



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: November 28, 2023

**PROPERTY OWNER /
APPLICANT:** Sasson Moulavi, Owner

AGENT: Gustavo Carbonell, Architect

PROJECT NAME: Riverside Residences

CASE NUMBER: UDP-S23058

REQUEST: Site Plan Level II Review: 14-Unit Townhouse
Development

LOCATION: Livermore Estates 19-11 B Lot 6

ZONING: Residential Multifamily Low Rise/Medium Density
District (RM-15)

LAND USE: Medium Residential

CASE PLANNER: Yvonne Redding



Case Number: UDP-S23058

CASE COMMENTS:

Please provide a response to the following:

1. Reference the Florida Building Code 7th edition on plan for the proposed development per section 101.2 of the 2020 FBC.
2. Specify fire-resistance separation requirements between townhouses based on section R302 of FBC 2020 Residential Volume.
3. Per Chapter 2 of the 2020 FBC townhouses are single-family dwelling units with property lines separating such units and each unit will be required to have its own folio number.
4. During the permitting process each townhouse will require a separate building permit for construction.

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

- a. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



Case Number: UDP-S23058

CASE COMMENTS:

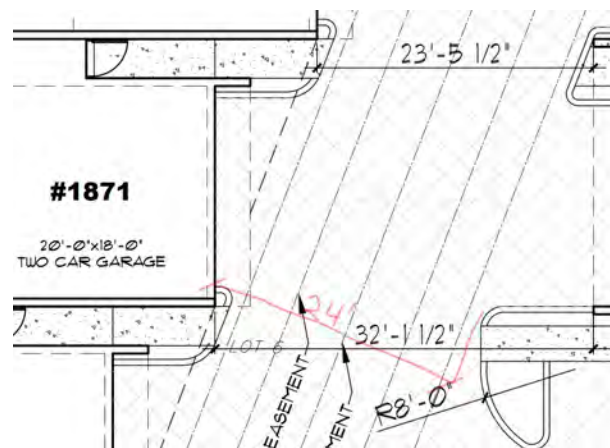
Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:

1. The survey shall be based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar.
 - a. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale.
 - b. If any encumbrances are found in the property, provide a copy of the recorded documents accordingly (i.e. easements, dedications, agreements, vacations, etc.).
 - c. Please ensure the survey reflects the existing drainage easement (ORB 2906, PG 132) and remove any conflicting improvement.
2. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website.
3. Please number all proposed sewer structures. Second manhole on the sanitary sewer system shall be within private property and centered on a proposed 10' x 15' (min.) permanent and exclusive Sewer Easement; show / label delineation in the plan.
4. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
5. Clearly indicate on plans how the proposed right-of-way proposed improvements will transition and match existing improvement north and south of the development frontage, to include sidewalk, curbs, roadway and drainage.
6. Depict/ label existing/ proposed stop sign/ bar on right of way adjacent to the site and on driveway connections to right of way as applicable.
7. Provide typical roadway cross-sections for the proposed improvement along Middle River Drive. Cross-sections shall at a minimum cover driveway access, on-street parallel parking lanes, and at landscape



swale areas and shall include dimensions, grade slope and elevation, and reflect existing/proposed improvements.

8. The proposed driveway approach (withing right-of-way) shall remain perpendicular to the roadway centerline.
9. For surface or ground-level parking lot layout:
 - a. Drive isle a parking or a unit garage shall he a minimum width of 20 feet.
 - b. Per ULDR Section 47-20.11.A, drive aisle width shall be 24' (min.) adjacent to 90-degree angle parking stalls. The criteria also applies to the areas immediately exiting the individual unit garage as picture below.



- c. Curbs surrounding the parallel parking stalls shall be oriented at a 45° approach angle to allow the driver the space to maneuver into the stall.
10. Pipe material for sewer connection shall follow City Standards. Please visit our website at City Engineering Standard Details for Sewer (fortlauderdale.gov).
11. The proposed hydrant fronting the development shall be independent from the fireline tap serving the development.
12. Water meter connections to the main shall follow City Standards. Please visit our website at City Engineering Standard Details | City of Fort Lauderdale, FL. Manifold connections are not acceptable.
13. Provide proposed grades on Paving, Grading, and Drainage Plan to demonstrate how stormwater runoff will remain onsite, to include typical grading sections along all property lines as appropriate. Drainage Calculations supporting both on and off-site development are required for DRC review and approval.
14. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way to be maintained in perpetuity by the property owner. Label all proposed improvements, including asphalt and other specialty paving, sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements. Perpetual maintenance of newly constructed exfiltration trenches, inlets, etc. within



adjacent City Right-of-Way will typically revert back to the City, upon successful inspection/acceptance by Public Works after 1-year warranty period.

15. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within right-of-way and construction fence gates shall not swing into the public Right-of-Way.
16. Proposed public and private improvements shall consider the construction limitation per Code of Ordinance Section 25-7 on all streets, alleys and sidewalks which are under the jurisdiction of the city, as these may be closed for construction for a period not to exceed seventy-two (72) hours.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S23058

CASE COMMENTS:

Please see comments below. Additional comments may be forthcoming once this requested information is submitted for 14 units townhome development.

1. Please be aware that at the time of building permit application you will be required to use the FEMA Flood Insurance Rate Map in effect at that time. If your plans are being designed to the 2014 FIRM Flood Insurance Rate Maps and when you make application for a building permit, you will use the Flood Insurance Rate Maps in effect at that time. Flood zones may also change, and applicants will be required to meet the Base Flood Elevation (BFE) + 1' freeboard = FFE of that particular flood zone in effect at time of building permit application. This is why the preliminary flood zone information has also been provided to you. See link: <https://gis.fortlauderdale.gov/2020prelimFEMAFloodMaps/>

2. The Base Flood Elevation currently (AE, BFE 5' NAVD 88) under the 2014 FIRM. The preliminary flood maps show (Panel 388J, AE), (BFE 7')

3. Show the Finish floor elevation on the following sheets (A-1.0 1st floor plan), (sheets A-1.1), (A-1.2), (A-2.0), (A-2.1), (A-2.2), (A3.0), (A3.1), (A3.2). Please use the NAVD 88 datum and show in feet (example BFE 8' NAVD 88)

4. Please show the finish floor elevation on the following sheets (Elevation sheet A 5.0, A 5.1 and A6.0). Presently it shows 11' NAVD. If this is the finish floor elevation for the townhome living space and the garage than show it, please on the sheets listed in number 3. Sheets (A-1.0 1st floor plan), (sheets A-1.1), (A-1.2), (A-2.0), (A-2.1), (A-2.2), (A3.0), (A3.1), (A3.2).

5. Flood vents will be required in the garage area if the finished floor elevation is below the BFE. Flood vents are required to be on opposing walls at 1 square inch for every square foot of enclosed area.

Reference

(Code of Ordinances, Chapter 14),

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

FEMA Elevator Installation (see link to FEMA technical Bulletin 4) see link below:

- A) Elevate all equipment above (BFE + 1')
- B) Cloud on plans that a (float switch) will be installed.
- C) Link provided.

https://www.fema.gov/sites/default/files/2020-07/fema_tb4_elevator_installation.pdf

Florida Building Code (7th edition) Flood Resistant Provision

https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/7th%20Ed_FBC_FloodProvisions_Nov2020r.pdf

City of Fort Lauderdale Flood Ordinance

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Highlights of ASCE 24-14 Flood Resistant Design and Construction (FEMA) (Section 2.7 enclosures below design flood elevation), (section 6.0 floodproofing). Section 7.0 utilities & equipment, (section 7.5 elevators)



<https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/highlights-of-asce-24-14-flood-resistant-design-and-construction.pdf?Web=1>

Per FEMA Elevator Installation (NFIP Technical Bulletin 4/ June 2019

https://www.fema.gov/sites/default/files/2020-07/fema_tb4_elevator_installation.pdf



Case Number: UDP-S23058

CASE COMMENTS:

Please provide a response to the following.

1. Tree preservation requirements apply, trees and palms that are good candidates for relocation or be saved by remaining in place should be.
2. Provide mitigation calculations for trees and palms and how it will be provided. Please provide mitigation in equivalent replacement and in equivalent value. Please indicate how the mitigation will be provided on Landscape plans. Here is a link to a city web page to help with mitigation calculations. <https://www.fortlauderdale.gov/home/showpublisheddocument/67614/63788916962470000>
3. Provide tree protection barricade detail for existing trees on site to remain, as per ULDR 47-21.15. This barricade must be installed prior to the beginning of the proposed work, and a landscape job-check inspection may be scheduled.
4. Provide, in tabular format, all required versus provided landscape calculations. Requirements pertaining to yet not limited to VUA, street trees, net lot landscape area.
5. See section 47-21.12. C. VUA tree requirements and provide.
6. Provide street trees in the right of way swale area, as per ULDR 47-21.13. B.16.
7. Tree canopy within a sight triangle requires a clearance of 8 feet. Please provide tree canopy 60% to tree canopy height clearance 40% ratio preferred 50%-50% acceptable, please heights adjust overall height of trees in sight triangles.
8. Show underground utilities on Landscape plans.
9. Illustrate and label the horizontal clearance from tree trunk to edge of utility on the landscape plan. Landscaping must provide a minimum horizontal clearance of 5 feet for small trees and palms, and a minimum of 10 feet for large trees and palms from underground utilities.
10. Shade trees require a minimum of 15 feet from structures.
11. As per Section 47-21.9. G.1. Each tree shall have pervious area surrounding it sufficient to support the species, as determined by the department. Shade species with a minimum caliper of three (3) inches, two hundred and twenty-five (225) square feet with fifteen (15) feet being the smallest dimension.
 - a. Tree islands may be reduced in width to a minimum of 8 feet inside curb to inside curb. Under the adjacent pavement will require structural soil or a product engineered for root growth under paved areas to provide this root development area.
12. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans.



The structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.

- a. Demonstrate hashing on landscape, site, and civil plans as to the extent of use of the Structural Soil.
 - b. Provide Structural Soil Detail and composition.
13. A suspension modular paving system product may be used in place of CU Structural Soil. Please look into the use of the Green Blue Urban soil cell, Silva cell or like product for this and all future site developments. Provide a detail of product of use for root development under paved areas.
 14. Provide an overlay sheet demonstrating the 35% landscape requirement as to the Neighborhood Design Criteria Revisions. Please keep in mind that paving in the side yard such as between 1849 and 1855 counts against the landscape area, as well as pools and decks in the front yard. The sidewalk from the public realm sidewalk to the front door at the minimum 3 feet width will not count against the landscape area. Also, please verify what is to be used within the 5 feet pedestrian easement. Artificial turf does not count against, while paving will count against the landscape area requirement.
 15. During staff meeting it was mentioned that on-street parking to be removed as to being cohesive with the neighborhood. Please provide additional landscape materials for a visual enhancement to the project. If on-street parking is to remain, please provide a bulb-out after each parking stall to allow additional trees for proper placement of street trees.
 16. Please show overhead utilizes on Landscape plans and demonstrate off set from those utilities.
 17. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This basically means that plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Plant material species must be minimum 50% Florida Friendly Landscaping. Planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Illustrate hydrozones of high, medium, and low on a plan, and include calculations in table.
 18. Simpson's Stopper trees located on the east side of the site, require a minimum 5 feet width planting pit to count towards site code requirements and or mitigation for those removed.
 19. Please show planting area dimensions (inside curb to inside curb) of the tree islands, palms such as the Pheonix palms require a minimum of 5 by 5 feet planting area.
 20. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This basically means that plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Plant material species must be minimum 50% Florida Friendly Landscaping. Planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use



through irrigation. Illustrate hydrozones of high, medium, and low on a plan, and include calculations in table.

21. Additional comments may be forthcoming after next review of new plans and written comment responses.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

22. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
23. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.
24. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.
25. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.



Case Number: UDP-S23058

CASE COMMENTS:

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180-degree view peephole.
2. Residential unit entry doors should be equipped with a quality secondary deadbolt locking system and have a 180-degree peephole or view port for security.
3. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
4. All glazing should be impact resistant.
5. Units should be pre-wired for an alarm system.
6. Lighting and landscaping should follow CPTED guidelines.
7. A Video Surveillance System (VSS) should be employed throughout the property with focus on entry/exit points. It should be capable of retrieving an identifiable image of a person.
8. Pool areas should be equipped with a child proof access control feature to prevent unsupervised children access to the pool. Pool barrier should comply with Florida Building code R4501. Horizontal slats creating a "ladder" effect are not compliant.
9. Light reflecting paint should be used in parking areas.
10. Parking entry/exit should be access controlled.
11. First Responders should be notified of all access codes or procedures.

GENERAL COMMENTS

It is highly recommended that the managing company make arrangement for private security during construction.

Please submit responses in writing prior to DRC sign off.



Case Number: UDP-S23058

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be included in the monthly maintenance fee as prescribed in owner's association documents (multi-family).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
8. Containers: must comply with 47-19.4
9. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthened apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
10. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to Gwoolweaver@fortlauderdale.gov . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*
 - *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



Case Number: UDP-S23058

CASE COMMENTS:

1. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
2. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls. Properly dimension the parking stall dimensions on the plan sets. It is not clear if the drive aisles and parking stalls meet the city's minimum requirements, please provide dimensions at the pinch points.
3. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. Please note that if there is a proposed gate at the ingress and egress points for this development, the gate will be considered the first conflict point. The minimum inbound and outbound stacking requirements is one space. The site does not meet the 22 feet minimum requirement from the back of sidewalk.
4. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
5. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
6. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
7. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
8. Illustrate the upstream and downstream driveway and intersection sight triangle requirements in Table 212.11.2 Parking Restrictions for Driveways and Intersections of the FDOT FDM.
<https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/roadway/fdm/2022/2022fdm212intersections.pdf>
9. The city reserves the right to meter on street parking stalls on the public right of way at any time.
10. Please add the following note on the site plan for the on-street parking, "None of the on-street spaces are reserved for the development and may be used by any member of the public. On-street spaces



will not count towards the parking requirements for the project; The spaces may be removed at any time for any reason and the City of Fort Lauderdale will not relocate displaced on-street parking.”

11. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
12. Additional comments may be provided upon further review.

GENERAL COMMENTS

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

Case Number: UDP-S23058

CASE COMMENTS:

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 120 days of completeness determination, on or before *February 26, 2024*, unless a mutually agreed upon time extension is established between the City and the applicant. Please provide a statement requesting and agreeing to a waiver of these timeframes, or request a specified amount of additional time to address the comments and provide sufficient time for review and approval. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed.
2. The site is designated Medium on the City's Future Land Use Map. The proposed use is permitted in these designations. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
3. The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the [Platting Determination Submittal Requirements](#) or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#).
4. Provide the following changes on site plan:
 - a. Provide building footprint in heavier line weight.
 - b. Garage measurements, including door opening and interior clearance.
 - c. Depict all gates and pool safety fencing.
 - d. Dimension all sidewalks.
 - e. Clarify use and function of the ramp located adjacent to the stairs in the rear yards.
 - f. Dimension to proposed pools and any associated equipment.
 - g. Indicate all adjacent building footprints, indicating their uses and heights, and dimension approximate setbacks.
 - h. Show centerlines of all adjacent ROWs and dimension widths.
 - i. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from Florida Power & Light Company indicating such.
 - j. Clearly label on site plan the location of enclosure(s), dumpster(s), recycling area(s), containers, etc. as applicable relating to Solid Waste / Recycling. Indicate on plans where users' accessibility is accommodated for all container areas.
5. Provide the following changes on elevations:
 - a. Identify and label all architectural elements including proposed color.
 - b. Consider varying the roof height to provide interest and distinguish between units.
 - c. Show mechanical equipment beyond parapet with dashed lines, to ensure parapet height is a minimum of 6 inches taller than the equipment.
 - d. Additional fenestration and architectural features should be provided along the facades facing the drive aisle and the adjacent buildings to the north and south.
6. Pursuant to Section 47-18.33.B, Site Design Criteria, the project is not meeting the following requirements:



- a. Section 47-18.33.B.3, Group Limit, provide the specific percentage of setback that the front façade is recessed from the rest of each townhouse group;
 - b. Section 47-18.33.B.7, Entrance requirements, all units facing the public right-of-way (NE 24th Avenue) must have entry features that are compliant with 47-18.33.C.6;
7. Discuss location of existing easements and utilities with engineering. It appears that there is a conflict with the easements running through the site.
 8. Provide required stacking measurement from the center of the drive aisle, this measurement must meet the 22-foot requirement. Ensure backout clearance between garages meets the minimum 24-foot requirement.
 9. Provide truck turning radius template, to ensure circulation is adequate throughout the development.
 10. Discuss with the Zoning Manager the placement of the 5-foot access easement shown adjacent to the seawall.
 11. Section 47-18.33.B.4, Access, provisions satisfactory to the City Attorney's Office shall be made for a recordable easement over the driveway for all public utilities and for use by owners within the group; Please be aware the CAO may require the easement to be relocated closer to the building.
 12. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.
 - a. Please email Karen Warfel at kwarfel@fortlauderdale.gov for more information on bicycle parking standards and to obtain a copy of the Association of Pedestrian and Bicycle Professionals [APBP] Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facility Guide.
 13. Staff reserves the right to provide additional comments based on applicant's revised plans and responses.
 14. If a temporary construction is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
 15. Provide a preliminary construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process.
 16. An additional follow-up coordination meeting may be needed to review project changes necessitated by the DRC comments.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Final Development Review Committee (DRC):



1. Provide a written response to all DRC comments within 180 days.
2. Please be advised that pursuant to State Statute, Section 166.033, development permits which require a quasi-judicial or public hearing decision, must be completed within 180 days, unless an extension of time is mutually agreed upon between the City and the applicant.
3. Pursuant to the Unified Land Development Regulations (ULDR) Section 47-28, the proposed project requires allocation of residential flex units. Verify the availability of flex acreage. Contact Yvonne Redding, Urban Planner at yredding@fortlauderdale.com and include the flex unit request in the application project narrative and demonstrate that the use of flexibility units meets code criteria, supports and implements specific relevant goals, objectives and policies of the City's Comprehensive Plan, Land Use Element, by providing point-by-point narrative responses, on letterhead, with date and author indicated.
4. For additional information regarding incorporation of wireless capabilities into the project in initial planning stages, please contact the applicable utility provider.
5. All construction activity must comply with Code of Ordinances, Section 24-11, Construction sites. Contact Noel Zamora, Structural Plans Examiner (954-828-5536) to obtain his signature on the final DRC plans.
6. Additional comments may be forthcoming at the DRC meeting. Please provide a written response to all DRC comments.



UDP-S23058 - 1827-1831 MIDDLE RIVER DR.



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