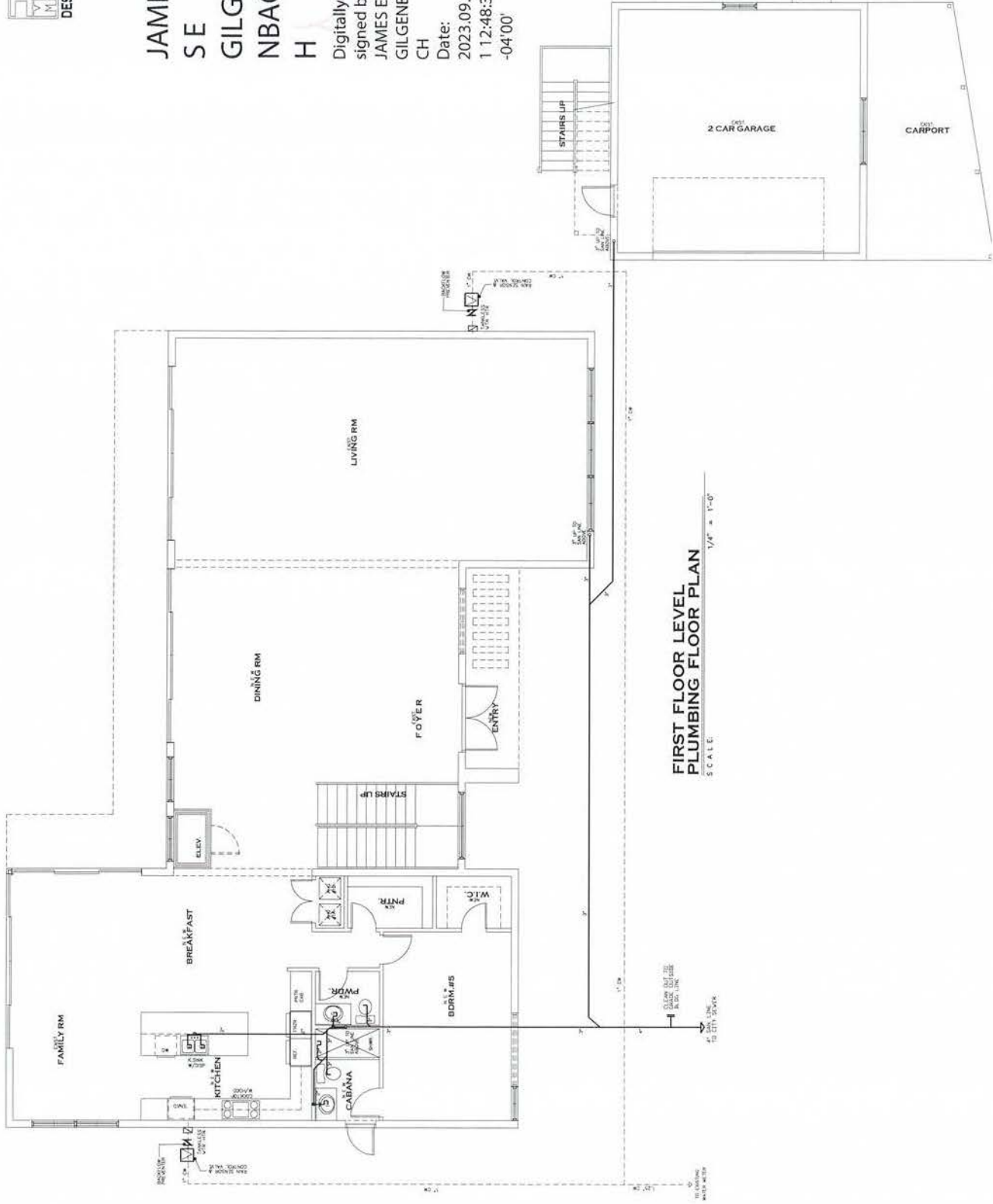
REGISTERED PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 12573  
 MECHANICAL  
 EXPIRES 12/31/2025

REVISIONS:  
 NO. 1: 11/24/23  
 NO. 2: 11/24/23  
 NO. 3: 11/24/23  
 NO. 4: 11/24/23  
 NO. 5: 11/24/23  
 NO. 6: 11/24/23  
 NO. 7: 11/24/23  
 NO. 8: 11/24/23  
 NO. 9: 11/24/23  
 NO. 10: 11/24/23  
 NO. 11: 11/24/23  
 NO. 12: 11/24/23  
 NO. 13: 11/24/23  
 NO. 14: 11/24/23  
 NO. 15: 11/24/23  
 NO. 16: 11/24/23  
 NO. 17: 11/24/23  
 NO. 18: 11/24/23  
 NO. 19: 11/24/23  
 NO. 20: 11/24/23  
 NO. 21: 11/24/23  
 NO. 22: 11/24/23  
 NO. 23: 11/24/23  
 NO. 24: 11/24/23  
 NO. 25: 11/24/23  
 NO. 26: 11/24/23  
 NO. 27: 11/24/23  
 NO. 28: 11/24/23  
 NO. 29: 11/24/23  
 NO. 30: 11/24/23  
 NO. 31: 11/24/23  
 NO. 32: 11/24/23  
 NO. 33: 11/24/23  
 NO. 34: 11/24/23  
 NO. 35: 11/24/23  
 NO. 36: 11/24/23  
 NO. 37: 11/24/23  
 NO. 38: 11/24/23  
 NO. 39: 11/24/23  
 NO. 40: 11/24/23  
 NO. 41: 11/24/23  
 NO. 42: 11/24/23  
 NO. 43: 11/24/23  
 NO. 44: 11/24/23  
 NO. 45: 11/24/23  
 NO. 46: 11/24/23  
 NO. 47: 11/24/23  
 NO. 48: 11/24/23  
 NO. 49: 11/24/23  
 NO. 50: 11/24/23

**2500 RIVERLAND ROAD**  
 RENOVATION TO EXISTING RESIDENCE OF  
 2500 RIVERLAND ROAD  
 FORT LAUDERDALE,  
 BROWARD COUNTY,  
 FLORIDA 33312

DATE: 04 NOV 2023  
 PROJECT NO: 22 - ALLI  
 SHEET NO: P1

**JAME  
 SE  
 GILGE  
 NBAC  
 H**  
 Digitally  
 signed by  
 JAMES E  
 GILGENBA  
 CH  
 Date: 2023.09.0  
 1 12:48:34  
 -04'00"



**FIRST FLOOR LEVEL  
 PLUMBING FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"





**JAMES E. GILGENBACH**  
ARCHITECTURE & PLANNING  
9009 ONE PUTT PLACE  
FORT ST LUCE  
FLORIDA 34986  
(854) 292 - 0679



**JAMES E. GILGENBACH**  
ARCHITECTURE & PLANNING  
9009 ONE PUTT PLACE  
FORT ST LUCE  
FLORIDA 34986  
(854) 292 - 0679

REVISIONS  
NO. DATE DESCRIPTION  
1 12/15/22 INITIAL PLAN  
2 01/10/23 REVISED PER COMMENTS  
3 02/01/23 REVISED PER COMMENTS  
4 02/01/23 REVISED PER COMMENTS  
5 02/01/23 REVISED PER COMMENTS  
6 02/01/23 REVISED PER COMMENTS  
7 02/01/23 REVISED PER COMMENTS  
8 02/01/23 REVISED PER COMMENTS  
9 02/01/23 REVISED PER COMMENTS  
10 02/01/23 REVISED PER COMMENTS

RENOVATION TO EXISTING RESIDENCE OF  
**2500 RIVERLAND ROAD**  
FORT LAUDERDALE,  
BROWARD COUNTY,  
FLORIDA 33312

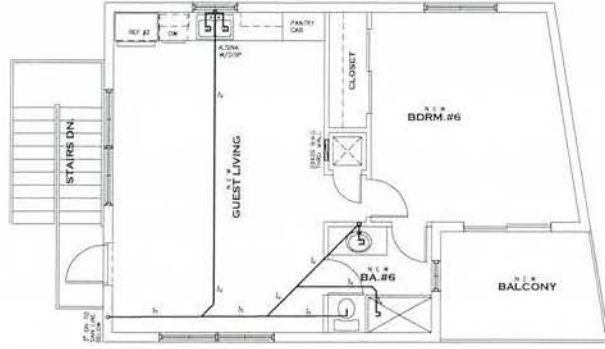
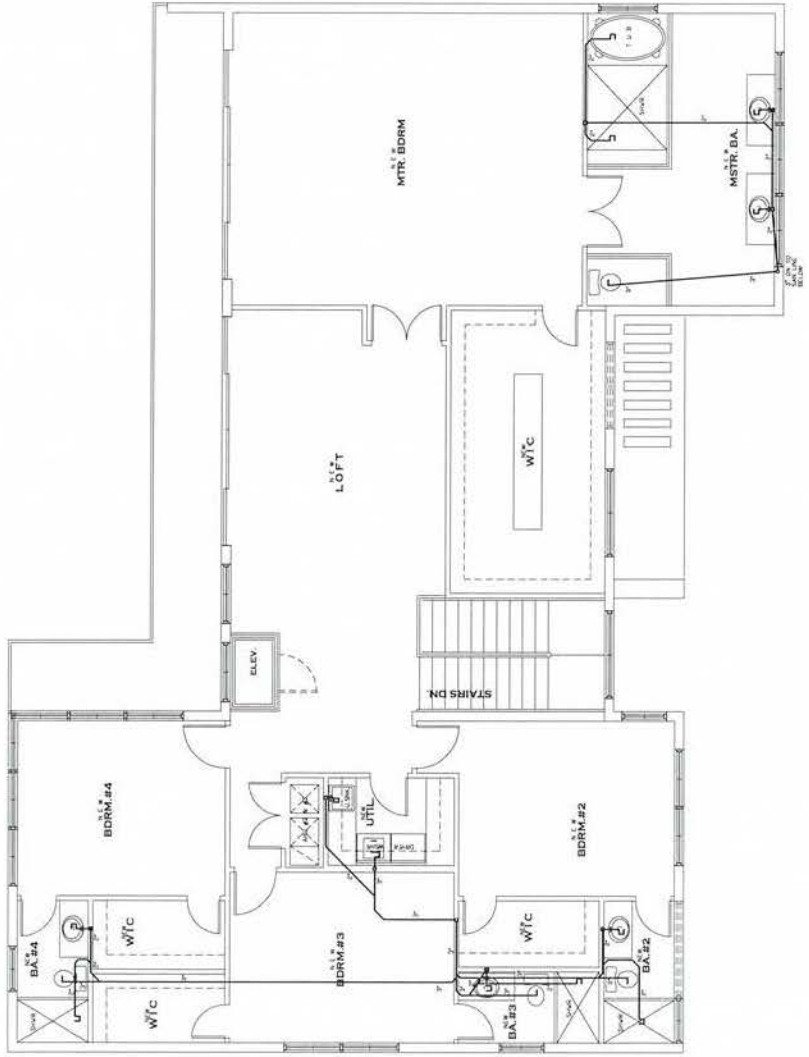
DATE: NOV 22  
PROJECT NO: 22 - A111  
SHEET NO: 13  
**P2**



**JAME  
SE  
GILGE  
NBAC  
H**

Digitally  
signed by  
**JAMES E  
GILGENBA  
CH**

Date:  
2023.09.01  
12:51:19  
-04'00'



**SECOND FLOOR LEVEL  
PLUMBING FLOOR PLAN**

SCALE: 1/4" = 1'-0"

