



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: November 14, 2023

PROPERTY OWNER / APPLICANT: NRNS Acquisitions 3600 Federal, LLC.

AGENT: Stephanie Toothaker, Esq.

PROJECT NAME: Furniture Showroom

CASE NUMBER: UDP-S23054

REQUEST: Site Plan Level II Review: 4,550 Square-Foot Commercial Development

LOCATION: 3600 N. Federal Highway

ZONING: Boulevard Business District (B-1)

LAND USE: Commercial

CASE PLANNER: Adam Schnell



Case Number: UDP-S23054

CASE COMMENTS:

Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:

1. Provide a copy of the Water and Wastewater Capacity Availability letter once obtain. Note proposed building square footage on the request Form (4,550 SF) does not appear to match the plan set (4,560 SF).
2. Parking facility entries and exits must be from or to an improved right-of-way a minimum of 20' width or an improved right-of-way designated by the city as one-way, per ULDR Section 47-20.5.B.2. Provide signage as appropriate for 1-way (westbound) Alley vehicular access, along north property boundary.
3. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
4. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges).
5. Dumpster enclosure shall be accessible from the proposed facility.
6. Existing public sidewalks adjacent to the proposed development (to remain) must be inspected by the Engineer of Record to ensure existing sidewalks meet ADA standards and are in good condition. A signed and sealed assessment must be provided indicating sidewalks were inspected and any sidewalk replacement requirements. Plans shall reflect the extent of sidewalk replacement accordingly.
7. Proposed Live Oak near the east side of the proposed driveway shall not encroach upon the existing utility easement.
8. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present.
9. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles, construction fence gates shall not swing into the public Right-of-Way. Streets, alleys and sidewalks which are under the jurisdiction of the city may be closed for a period of time not to exceed seventy-two (72) hours by order of the city manager

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S23054

CASE COMMENTS:

Please provide a response to the following:

1. 2014 FEMA FIRM-Structure is located in an AH 6 flood zone.
2. Finished floor elevation of 7 ft NAVD is acceptable.

GENERAL COMMENTS

The following comments are for informational purposes.

1. 2020 Preliminary FIRM shows this parcel will become AE 6.
2. Additional comments may follow pending submission of the complete plan set.



Case Number: UDP-S23054

CASE COMMENTS:

Please provide a response to the following.

1. Section 47-21.12. F.2. Existing vehicular use areas. Existing VUA's shall be considered as new and brought into conformity with the minimum requirements of this section upon the occurrence of any one (1) of the following conditions: When there is an addition which increases the total ground floor area of all existing buildings on the property more than twenty-five percent (25%). Please have the Landscape Architect prepare and sign their plans addressing all of today's up-dated Landscape requirements for the site's total VUA. This will include yet not limited to Interdistrict Corridor requirements, tree count and percentage breakdown, tree island width, bufferyard requirements, landscape protection from vehicle encroachment, and irrigation.
2. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This basically means that plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Plant material species must be minimum 50% Florida Friendly Landscaping. Planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Illustrate hydrozones of high, medium, and low on a plan, and include calculations in table.
3. Provide, in tabular format, all required versus provided landscape calculations.
4. Provide an entire existing tree site plan or existing tree site survey illustrating all existing trees and palms, and number each one.
5. Provide a corresponding list, as per ULDR 47-21.15, of these trees/palms including:
 - a. tree number for each
 - b. botanical name and common name for each
 - c. trunk diameter, in inches, at chest height for trees
 - d. clear trunk in feet for palms
 - e. condition percentage as a number for each
 - f. indicate status for all existing trees/palms on site (remain, relocate, remove)
6. Existing trees and palms in a healthy growing condition may be calculated towards site requirements. Existing trees and palms in poor condition or declining health will not be credited towards site requirements. Section 47-21.8. J.
7. Please have a certified ISA Arborist provide the information as to all the existing trees and palms. Including the condition ratings that will be required if those existing trees and palms may be credited to site requirements.
8. At the southwest corner of the site there is a landscape area that needs to be addressed on the plans, possible location for shade tree(s) that may count towards VUA requirements.
9. Tree survey shows 9a and 9b while the existing tree list only identifies a 9, please verify. From Google Street View 9b appears to be an existing Live Oak tree in poor condition.



10. Additional comments may be forthcoming after the next review of new plans and written comment responses.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at the time of DRC submittal.
2. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.



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CASE COMMENTS:

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180-degree view peephole.
2. Sliding glass windows should be impact resistant and equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
3. All glazing should be impact resistant.
4. Building should be pre-wired for an alarm system.
5. A Video Surveillance System (VSS) should be employed throughout the property capable of retrieving an identifiable image of an individual focusing on the cash management areas, entry and exit points, saferoom, storage rooms, and parking lot area.
6. The businesses should be equipped with an intrusion alarm and a silent "Panic" alarm for police response. The alarm system should have battery back-up and or cellular back-up features.
7. Light-reflecting paint should be used in the parking lot to increase visibility and safety.
8. All lighting and landscaping should follow CPTED guidelines.

GENERAL COMMENTS

It is highly recommended that the managing company make arrangements for private security during construction.

Please submit responses in writing prior to DRC sign off.



Case Number: **UDP-S23054**

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. You may want to include a separate recycling dumpster for the amount of cardboard.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
8. Containers: must comply with 47-19.4
9. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
10. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to Gwoolweaver@fortlauderdale.gov . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*
 - *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



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CASE COMMENTS:

1. Provide cross access agreement between this property and eth property to the south.
2. Provide the offsite parking agreements between this property and the surface parking lots east of the alleyway.
3. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
4. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
5. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
6. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
7. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
8. Additional comments may be provided upon further review.

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CASE COMMENTS:

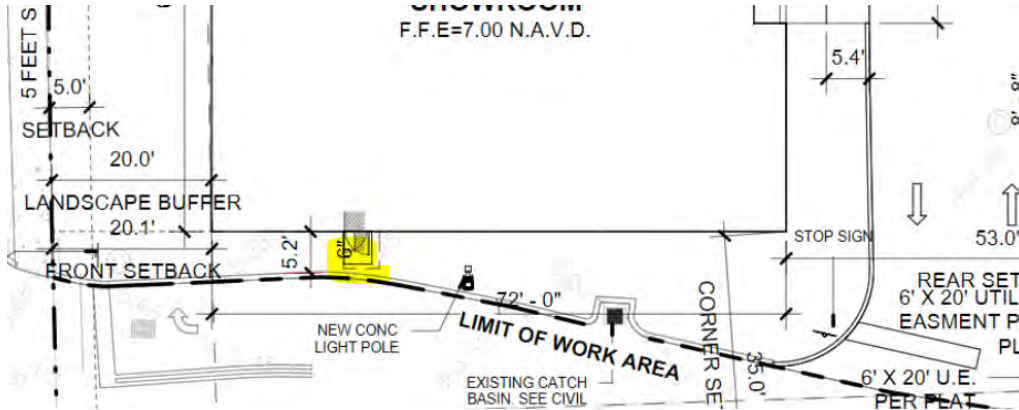
Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 180 days of completeness determination, on or before February 14, 2024, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed unless the applicant submits a waiver of these timeframes as provided in the completeness email from the City.
2. The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
3. The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the Platting Determination Submittal Requirements or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: Administrative Review Application
4. Indicate the project's compliance with the following ULDR sections by providing a point-by-point narrative response, on letterhead, with date and author indicated.
 - a. Section 47-23.9, Interdistrict Corridor Requirements.
5. Pursuant to ULDR, Section 47-23.9, Interdistrict Corridor Requirements, applications for development subject to interdistrict corridor requirements shall demonstrate that the project provides a spatial framework supportive of a pedestrian and multi-modal transportation environment along Federal Highway. Such framework shall encourage the direct pedestrian access from sidewalk to development and contain elements such as seating areas, shade structures, plaza elements, and open space. The proposed site plan does not meet the intent for interdistrict corridor. Provide a primary access point that faces North Federal Highway, either centrally located along the building's frontage or on the corner.
6. Provide documentation of all existing off-site parking agreements and associated recorded ordinances. If the site is deficient in the number of required parking spaces, additional parking will be required or a parking reduction may be requested through a Site Plan Level III Application.
7. Pursuant to ULDR Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the topmost surface of the roof mounted structures. Sheet A-10, Roof shows a spot elevation of the parapet wall to be 22'-4", and the equipment height to be 25'-5". Update plans to comply with mechanical screening requirements.
8. Provide the following changes to the site plan:
 - a. Provide a parking data table that includes all existing and proposed uses, as well as parking demand calculations.
 - b. Provide a primary entrance on the façade facing North Federal Highway to provide direct pedestrian access from the front of the building per ULDR, Section 47-23.9, Interdistrict Corridor

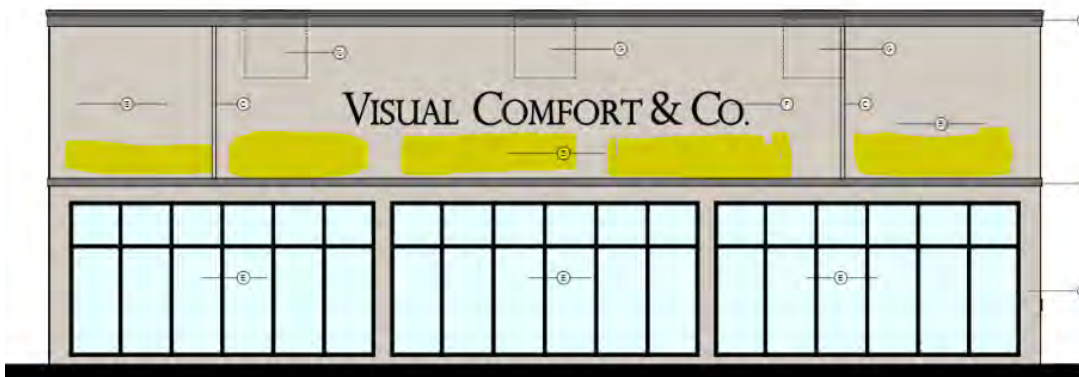


Requirements. This can also be achieved by placing an entranceway on the northwest or southwest corner.

- c. The southern exit is missing a sidewalk connection to the internal drive or a sidewalk.



- 9. Provide the following changes on elevations:
a. Elevation labeling is transposed. Update elevation labeling on Sheet, A-11 and Sheet, A-12 to show the correct direction of the façades.
b. Provide additional architectural elements to the north and south façades to break up the large flat surface areas such as awnings, shutters, and/or additional windows.
c. Wrap the windows further around the corners of the southwest and northwest corners of the building.
d. Consider integrating transom windows along the western façade along North Federal Highway, below the wall sign to break up the large blank surface area.



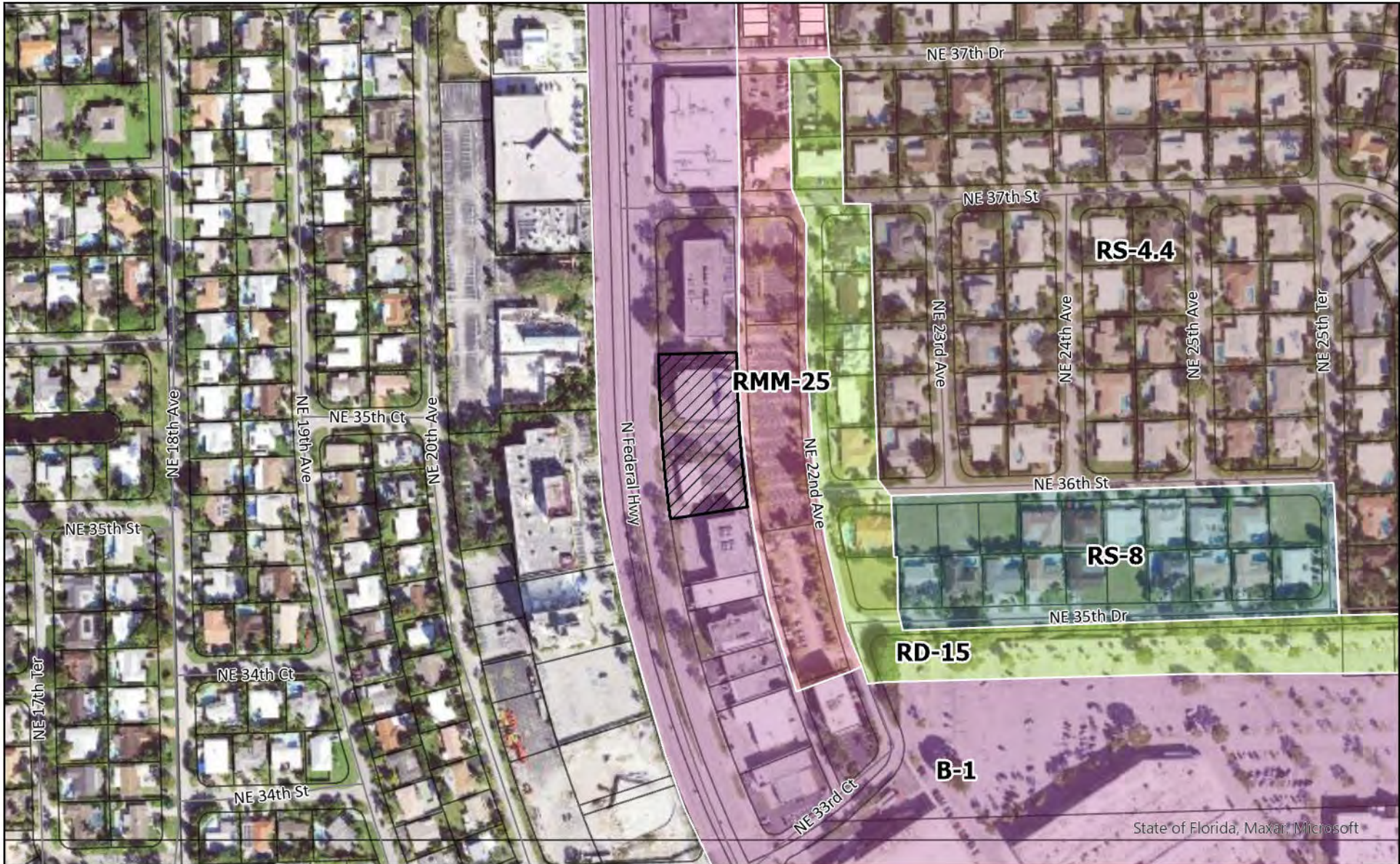
- e. Consider thicker cornice and banding to better match the scale of the building, that also projects out further to help add depth.
f. Provide additional high-quality durable materials to enhance the façades.

GENERAL COMMENT

- 10. Please note any proposed signs will require a separate permit application.
11. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.



12. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Pre-PZ and/or Final DRC sign-off, please schedule an appointment with the project planner (call 954-828-4798) to review project revisions and/or to obtain a signature routing stamp. Please note applicant is responsible for obtaining signatures from all discipline members that had comments and may need to resolve comments through individual appointments if necessary.



UDP-S23054 - 3600 N. FEDERAL HWY.

