



DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 01/24/2023

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only complete the sections indicated for application type with N/A for those section items not applicable. Refer to "Specifications for Plan Submittal" by application type for information requirements for submittal. Select the application type and approval level in **SECTION A** and complete the sections specified.

A APPLICATION TYPE AND APPROVAL LEVEL *Select the application type from the list below and check the applicable type.*

<input type="checkbox"/> LEVEL I ADMINISTRATIVE REVIEW COMMITTEE (ADMIN) <ul style="list-style-type: none"> ┆ New nonresidential less than 5,000 square feet ┆ Change of use (some impact or less than existing use) ┆ Plat note/Nonvehicular access line amendment ┆ Administrative site plan ┆ Amendment to site plan* ┆ Property and right-of-way applications (MOTs, construction staging) ┆ Parking Agreements (separate from site plans) <p style="text-align: center;">COMPLETE SECTIONS B, C, D, G</p>	<input checked="" type="checkbox"/> LEVEL II DEVELOPMENT REVIEW COMMITTEE (DRC) <ul style="list-style-type: none"> ┆ New Nonresidential 5,000 square feet or greater ┆ Residential 5 units or more ┆ Nonresidential use within 100 feet of residential property ┆ Redevelopment proposals ┆ Change in use (if great impact than existing use) ┆ Development in Regional Activity Centers (RAC)* ┆ Development in Uptown Project Area* ┆ Regional Activity Center Signage ┆ Design Review Team (DRT) ┆ Affordable Housing (≥10%) <p style="text-align: center;">COMPLETE SECTIONS B, C, D, E, F</p>	<input type="checkbox"/> LEVEL III PLANNING AND ZONING BOARD (PZB) <ul style="list-style-type: none"> ┆ Conditional Use ┆ Parking Reduction ┆ Flex Allocation ┆ Cluster / Zero Lot Line ┆ Modification of Yards* ┆ Waterway Use ┆ Mixed Use Development ┆ Community Residences* ┆ Social Service Residential Facility (SSRF) ┆ Medical Cannabis Dispensing Facility* ┆ Community Business District for uses greater than 10,000 square feet <p style="text-align: center;">COMPLETE SECTIONS B, C, D, E, F</p>	<input type="checkbox"/> LEVEL IV CITY COMMISSION (CC) <ul style="list-style-type: none"> ┆ Land Use Amendment ┆ Rezoning ┆ Plat ┆ Public Purpose Use ┆ Central Beach ┆ Development of Significant Impact* ┆ Vacation of Right-of-Way ┆ City Commission Review Only (review not required by PZB) ┆ Vacation of Easement* <p style="text-align: center;">COMPLETE SECTIONS B, C, D, E, F</p>
<input type="checkbox"/> EXTENSION <p>Request to extend approval date for a previously approved application</p> <p style="text-align: center;">COMPLETE SECTIONS B, C, H</p>	<input type="checkbox"/> DEFERRAL <p>Request to defer after an application is scheduled for public hearing</p> <p style="text-align: center;">COMPLETE SECTIONS B, C, H</p>	<input type="checkbox"/> APPEAL/DE NOVO <ul style="list-style-type: none"> ┆ Appeal decision by approving body ┆ De Novo hearing items <p style="text-align: center;">COMPLETE SECTIONS B, C, H</p>	<input type="checkbox"/> PROPERTY AND ROW ITEM <ul style="list-style-type: none"> ┆ Road closures ┆ Construction staging plan ┆ Revocable licenses <p style="text-align: center;">COMPLETE SECTIONS B, C, E</p>

*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

B APPLICANT INFORMATION *If applicant is the business operator, complete the agent column and provide property owner authorization.*

Applicant/Property Owner	EL TAMARINDO LLC	Authorized Agent	GUSTAVO J CARBONELL ARCH
Address	233 STATE ROAD 84	Address	1457 NE 4 AVE
City, State, Zip	FT. LAUDERDALE, FL 33315	City, State, Zip	FT LAUDERDALE FL 33304
Phone	954 512 8909	Phone	954 462 6565
Email	condoresmeralda@icloud.com	Email	Gcarbonell@aicarch.com
Proof of Ownership	Tax Record	Authorization Letter	Letter Attached
Applicant Signature:		Agent Signature:	GUSTAVO J CARBONELL <small>Digitally signed by GUSTAVO J CARBONELL Date: 2023.10.31 20:20:30 -0400</small>

C PARCEL INFORMATION

Address/General Location	840 W STATE RD 84
Folio Number(s)	5042 22 14 0020
Legal Description (Brief)	SEE SURVEY
City Commission District	IV
Civic Association	EDGEWOOD

D LAND USE INFORMATION

Existing Use	VACANT
Land Use	COMMERCIAL/RESIDENTIAL
Zoning	B-1/CB
Proposed	<i>Applications requesting land use amendments and rezonings.</i>
Proposed Land Use	CPMMERCIAL/RESIDENTIAL
Proposed Zoning	B-1/CB

E PROJECT INFORMATION *Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.*

Project Name	TAMARINDO RESTAURANT									
Project Description (Describe in detail)	RESTAURANT/BAR WITH 150 SEATS ONE STORY 3587 S.F.									
Estimated Project Cost	\$	3,000,000	<i>(Estimated total project cost including land costs for all new development applications only)</i>							
Affordable Housing Number of Units		30%	50%	60%	80%	100%	120%	140%		



Waterway Use	No				
Flex Units Request	No				
Commercial Flex Acreage	No				
Residential Uses					
Single Family					
Townhouses					
Multifamily					
Cluster/Zero Lot Line					
Other					
Total (dwelling units)					
Unit Mix (dwelling units)	<table border="1"> <tr> <td>Studio or Efficiency</td> <td>1- Bedroom</td> <td>2- Bedroom</td> <td>3+ Bedroom</td> </tr> </table>	Studio or Efficiency	1- Bedroom	2- Bedroom	3+ Bedroom
Studio or Efficiency	1- Bedroom	2- Bedroom	3+ Bedroom		

Traffic Study Required	No
Parking Reduction	No
Public Participation	No
Non-Residential Uses	
Commercial	
Restaurant	YES
Office	
Industrial	
Other	
Total (square feet)	3587 S.F. GROSS

F PROJECT DIMENSIONAL STANDARDS *Indicate all required and proposed standards for the project. Circle yes or no where indicated.*

	Required Per ULDR	Proposed	
Lot Size (Square feet/acres)	N.A.	26,182 S.F. 0.6011 ACRES	
Lot Density (Units/acres)	N.A.		
Lot Width	N.A.		
Building Height (Feet)	150 FEET	26 FT	
Structure Length	N.A.	114'-6"	
Floor Area Ratio (F.A.R)	N.A.	13.7	
Lot Coverage	N.A.	13.7 %	
Open Space	N.A.	7,393 S.F. 28.24%	
Landscape Area	N.A.	4430 S.F. 16.92%	
Parking Spaces	35	35	
SETBACKS (Indicate direction N,S,E,W)	Required Per ULDR	Proposed	
Front [N]	20 FT TO CURB	20 FT FROM CURB	
Side [E]	0 FT	32'-8"	
Corner / Side [W]	5 FT	15'-6"	
Rear [S]	10 FT ACROSS RESIDENTIAL	117'-0"	
<i>For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.</i>			
Tower Stepback	Required Per ULDR	Proposed	Deviation
Front / Primary Street []			
Sides / Secondary Street []			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			

G AMENDED PROJECT INFORMATION *Provide approved and proposed amendments for project. Circle yes or no where indicated.*

Project Name			
Proposed Amendment Description (Describe in detail)			
	Original Approval	Proposed Amendment	Amended
Residential Uses (dwelling units)			
Non-Residential Uses (square feet)			
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			

H EXTENSION, DEFERRAL, APPEAL INFORMATION *Provide information for specific request. Circle approving body and yes or no.*

Project Name						
Request Description						
	EXTENSION REQUEST		DEFERRAL REQUEST		APPEAL REQUEST / DE NOVO HEARING	
Approving Body		Approving Body		Approving Body		
Original Approval Date		Scheduled Meeting Date		30 Days from Meeting (Provide Date)		
Expiration Date (Permit Submittal Deadline)		Requested Date		60 Days from Meeting (Provide Date)		
Expiration Date (Permit Issuance Deadline)		Previous Deferrals Granted		Appeal Request		



<p>Requested Extension <i>(No more than 24 months)</i></p> <p>Code Enforcement <i>(Applicant Obtain by Code Compliance Division)</i></p>	<p>Justification Letter Provided</p>	<p>Indicate Approving Body Appealing De Novo Hearing Due to City Commission Call-Up</p>
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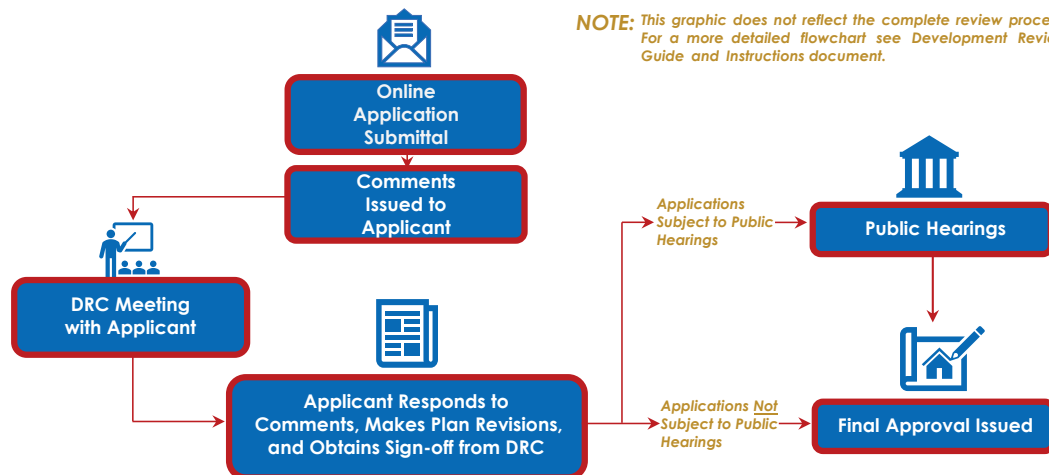
CHECKLIST FOR SUBMITTAL AND COMPLETENESS: The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

- Preliminary Development Meeting** completed on the following date: AUGUST 24 2023 **PROVIDE DATE**
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** applicant contact David Goodrum at 954-828-5976 or DGoodrum@fortlauderdale.gov
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS: Submittals must be conducted through the City's online citizen access portal [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delays in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.

DRC PROCESS OVERVIEW: The entire development review process flowchart can be found in the [Development Application Guide and Instructions](#) document. Below is a quick reference flowchart with key steps in the process to guide applicants.



CONTACT INFORMATION: Questions regarding the development process or [LauderBuild](#), see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS	
Planning Counter 954-828-6520, Option 5 planning@fortlauderdale.gov	

LAUDERBUILD ASSISTANCE AND QUESTIONS	
DSD Customer Service 954-828-6520, Option 1 lauderbuild@fortlauderdale.gov	

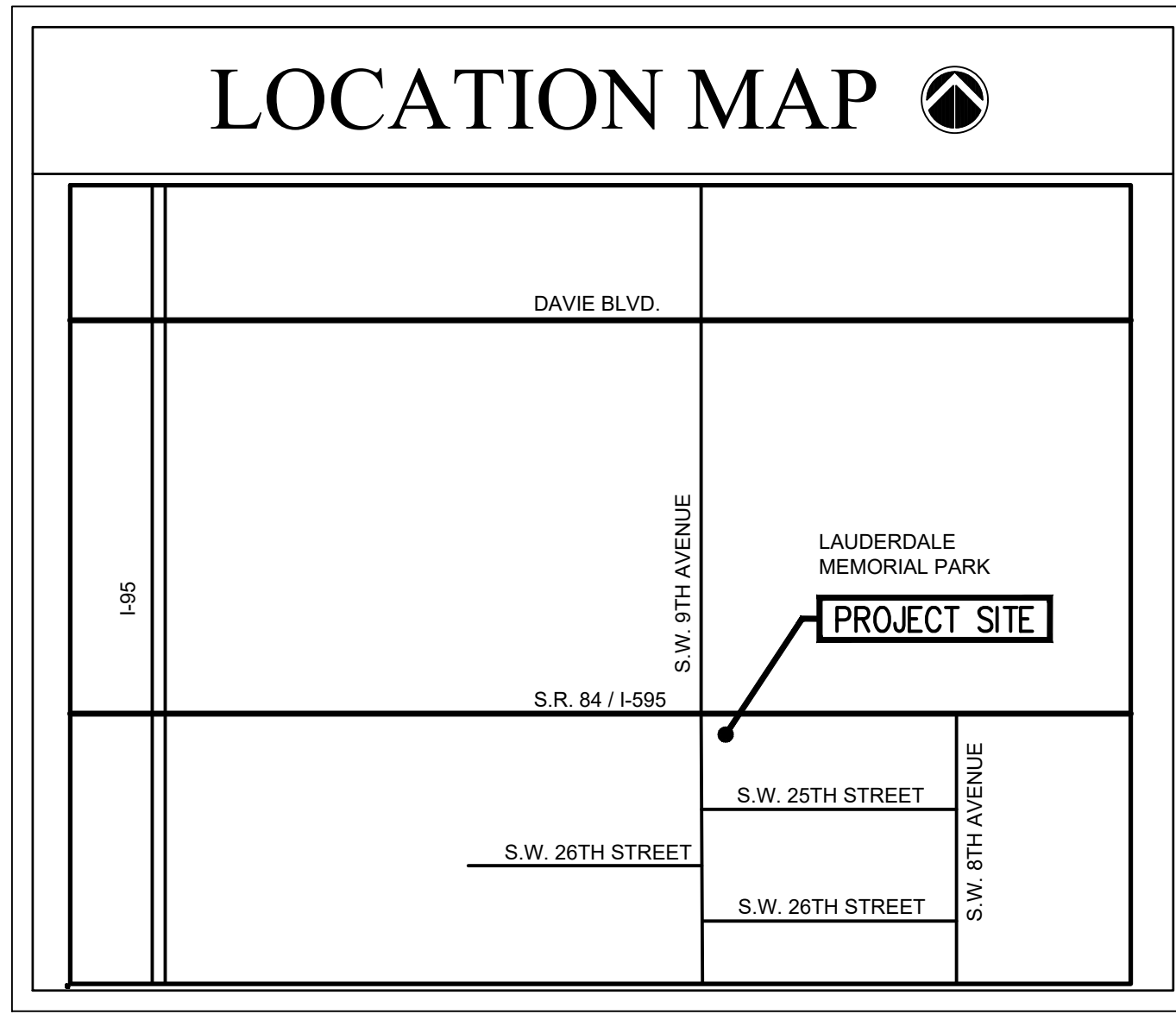
TAMARINDO RESTAURANT


STATE ROAD 84

FORT LAUDERDALE, FLORIDA



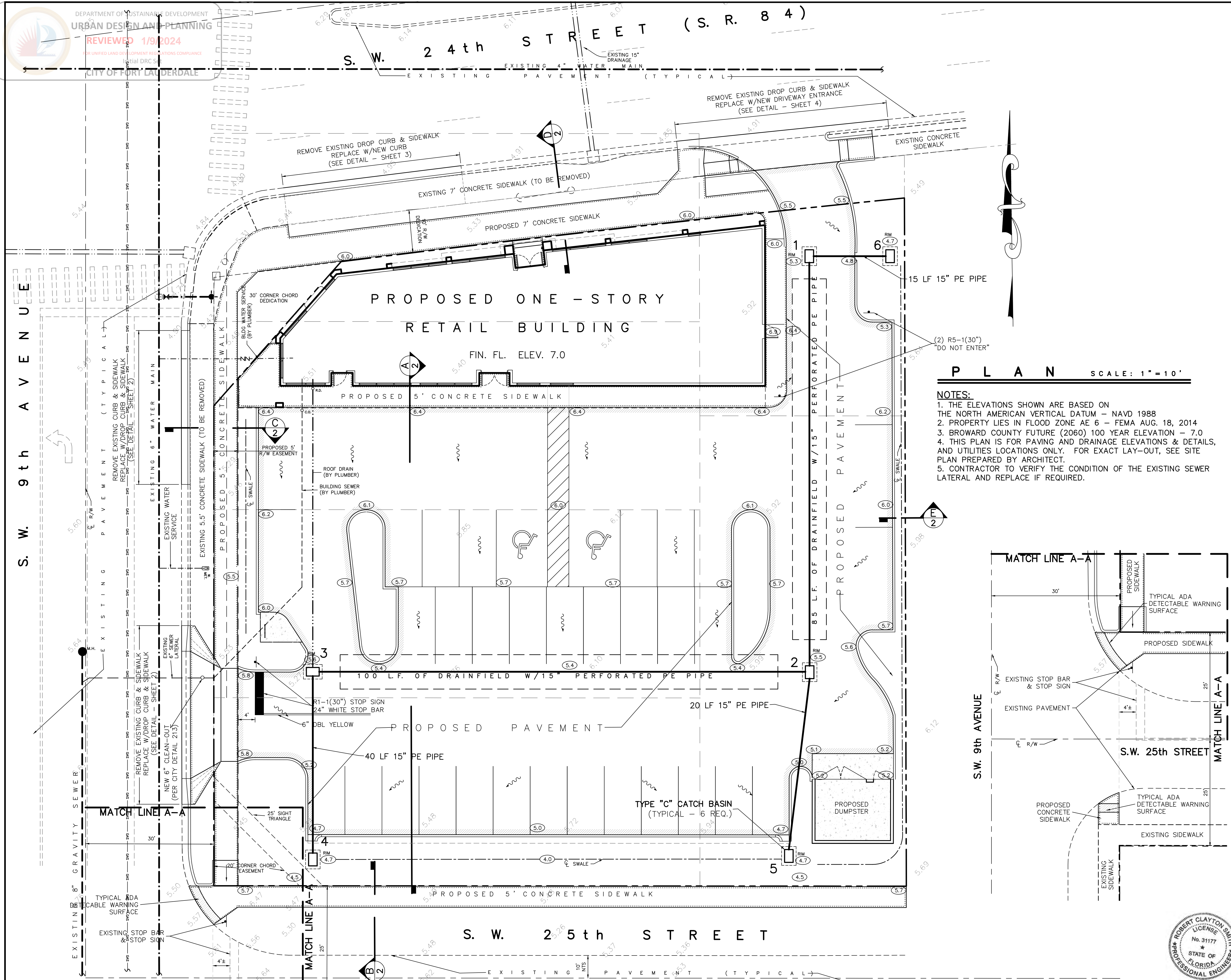
SHEET INDEX	
COV-1	COVER SHEET
	SURVEY
SITE/DATA	
SP-1	SITE PLAN AND DATA
SP-2	SITE DETAILS
SP-3	SITE DETAILS
CIVIL	
C-1	CIVIL ENGINEERING PLAN
C-2	CIVIL ENGINEERING DETAILS
C-3	CIVIL ENGINEERING EROSION CONTROL PLAN
LANDSCAPING	
L-1	LANDSCAPE PLAN, TYP. DETAILS & NOTES
TD-1	TREE DISPOSITION PLAN
PHOTOMETRIC	
PH-1	SITE PHOTOMETRIC PLAN
ARCHITECTURAL	
A-1	FLOOR PLAN
A-2	ROOF PLAN
A-3	NORTH AND SOUTH ELEVATIONS
A-4	EAST AND WEST ELEVATIONS



PROJECT TEAM		
ARCHITECT:  GUSTAVO J. CARBONELL, P.A. Architect and Planner <small>Member American Institute of Architects</small> <small>1457 N.E. 4th Ave. Phone: (954) 462-6555</small> <small>19 Lauderdale Plaza, 33304 Fort Lauderdale, Florida Fax: (954) 527-9857</small> <small>E-Mail: gcarbonell@gjcarbonell.com</small>	CIVIL ENGINEER: JOHN B. SMITH ENGINEERS, INC. <small>441 S. STATE ROAD 7, SUITE 100</small> <small>MARGATE, FLORIDA 33068</small> <small>PHONE: (954) 782-4177</small> <small>CERTIFICATE OF AUTHORIZATION NO. 1888</small>	LANDSCAPE ARCHITECT: KIM MOYER, R.L.A. <small>LANDSCAPE ARCHITECTURE</small> <small>(954) 492-9609</small> <small>Lic. No. #L0000952</small>

TAX FOLIO NUMBER:
 5042 2214 0020

FRANCHISE & UTILITY PROVIDERS:
 WATER - CITY OF FORT LAUDERDALE
 SEWER - CITY OF FORT LAUDERDALE
 GARBAGE - CITY OF FORT LAUDERDALE

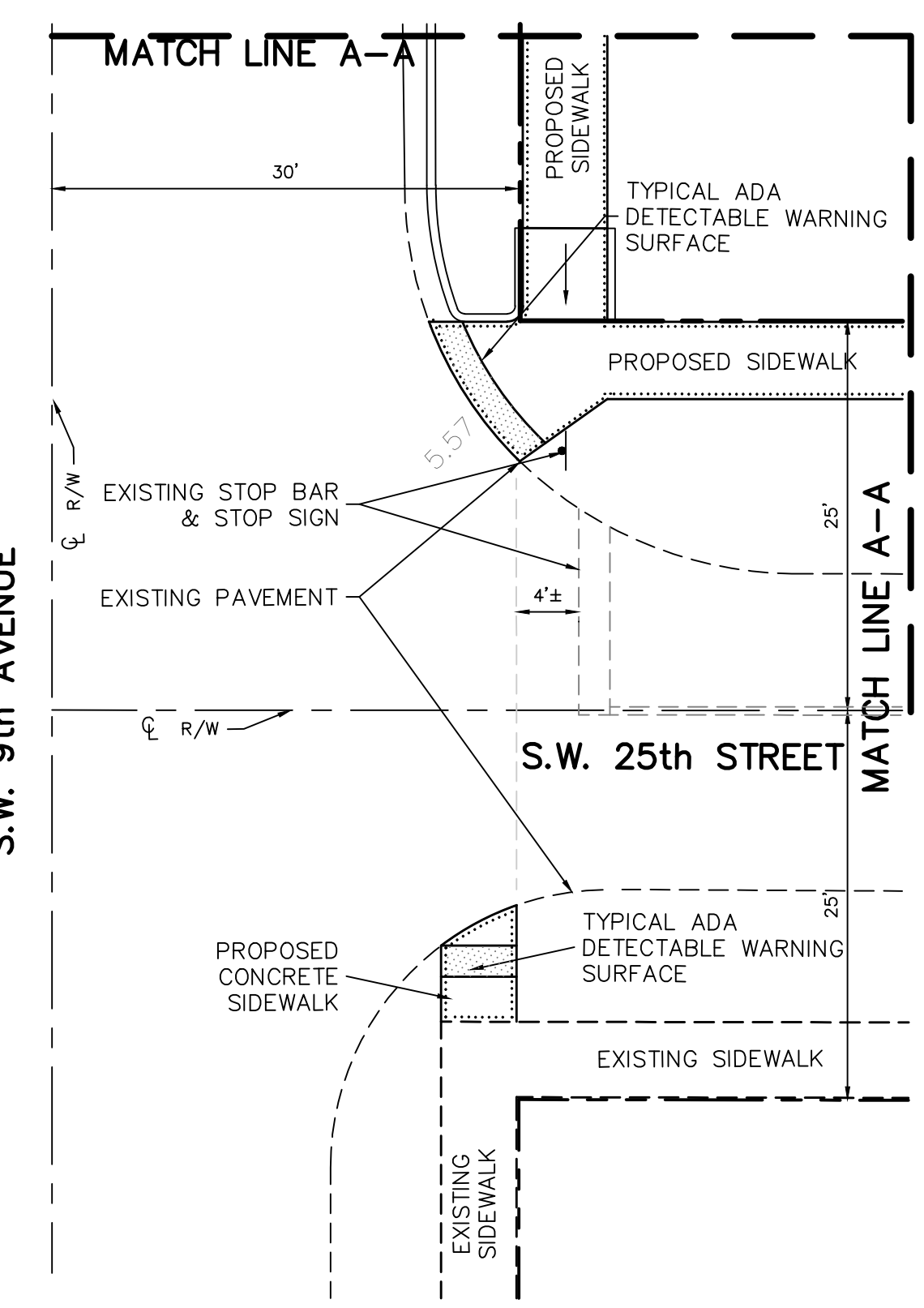


P L A N SCALE: 1" = 10'

- NOTES:**
1. THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM - NAVD 1988
 2. PROPERTY LIES IN FLOOD ZONE AE 6 - FEMA AUG. 18, 2014
 3. BROWARD COUNTY FUTURE (2060) 100 YEAR ELEVATION - 7.0
 4. THIS PLAN IS FOR PAVING AND DRAINAGE ELEVATIONS & DETAILS, AND UTILITIES LOCATIONS ONLY. FOR EXACT LAY-OUT, SEE SITE PLAN PREPARED BY ARCHITECT.
 5. CONTRACTOR TO VERIFY THE CONDITION OF THE EXISTING SEWER LATERAL AND REPLACE IF REQUIRED.

LEGAL DESCRIPTION:
 LOTS 2-6, & 26, BLOCK 1, "LAKEWAY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 7, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

- LEGEND:**
- EXISTING WATER MAIN
 - PROPOSED WATER MAIN
 - EXISTING SEWER MAIN
 - PROPOSED SEWER MAIN
 - EXISTING DRAINAGE
 - PROPOSED DRAINAGE
 - PROPOSED PAVEMENT
 - EXISTING PAVEMENT
 - EXISTING ELEVATIONS
 - PROPOSED ELEVATIONS
 - DIRECTION OF RUN-OFF
 - EXISTING TEE
 - PROPOSED TEE
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - EXISTING VALVE
 - PROPOSED VALVE
 - EXISTING MANHOLE
 - PROPOSED MANHOLE
 - EXISTING FIRE HYDRANT



DRAINAGE CALCULATIONS: (ON-SITE)

1. Requirement: Retain 2-1/2" x % Impervious
 $24143 \text{ S.F.} \times 2\text{-}1/2\text{"} \times 75\% = 3920 \text{ C.F.}$
2. Drainfield Provided:
 $H_2 = 2.5'$, $W = 6'$
 $D_u = 1.5'$, $K = 1 \times 10^{-4}$ (CFS/SF² - FT HEAD)
 $D_s = 1.5'$, $L = 180'$

a. Volume Stored in Trench
 $V(\text{C.F.}) = 0.5 \times W \times D_u \times L = 0.5 \times 5 \times 3 \times 180 = 1350 \text{ C.F.}$

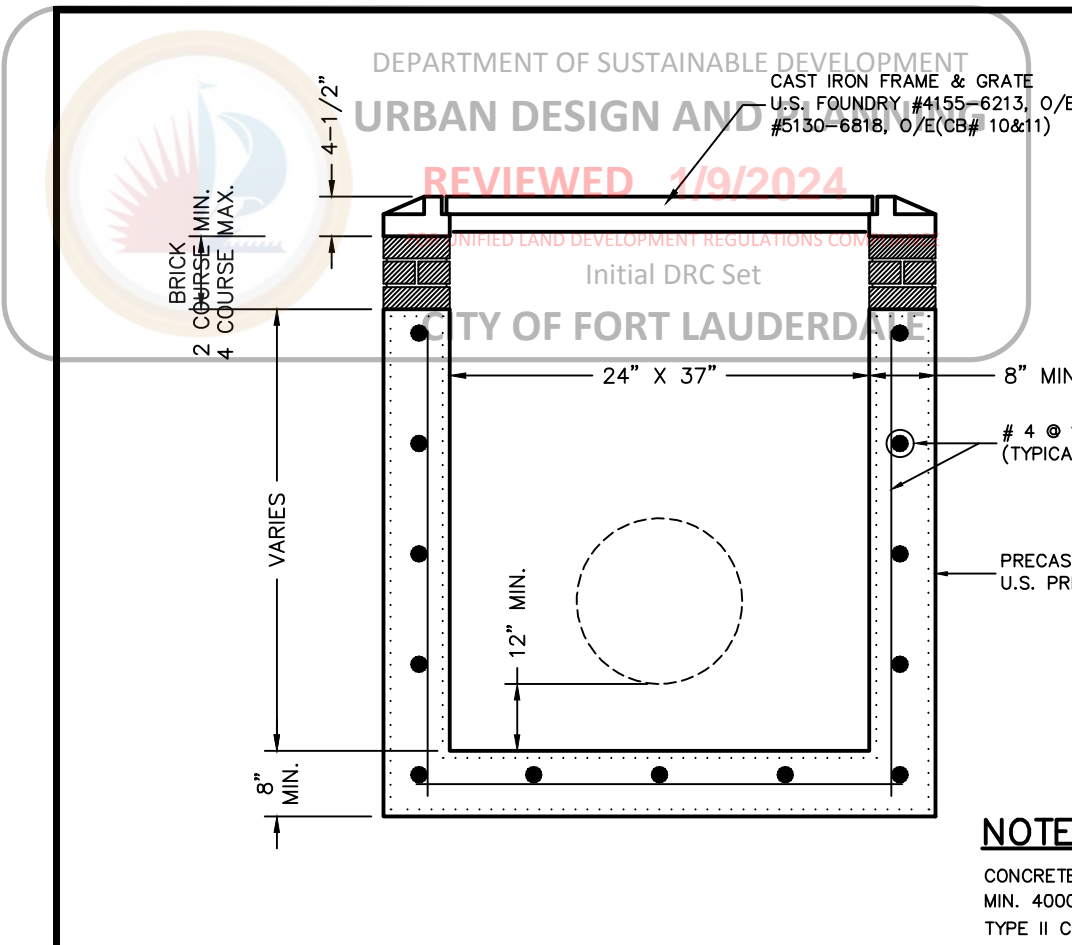
b. Volume Exfiltrated
 $V(\text{C.F.}) = 3600 \text{ K L} \{H_2 W + 2H_2 D_u - D_u^2 + 2H_2 D_s\}$
 $= 3600 (1 \times 10^{-4}) (180) \{4(5) + 2(4)3 - 3^2 + 2(4)3\} = 2786 \text{ C.F.}$
 Total = 4136 C.F.

Robert C Smith Digitally signed by Robert C Smith
 Date: 2023.07.21 10:36:51 -04'00'

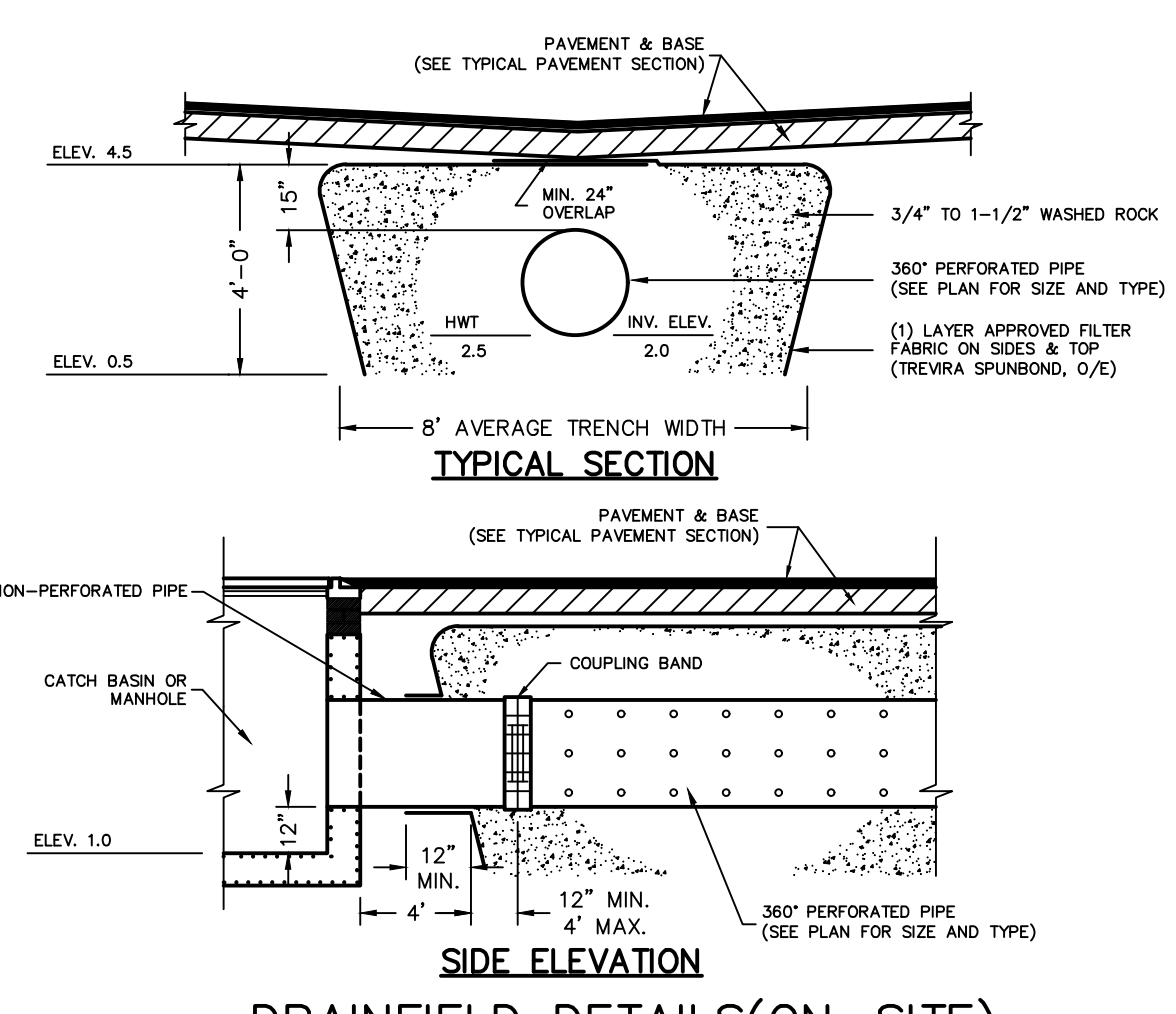
This item has been digitally signed and sealed by Robert C Smith, P.E., on July 21, 2023. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

PAVING, GRADING AND DRAINAGE WATER AND SEWER SERVICE CONNECTIONS PLAN			
GUSTAVO J. CARBONNEL ARCHITECT FORT LAUDERDALE, FLORIDA			
TAMARINDO (840 S.R. 84)			
JOHN B. SMITH ENGINEERS, INC. 1457 N.E. 4th AVENUE FORT LAUDERDALE, FLORIDA 33304 PHONE: (954) 763-4177 CERTIFICATE OF AUTHORIZATION NO. 1888			
DESIGN R.C.S.	DRAWN RCS	DATE JUNE, 2023	FILE 23-125
Robert C Smith			SHEET C10F 3

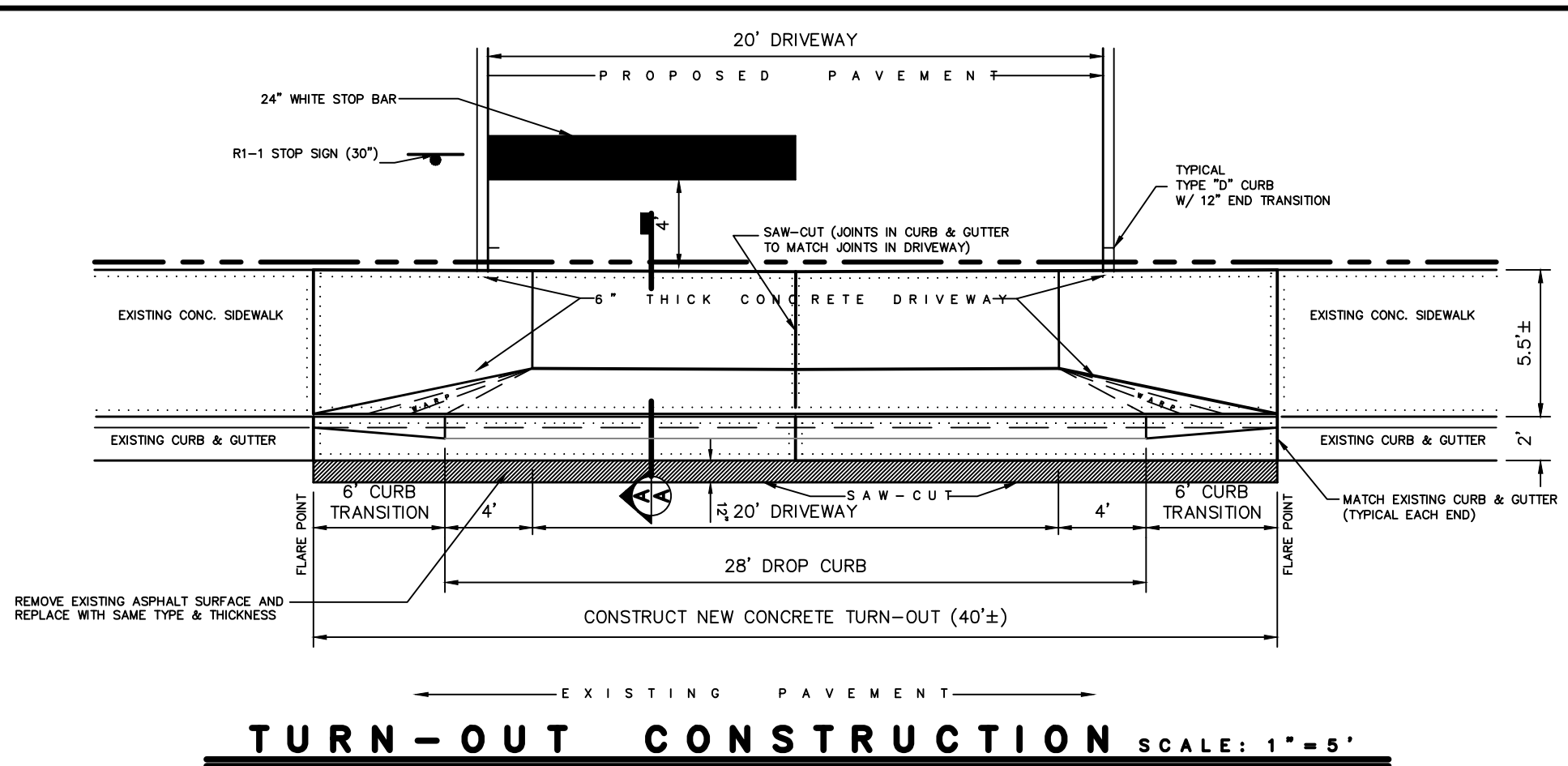




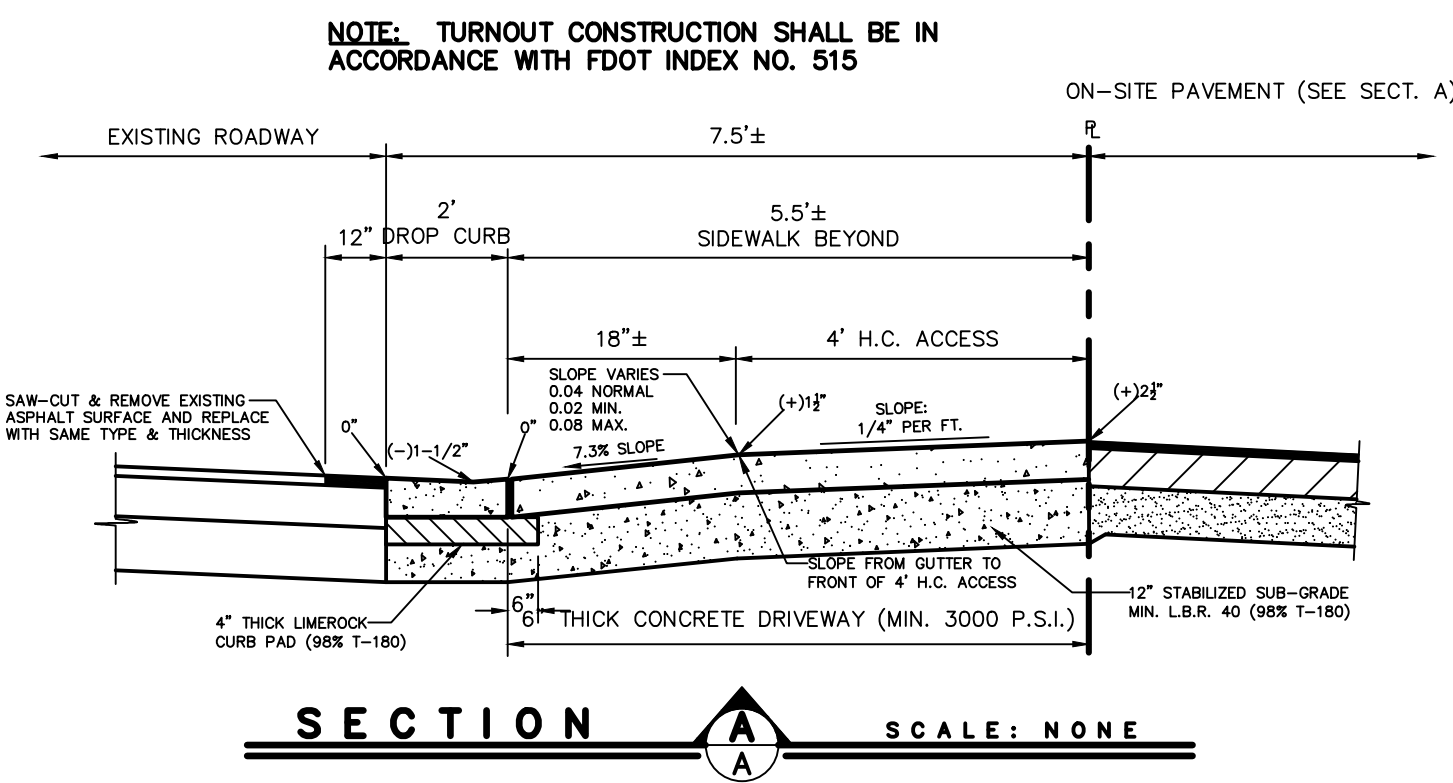
TYPE "C" CATCH BASIN DETAIL



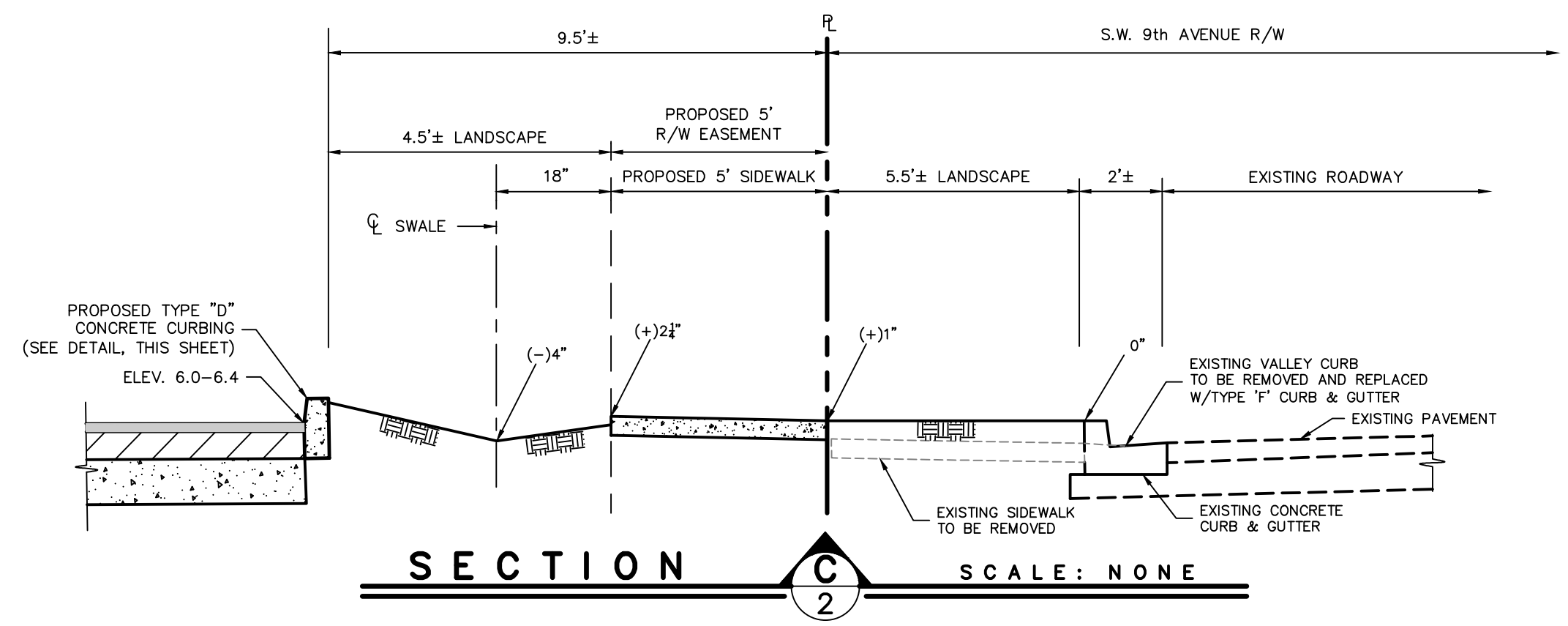
DRAINFIELD DETAILS (ON-SITE)



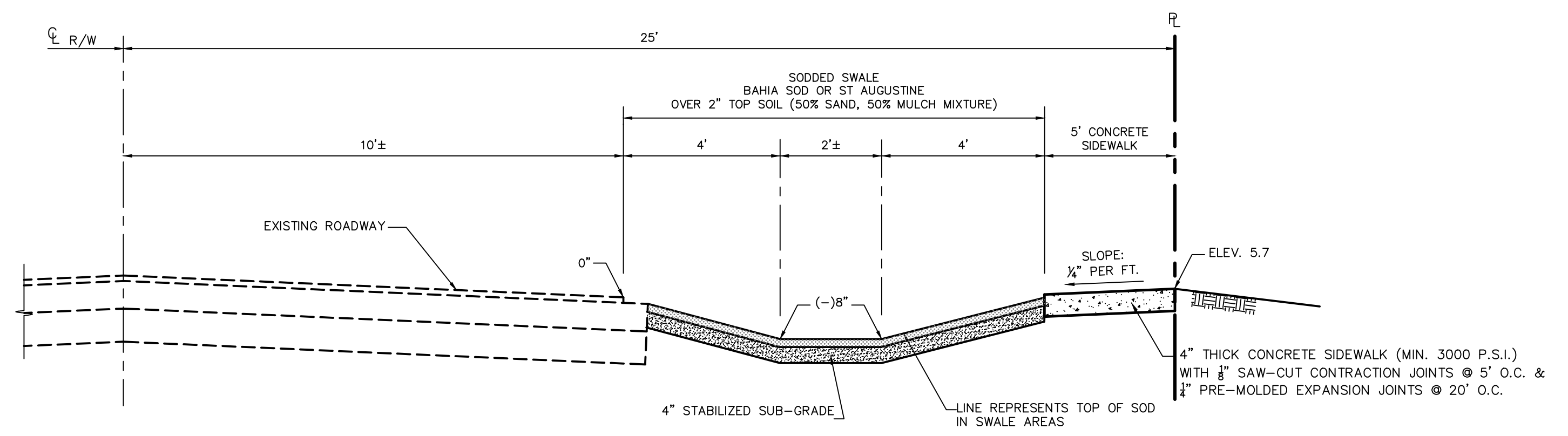
TURN-OUT CONSTRUCTION SCALE: 1"=5'



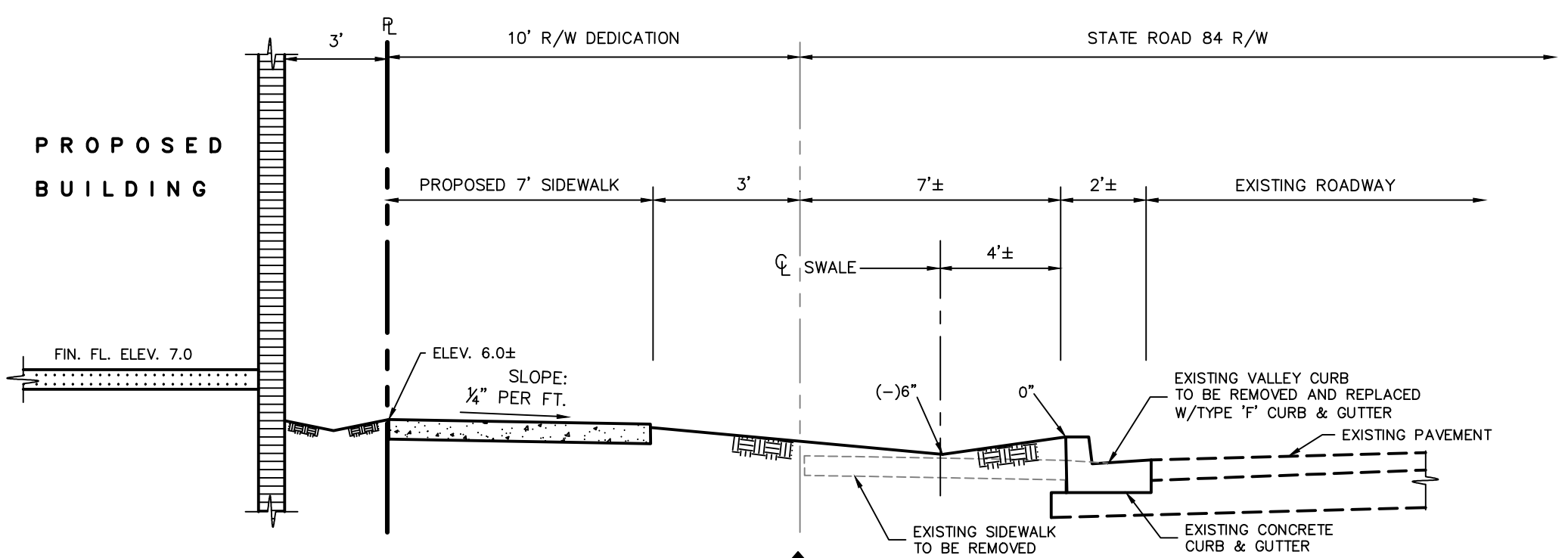
SECTION A SCALE: NONE



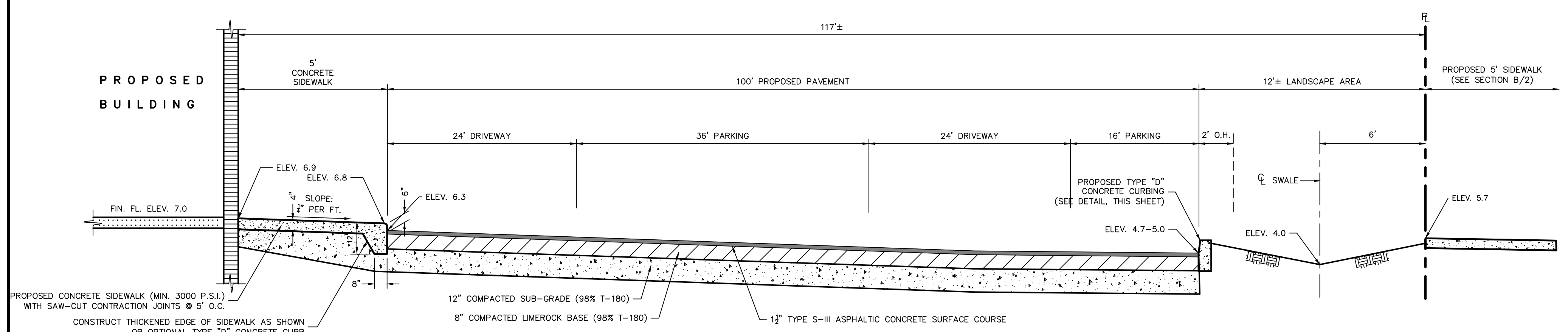
SECTION C SCALE: NONE



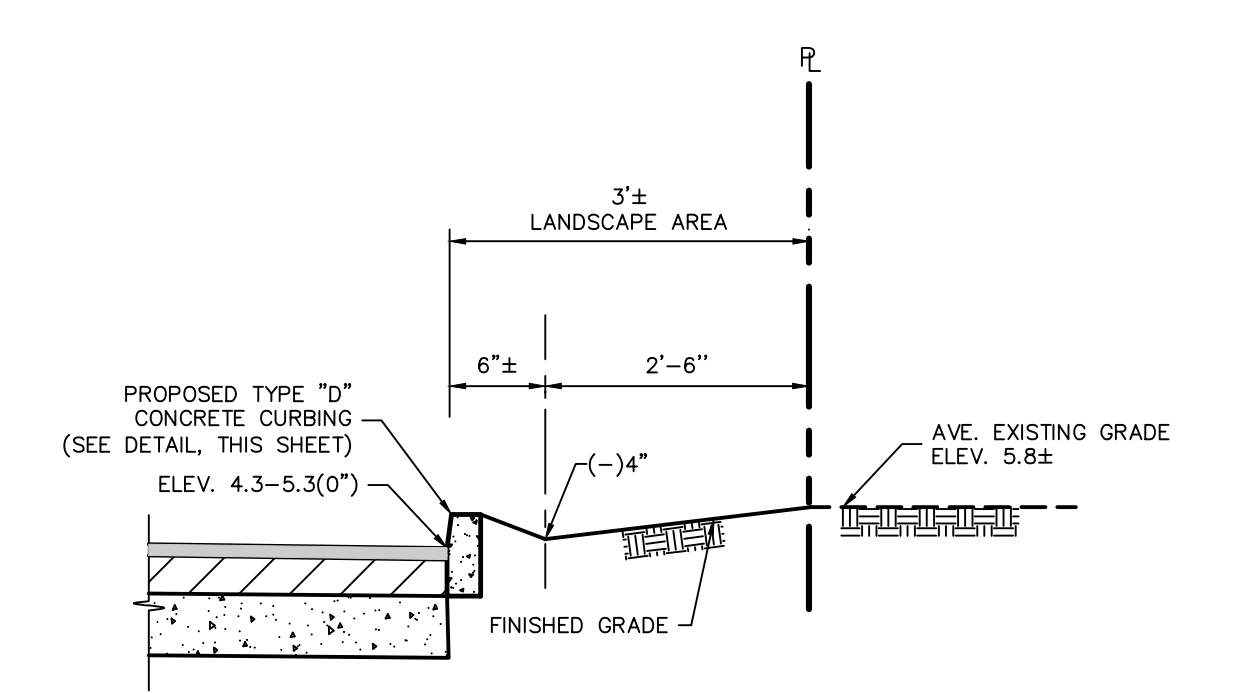
SECTION B SCALE: NONE



SECTION D SCALE: NONE



SECTION A SCALE: NONE



SECTION E SCALE: NONE

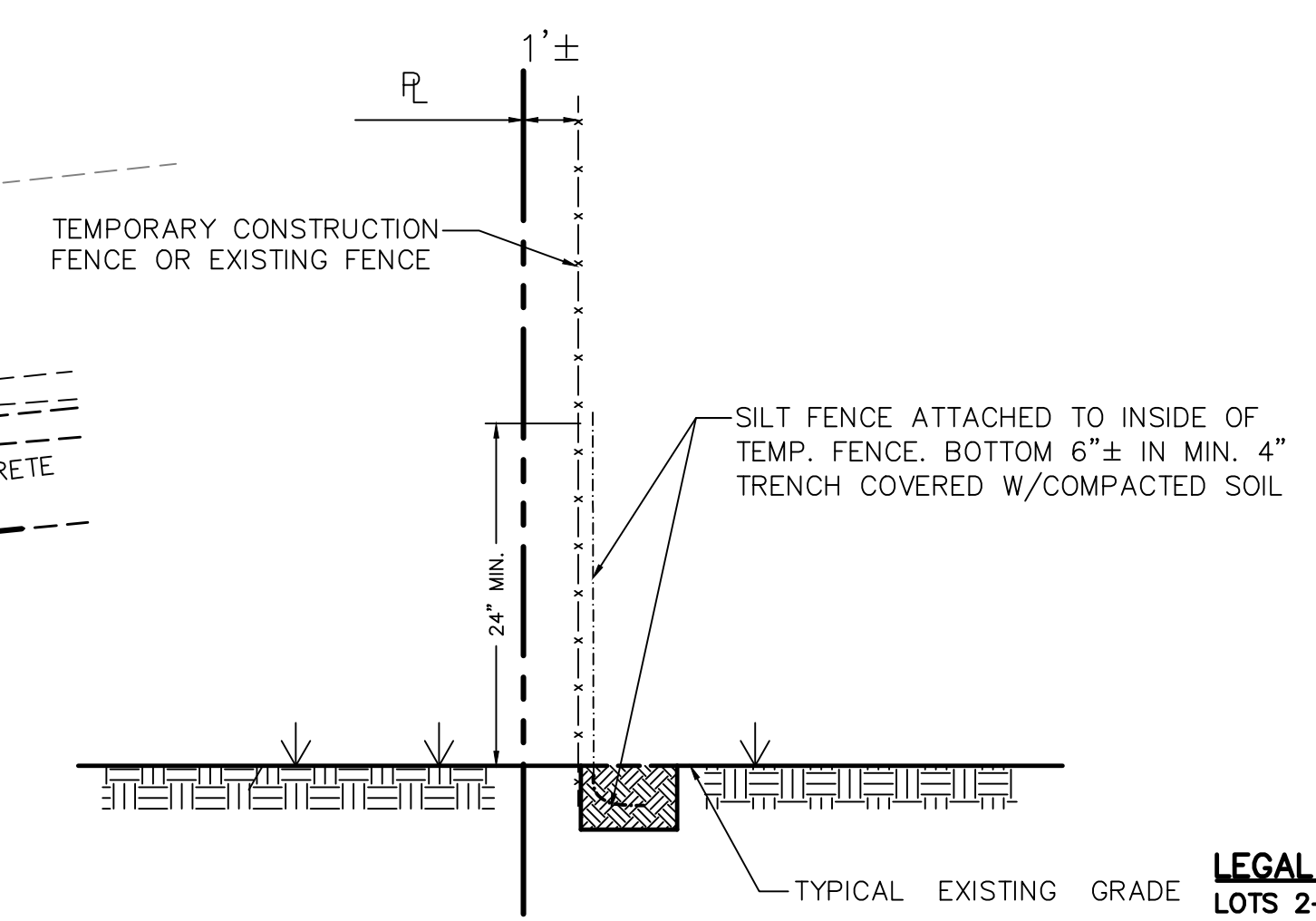
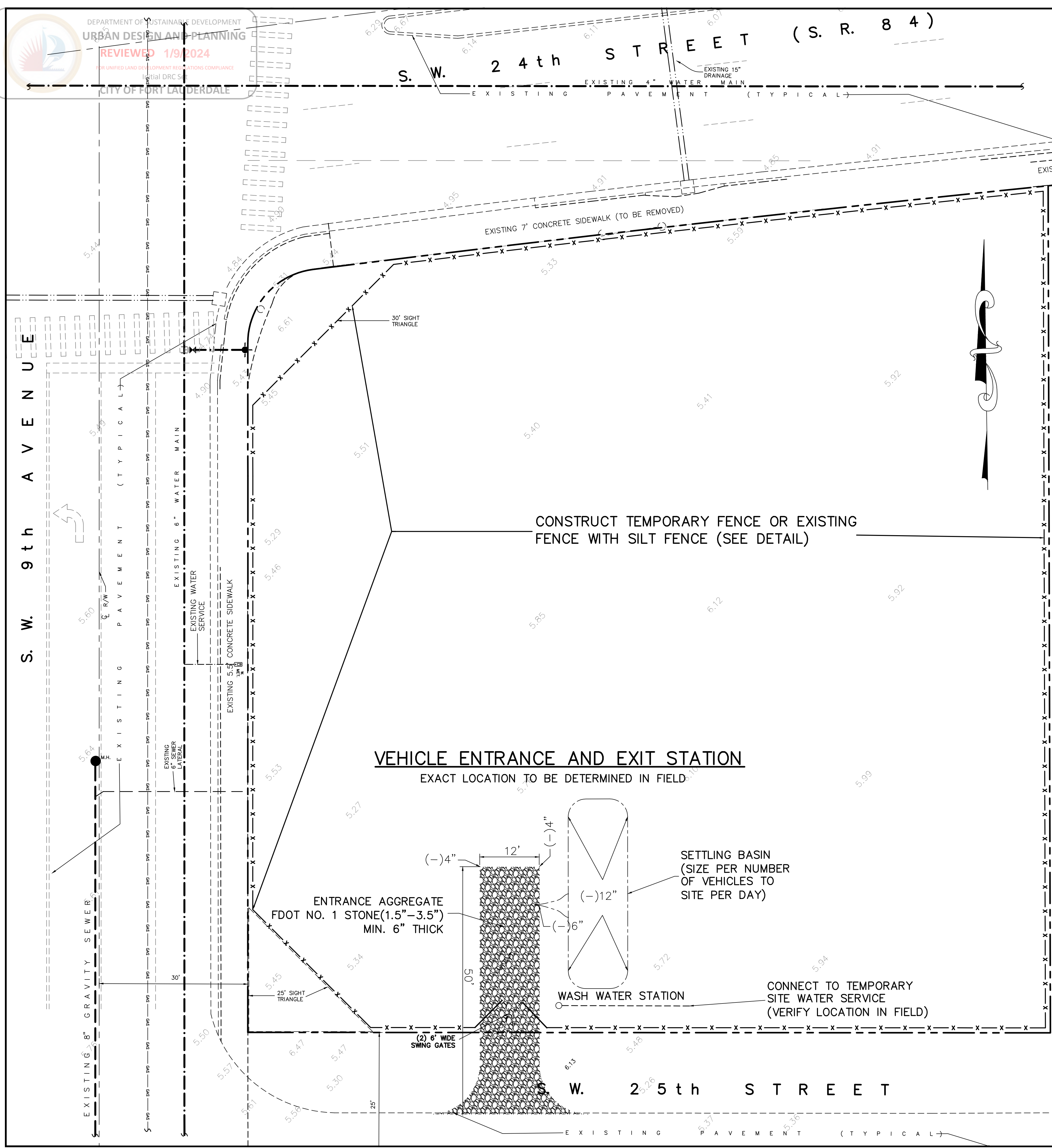
- NOTES:**
- GENERAL**
- 1- ALL CONSTRUCTION, MATERIALS AND INSPECTIONS SHALL COMPLY WITH CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF FORT LAUDERDALE AND BROWARD COUNTY ENGINEERING DIVISIONS' "MINIMUM STANDARDS" AND FLORIDA DEPARTMENT OF TRANSPORTATION, WHERE APPLICABLE.
 - 2- LOCATION OF EXISTING UTILITIES ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL LOCATE AND EXPOSE PRIOR TO CONSTRUCTION ALL EXISTING UTILITIES TO BE CONNECTED TO AND BRING TO THE ATTENTION OF THE ENGINEER ANY DEVIATIONS FROM THAT AS SHOWN ON THE PLANS.
 - 3- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL HOLD A PRECONSTRUCTION MEETING TO INCLUDE THE ENGINEER OF RECORD, CITY, AND ANY OTHER UTILITIES AND/OR AGENCIES INVOLVED.
 - 4- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
 - 5- ALL UTILITIES AND DRAINAGE INSTALLATIONS UNDER PROPOSED PAVEMENT SHALL BE COMPLETED PRIOR TO COMMENCING PAVEMENT SUBGRADE CONSTRUCTION.
 - 6- THE CONTRACTOR IS REQUIRED TO HAVE INSPECTIONS MADE ON EACH OF THE FOLLOWING ITEMS BY THE ENGINEER AND CITY:
 - A) ROCK BASE
 - B) ASPHALT
 - C) FINAL
 - 7- SHOP DRAWINGS OF ALL MATERIALS TO BE USED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. APPROVAL FROM ALL APPROPRIATE AGENCIES SHALL BE OBTAINED PRIOR TO INSTALLATION.
 - 8- CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION PLANS ON THE JOB SITE AT ALL TIMES.
- PAVING**
- 1- REMOVE MUCK, OVERBURDEN AND ROOT MATERIAL WITHIN 10 FEET OF ANY EDGE OF PAVEMENT OR BUILDING. BACKFILL TO REQUIRED SUBGRADE WITH CLEAN GRANULAR MATERIAL IN MAXIMUM 12 INCH LIFTS, COMPACTED TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-180.
 - 2- STABILIZED SUBGRADE (MINIMUM LBR 40) SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-180.
 - 3- LIMEROCK BASE SHALL MEET FLORIDA D.O.T. STANDARD SPECIFICATIONS, SECTION 911, AND INSTALLED PER SECTION 200. DENSITY TESTS SHALL BE TAKEN AT A MINIMUM OF EVERY 5,000 S.F. FOR EACH LIFT WITH COPIES TO THE ENGINEER FOR APPROVAL. LIMEROCK BASE TO BE PRIMED IN ACCORDANCE WITH SECTION 300. BASE SHALL HAVE A COMPACTED THICKNESS AS SPECIFIED ON THE PLAN BUT IN NO CASE LESS THAN 6 INCHES.
 - 4- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III CONFORMING TO SECTION 311, FLORIDA D.O.T. STANDARD SPECIFICATIONS. THE MINIMUM COMPACTED THICKNESS TO BE AS NOTED ON PLANS.
 - 5- FINISH ROCK "AS-BUILTS" GRADES BY A REGISTERED SURVEYOR SHALL BE SUBMITTED TO THE ENGINEER AND CITY FOR APPROVAL PRIOR TO PLACING ASPHALT.
 - 6- PAVEMENT MARKINGS SHALL BE THERMOPLASTIC (T.P.) IN ACCORDANCE WITH FLORIDA D.O.T. SPECIFICATION SECTION 711. REFLECTIVE PAVEMENT MARKERS (R.P.M.) SHALL BE IN ACCORDANCE WITH SECTION 706. BOTH PAVEMENT MARKINGS AND R.P.M. SHALL BE INSTALLED IN ACCORDANCE WITH THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS. ALL TRAFFIC SIGNS SHALL BE HIGH INTENSITY REFLECTIVE MATERIAL.
- DRAINAGE**
- 1- DRAINAGE PIPE SHALL BE ONE OF THE FOLLOWING:
 - A) CORRUGATED POLYETHYLENE PIPE (P.E.) FABRICATED TO ASTM 405 AND AASHTO-M294. PIPE SHALL BE ADS N-12, OR APPROVED EQUAL.
 - B) HELICAL CORRUGATED ALUMINUM (C.A.P.) FABRICATED TO ASTM B209 AND AASHTO-196. PIPE SHALL HAVE 2-2/3" X 1/2" CORRUGATIONS AND SHALL HAVE A MINIMUM THICKNESS OF:
 - 1) 24" AND SMALLER - 16 GAUGE
 - 2) OVER 24" - 14 GAUGE
 - 2- PIPE COUPLING BANDS SHALL BE SPLIT BANDS OF THE SAME ALLOY AS THE PIPE. POLYURETHANE OR OTHER MANUFACTURED SUPPLIED SEALANT SHALL BE USED WITH THE COUPLINGS. THE BANDS SHALL BE A MINIMUM OF 12 INCHES WIDE.
 - 3- PRECAST DRAINAGE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF ASTM C-478 WITH A CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO MANUFACTURE.
 - 4- ALL CONCRETE USED SHALL DEVELOP A MINIMUM OF 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
 - 5- CONTRACTOR SHALL PROVIDE THE ENGINEER "AS-BUILTS" OF THE PROJECT GIVING ALL HORIZONTAL DIMENSIONS AND VERTICAL INFORMATION BY A REGISTERED SURVEYOR.

Digitally signed
 by Robert C
 Smith
 Date:
 2023.07.21
 10:43:00 -04'00'

This item has been digitally signed and sealed by Robert C. Smith, P.E., on July 21, 2023. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



PAVING AND DRAINAGE DETAILS			
GUSTAVO J. CARBONNEL ARCHITECT FORT LAUDERDALE, FLORIDA			
TAMARINDO (840 S.R. 84)			
JOHN B. SMITH ENGINEERS, INC. 1457 N.E. 4th AVENUE FORT LAUDERDALE, FLORIDA 33304 PHONE: (954) 763-4177 CERTIFICATE OF AUTHORIZATION NO. 1888			
DESIGN R.C.S.	DRAWN RCS	DATE JUNE, 2023	FILE 23-125
Approved By: Robert C. Smith Registered Engineer No. 31177			SHEET C20F 3



**TEMPORARY CONSTRUCTION FENCE
 W/SILT FENCE**

CITY POLLUTION PREVENTION NOTES

- c) Contractor shall adhere to of the National Pollution Discharge Elimination System (NPDES) requirements. The contractor shall institute Best Management Practices (BMPs) to ensure compliance with the NPDES program and to minimize the impact to public stormwater facilities. A Notice of Intent (NOI) shall be filed prior to start construction activities.
 - b) Prior to demolition activities, contractor shall install pollution prevention control devices (i.e., silt barriers, sediment basins, turbidity barriers around stormwater outfalls on the waterside of lakes, ponds, canals, or waterways, silt screens, etc. according to the approved SWPPP and as recommended by the Florida Department of Environmental Protection (DEP) latest guidelines and permitting requirements.
 - c) Prior to demolition activities, a silt fence in accordance with the approved SWPPP details and latest DEP standards shall be erected around the site property lines. All public inlets surrounding the site shall be protected by the installation of filter fabric into the frame and grate or other approved BMPs to protect against storm runoff.
 - d) Pollution control installations, as approved and shown in the SWPPP, shall be maintained throughout demolition and construction periods until the project has been completed and approved by City engineering inspector or project engineer.
 - e) Contractor shall inspect the pollution control devices daily for signs of malfunction, failure, or needed repairs, and shall make remedial actions immediately upon discovery.
 - f) Existing stormwater inlets, catch basins, or manholes, onsite and offsite, shall be protected from sediment storm runoff from the proposed demolitions and construction activities.
 - g) Contractor shall immediately remove all mud, dirt, or other materials tracked or spilled onto existing roads and facilities due to demolition or construction activities from the proposed development.
 - h) In order to minimize the amount of sediments, mud, and dust transported onto public roadways by the construction vehicles or runoff, the contractor shall install stabilized temporary construction entrance(s) from the construction site as recommended by FDEP. Each temporal construction entrance is a stabilized 6 inch thick layer of 2 to 3 inch Course Aggregate Stone, 12" minimum width, and length to accommodate a minimum of one trucking vehicle.
 - i. The entrance shall be maintained periodically as conditions demand in a condition that will prevent tracking or flowing of sediments onto public rights-of-way. Sediment shall be trapped in cleanout areas and properly handled as onsite debris per applicable state regulations.
 - ii. When necessary, vehicle wheels shall be cleaned prior to entrance onto public right-of-way.
 - iii. All materials spilled, dropped, washed or tracked from vehicles onto roadways or into public storm drains must be removed by the contractor immediately.
 - iv. Trucks shall not 'cut corners' where the construction exit meets the roadways.
 - v. Sweeping of public roadways shall be done periodically as condition demand.
 - j) Dust generated from construction shall be minimized by daily watering of the site.
 - k) Contractor shall provide an erosion and sedimentation control inspector to inspect all points of discharge into nearby waterbodies to record the condition of discharge points, integrity of silt fence and pollution control devices, dust control measures, vehicular traffic and construction material storage and disposal. Written record of all inspections shall be stored by the contractor during demolition and construction periods and shall be submitted to City inspectors upon request.
- The inspection report shall include at a minimum the following information:
- i. Name of inspector and his/her qualifications in erosion and sedimentation control
 - ii. Date of the inspection
 - iii. Rainfall rate
 - iv. Observations about the SWPPP
 - v. Actions taken by contractor for all incidents of noncompliance with permit(s)
 - vi. Certification that the facility is in compliance with the SWPPP and permit(s)

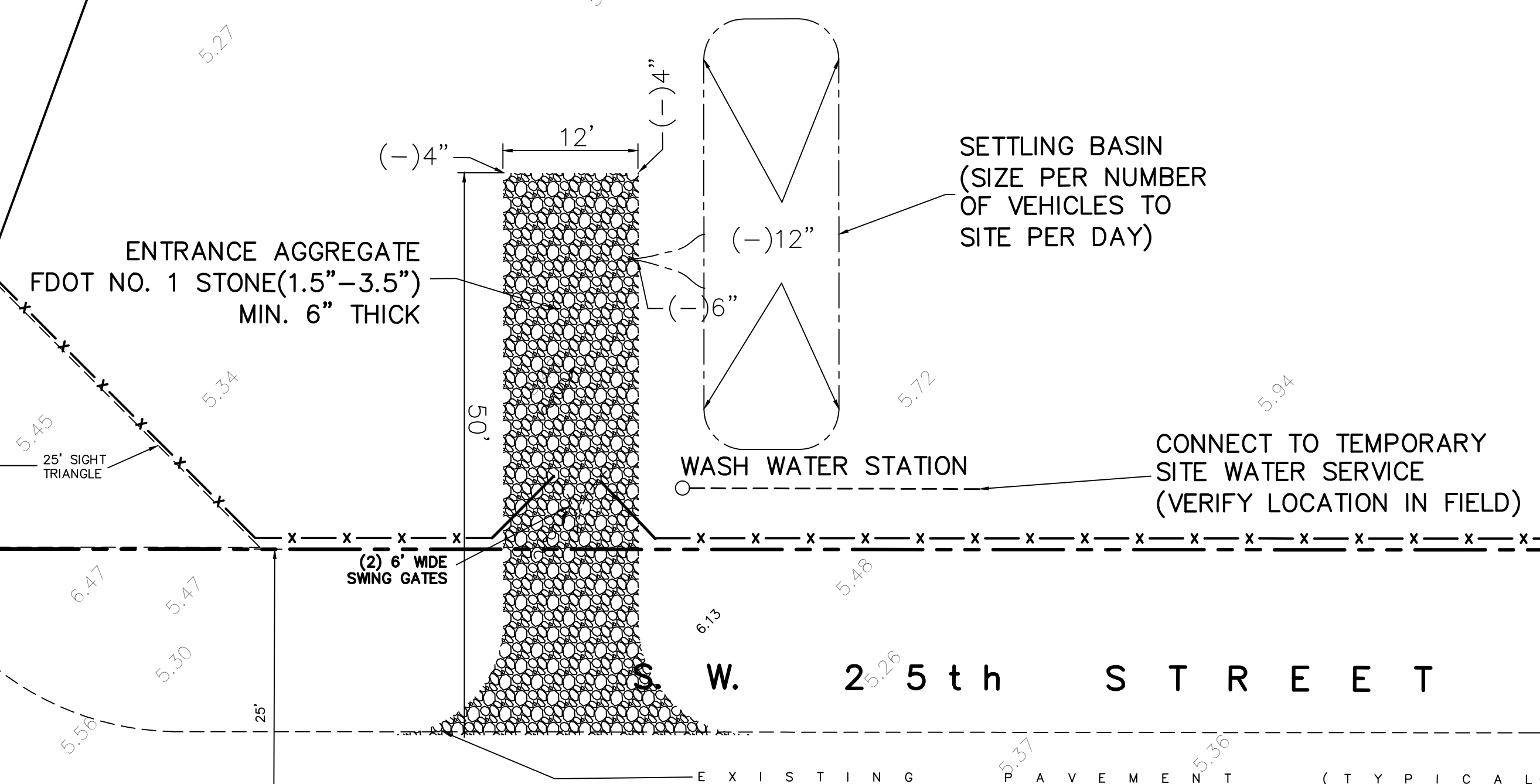
LEGAL DESCRIPTION:
 LOTS 2-6, & 26, BLOCK 1, "LAKEWAY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 7, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND:

	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	EXISTING SEWER MAIN
	PROPOSED SEWER MAIN
	EXISTING DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED PAVEMENT
	EXISTING PAVEMENT
	EXISTING ELEVATIONS
	PROPOSED ELEVATIONS
	DIRECTION OF RUN-OFF
	EXISTING TEE
	PROPOSED TEE
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	EXISTING VALVE
	PROPOSED VALVE
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING FIRE HYDRANT

CONSTRUCT TEMPORARY FENCE OR EXISTING FENCE WITH SILT FENCE (SEE DETAIL)

VEHICLE ENTRANCE AND EXIT STATION
 EXACT LOCATION TO BE DETERMINED IN FIELD



P L A N SCALE: 1" = 10'

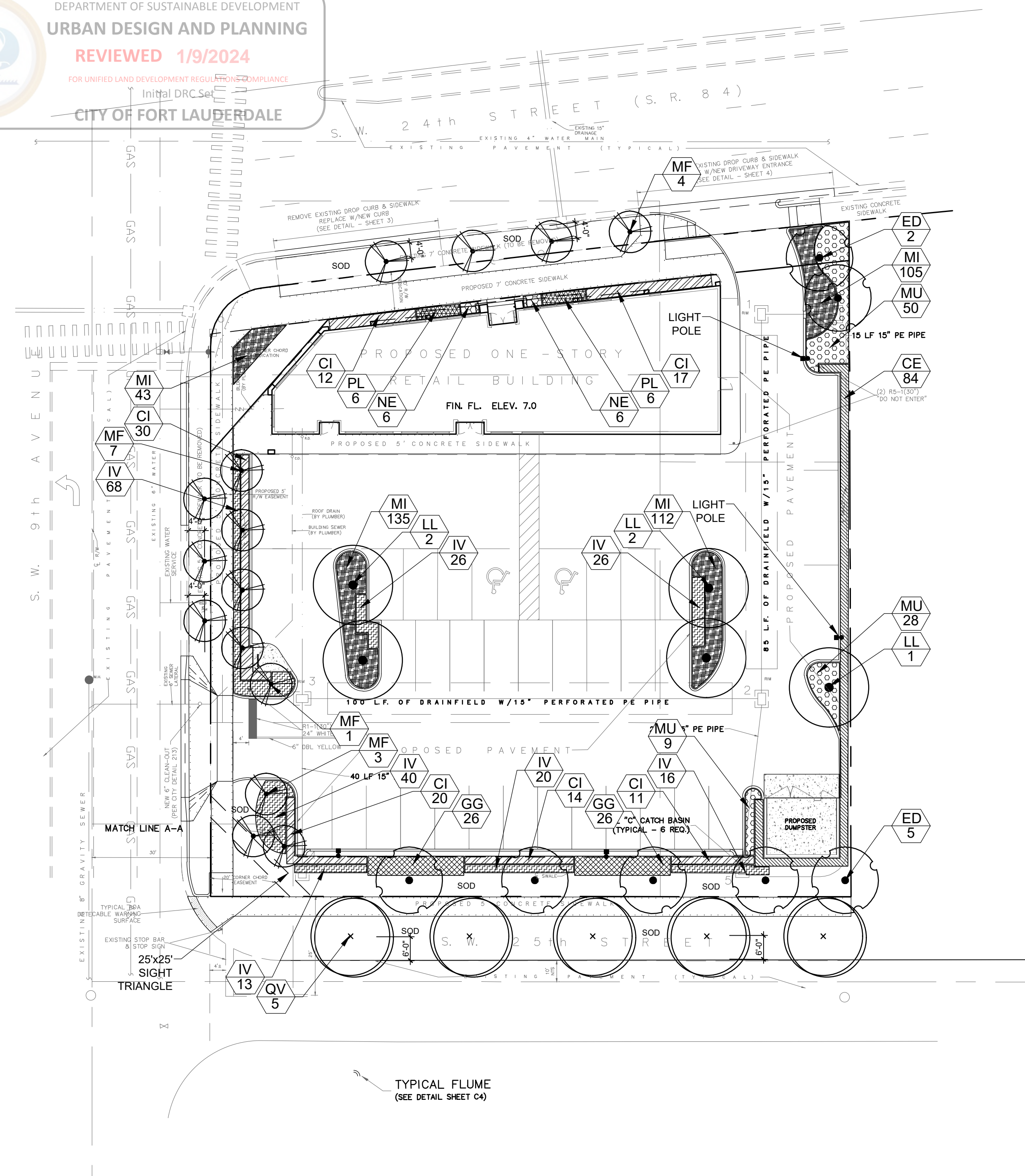
NOTES:
 THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM - NAVD 1988

Digitally signed
 by Robert C
 Smith
 Date:
 2023.07.21
 10:46:42 -04'00'



This item has been digitally signed and sealed by Robert C Smith, P.E., on July 21, 2023. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

EROSION CONTROL PLAN			
GUSTAVO J. CARBONNEL ARCHITECT FORT LAUDERDALE, FLORIDA			
TAMARINDO (840 S.R. 84)			
JOHN B. SMITH ENGINEERS, INC. 1457 N.E. 4th AVENUE FORT LAUDERDALE, FLORIDA 33304 PHONE: (954) 763-4177 CERTIFICATE OF AUTHORIZATION NO. 1688			
DESIGN R.C.S.	DRAWN RCS	DATE JUNE, 2023	FILE 23-125
Approved By Robert C. Smith, P.E. Registered Engineer No. 31177			SHEET C30F 3



Sym	Qty	Botanical Name	Common Name	Size	Native	Drought Tolerance
Trees/Palms						
MF	15	Myrcianthes fragrans	Simpson's Stopper	12' Ht. x 5' Spr., 2" cal., single trunk	Yes	High
ED	7	Elaeocarpus decipiens	Japanese Bluberry	12' Ht x 4' Spr., 2" cal	No	Medium
QV	5	Quercus virginiana	Live Oak	12' Ht. x 4' Spr., 2" cal.	Yes	High
LL	5	Lysiloma latisiliquum	Wild Tamarind	12' Ht x 4' Spr, 2" cal	Yes	High
Shrubs/Groundcovers						
CI	104	Chrysobalanus icaco	Cocoplum	24" x 24", 24" O.C.	Yes	Medium
IV	209	Ilex vomitoria 'Stokes Dwarf'	Dwarf Ilex	10" x 10", 18" O.C.	Yes	High
NE	12	Neoregelia 'Bossa Nova' / Bromeliad	Bromeliad	12" x 12", 18" O.C.	No	High
GG	52	Galphimia gracilis	Thryallis	24" x 24", 24" O.C.	No	Medium
CE	84	Conocarpus erectus	Green Buttonwood	24" x 24", 24" O.C.	Yes	High
MI	395	Mimosa strilliosa	Sunshine Mimosa Powderpuff	4" x 6", 18" O.C.	Yes	High
MU	87	Muhlenbergia capillaris	Muhly Grass	24" x 24", 24" O.C.	Yes	High
PL	12	Psychotria ligustrifolia	Dwarf Wild Coffee	20" x 20", 24" O.C.	Yes	High
Sod			St. Augustine			
Mulch			Shredded Melaleuca or Eucalyptus			

LANDSCAPE REQUIREMENTS

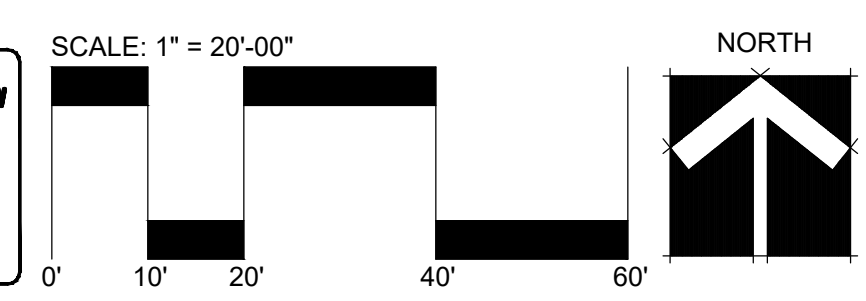
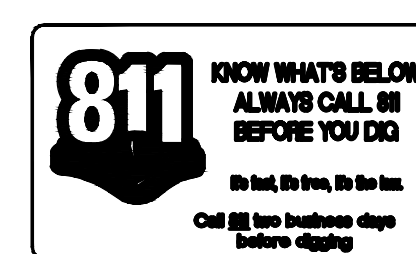
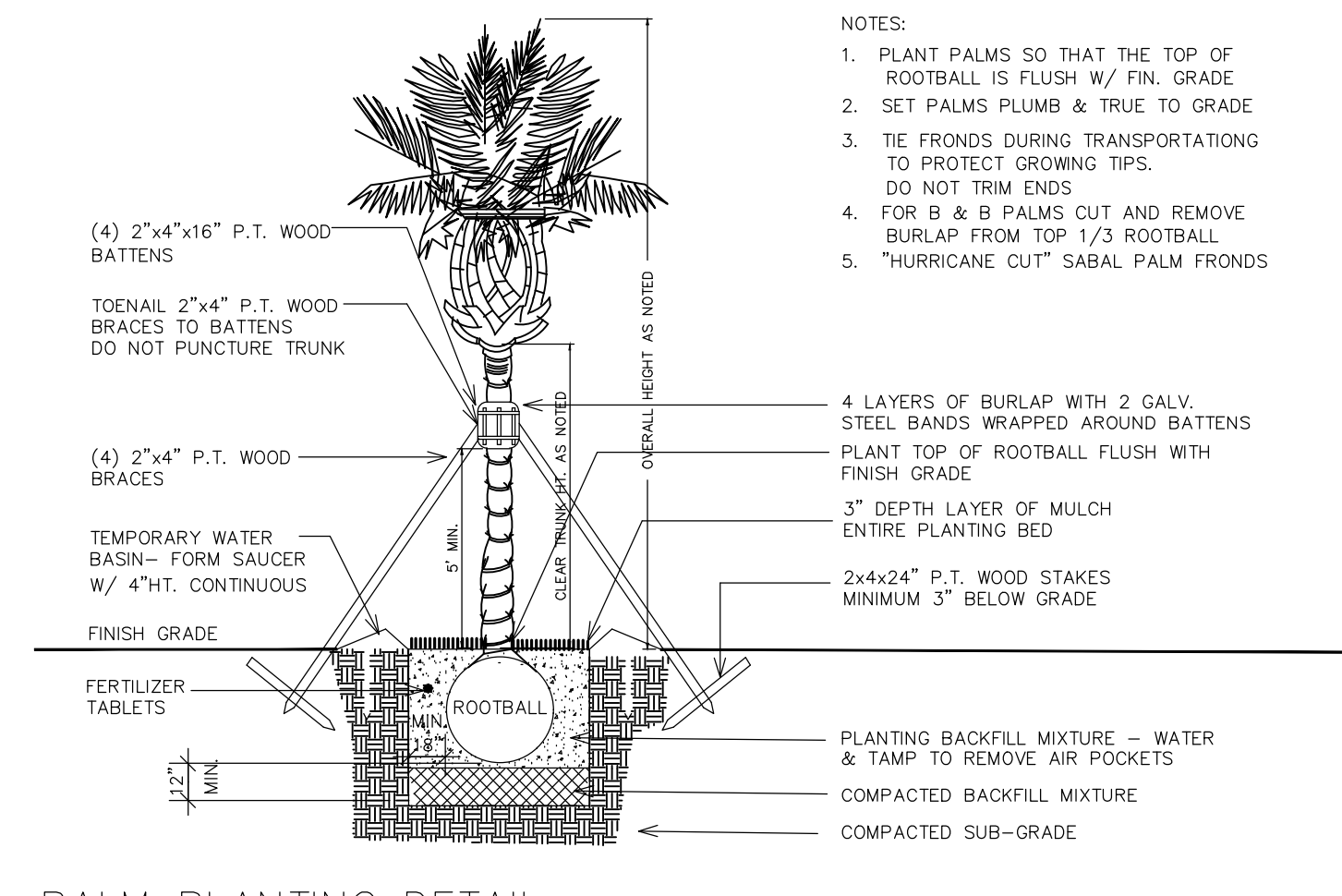
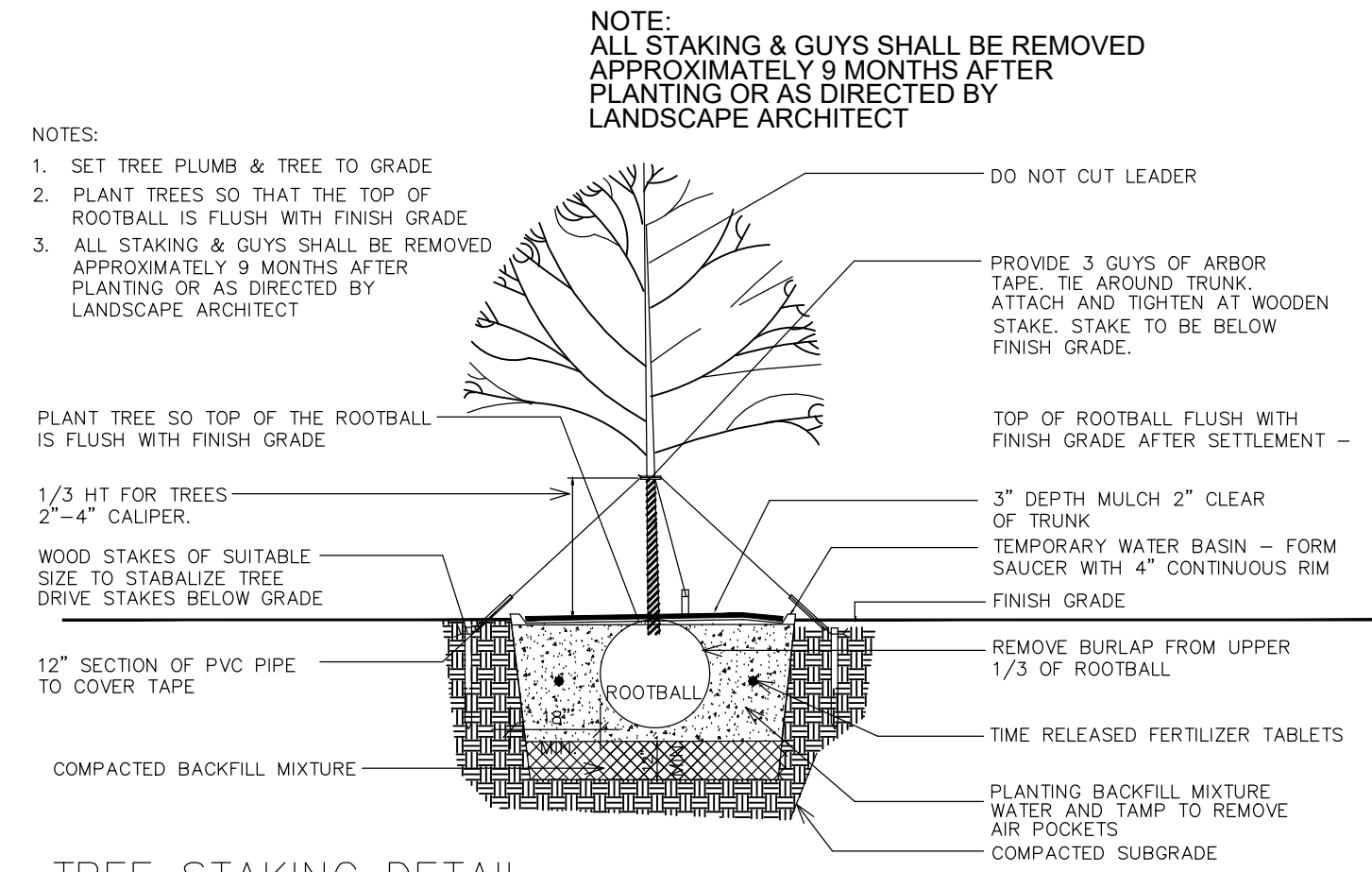
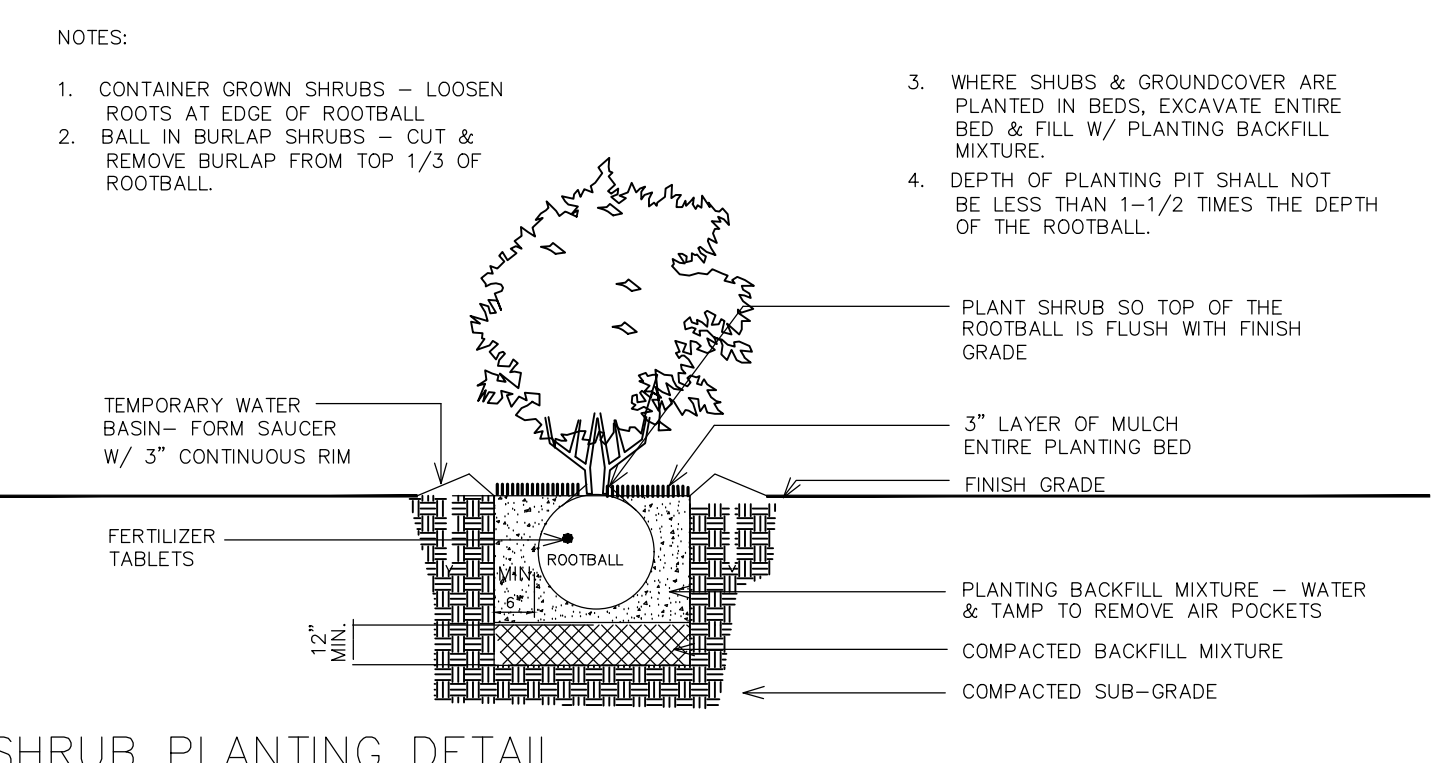
Zoning: B-1/CB
 Lot Area: 26,182 sf (.6011 AC)
 VUA Area: 14,916.4 sf
 Landscape Area: 4810.26 sf

Description	Application	Calculation	Qty Required	Qty Provided
Street Trees	SW 25th Street	162/ 40 =	4	4
	SW 9th Ave	139/ 40 =	4	4
	SR 84	162/ 40 =	4	4
Site Trees	1/1000 sf	4810.26 sf/ 1000 sf =	5	5
Site Canopy Trees	20%	5 (.20) =	1	1
Site Shrubs	12/ 1000 sf	4810.26 sf/ 1000 sf x 12 =	60	470
VUA Trees	1/1000 sf	14,916.4 sf/ 1000 sf =	15	15
VUA Shrubs	6/ 1000 sf	14,916.4 sf/ 1000 sf x 6 =	90	90
Native Trees	40%	20 (.40) =	8	20
Native Shrubs	40%	150 (.40) =	60	484
Sod Area	50% max	4810.26 sf (.50) =	2405 sf max	2400 sf

General Notes:

- All plant material shall be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
- All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
- All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
- All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
- Contractor shall notify Sunshine 811 (call 811) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
- Grade B+ shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4" around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
- Sod shall be St Augustine and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
- All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
- All sodded areas to have a minimum of 2" of planting soil as described in note #8.
- All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
- All shrubs, groundcovers, vines and sod shall be fully warranted for one year under same condition as above.
- All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
- All trees and palms shall be planted with the top of their rootballs 1"-2" above finished grade. All other plants shall be planted with top of their rootballs no deeper than the final grade surrounding the planting area.
- In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
- All planting shall be installed with fertilizer at time of planting.
- All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
- All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using rust free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/ groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainswitch device.
- All landscape and irrigation shall be installed in compliance with all local codes.
- The plan shall take precedence over the plant list, should there be any discrepancy between the two.

NOTE: NO WELLINGTON TAPE OR OTHER NON-BIODEGRADABLE MATERIALS SHALL COME INTO CONTACT WITH THE TREE.



REVISION

GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
 (954) 462-6565
 Member American Institute of Architects

PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

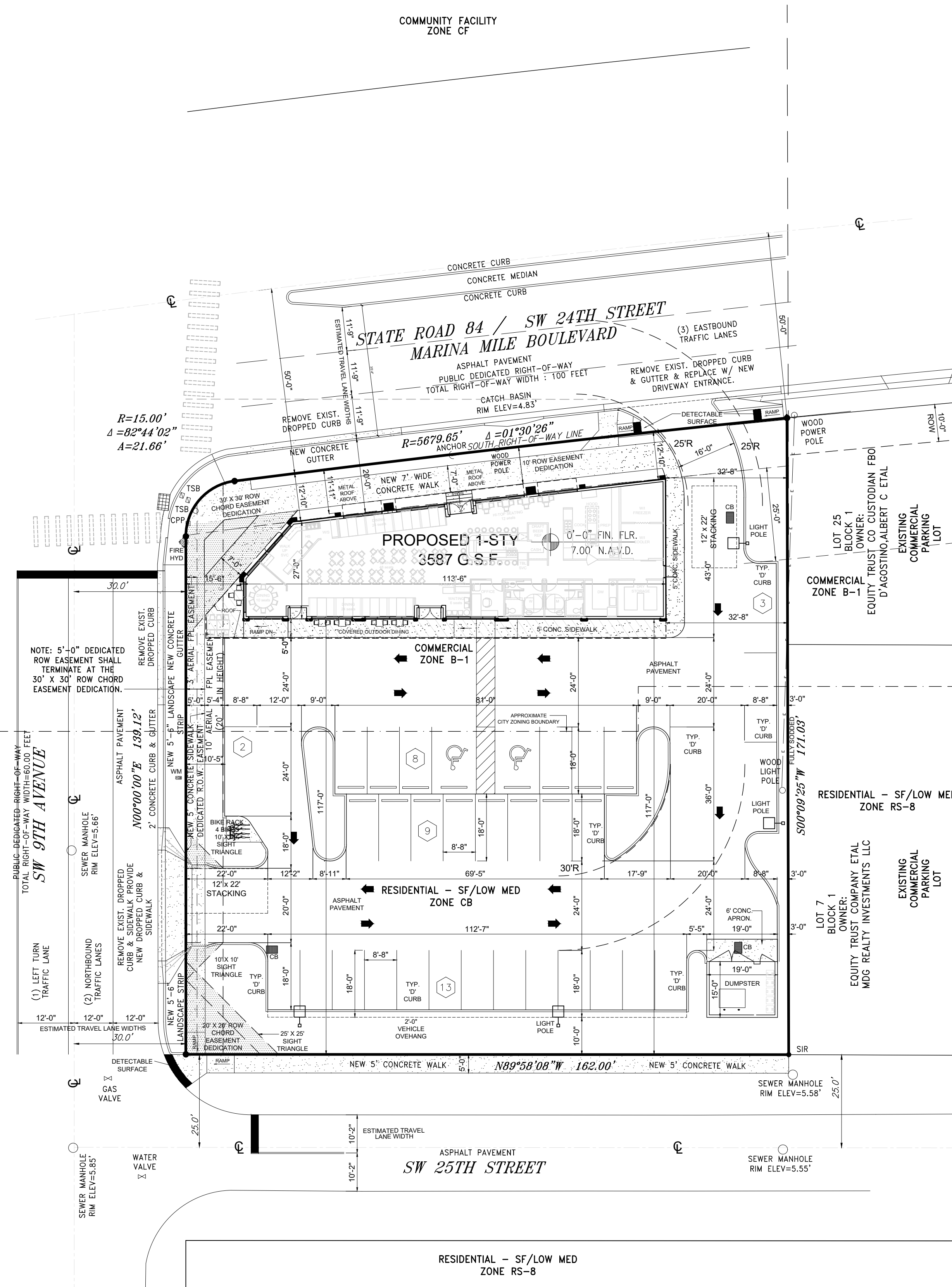
Kimberly Moyer, RLA
 Landscape Architecture
 (954) 592-3695
 Lic. No. #LA0009952
 Digitally signed by Kimberly Moyer
 Date: 2023.07.21 12:18:38 -0400

DRAWN **K.M.**
 CHECKED **K.M.**
 DATE **06-07-2023**
 SCALE **AS NOTED**
 JOB. NO. **23-01**
 SHEET **L-1**
 OF SHEETS

COMMERCIAL
 ZONE B-1

COMMERCIAL
 ZONE B-1

COMMERCIAL
 ZONE B-1



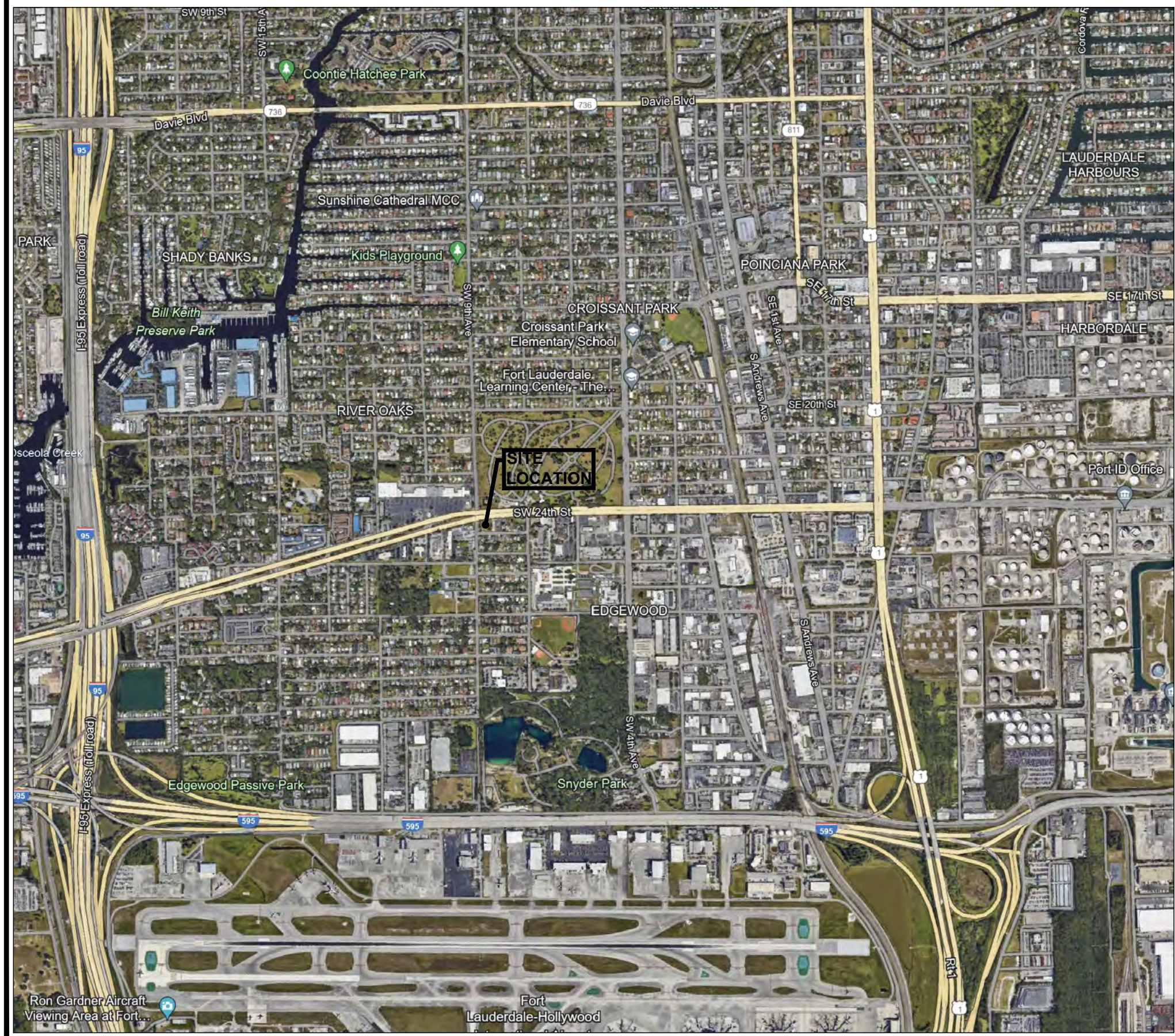
1 CONCEPTUAL SITE PLAN

SCALE: 1" = 20'



SITE DATA		LEGAL DESCRIPTION	
DESCRIPTION		A PORTION OF LOTS 2, 3, 4, 5, 6 AND 26 IN BLOCK 1 OF "LAKEWAY", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.	
CURRENT ZONING:	B-1 / CB		
PROPOSED ZONING:	B-1 / CB		
EXISTING LAND USE:	COMMERCIAL/RESIDENTIAL		
PROPOSED LAND USE:	COMMERCIAL/RESIDENTIAL		
FLOOD ZONE:	AH NAVD 6'		
PROPOSED F.F.E.:	+ 7'-0" NAVD 88		
PROPOSED:	RESTAURANT/BAR		
SEWER PROVIDER:	CITY OF FORT LAUDERDALE	TAX FOLIO NUMBER: 5042 2214 0020	
WATER PROVIDER:	CITY OF FORT LAUDERDALE		
GARBAGE PROVIDER:	CITY OF FORT LAUDERDALE		
BUILDING HEIGHT	B1 = 150' / CB = 160'	PERMITTED	PROVIDED
		150'/150'	26'-0"
OCCUPANCY GROUP	ASSEMBLY - GROUP A-2 - RESTAURANT/BAR		
CONSTRUCTION TYPE	TYPE III-B. AS PER F.B.C.-7TH ED. 2020 BUILDING & F.F.P.C 2020.		
DESCRIPTION	FACTOR	REQUIRED	PROVIDED
SITE AREA			26,182 S.F. OR .6011 ACRES
BUILDING FOOTPRINT			3,587 S.F.
PAVED V.U.A.			14,916.4 S.F.
SIDEWALKS			2,963.34 S.F.
DUMPSTER			285 S.F.
LANDSCAPED AREA			4,430.26 S.F.
OPEN SPACE			7,393.6 S.F.
SETBACKS			
FRONT	S.R. 84 INTERDISTRICT CORRIDOR	20' FROM CURB	20' FROM CURB
REAR	ACROSS FROM RESIDENTIAL PROPERTY	10'	117'
SIDE		0'	32'-8"
CORNER		5'	15'-6" WEST
PARKING	1/100 (*) GROSS = 3167 S.F./100 INDOOR: 2818 S.F. OUTDOOR: 349 S.F.	32 SPACES	35 SPACES INCL. 2 H.C.
	(*) EXCLUDES EQUIPMENT, WALK-IN COOLER & FREEZER AREAS		
STANDARD STALL SIZE	8'-8" X 18'-0"		
HC STALL SIZE	12'-0" X 18'-0"		
PARALLEL STALL SIZE	8'-8" X 24'-0"		
BUILDING DATA			
TOTAL BLDG AREA	3,477 S.F.		
TOTAL LOT FAR	3,587 S.F. / 26,182 S.F.		
	13.7 FAR		

2 SITE DATA



2 LOCATION MAP

NOT TO SCALE

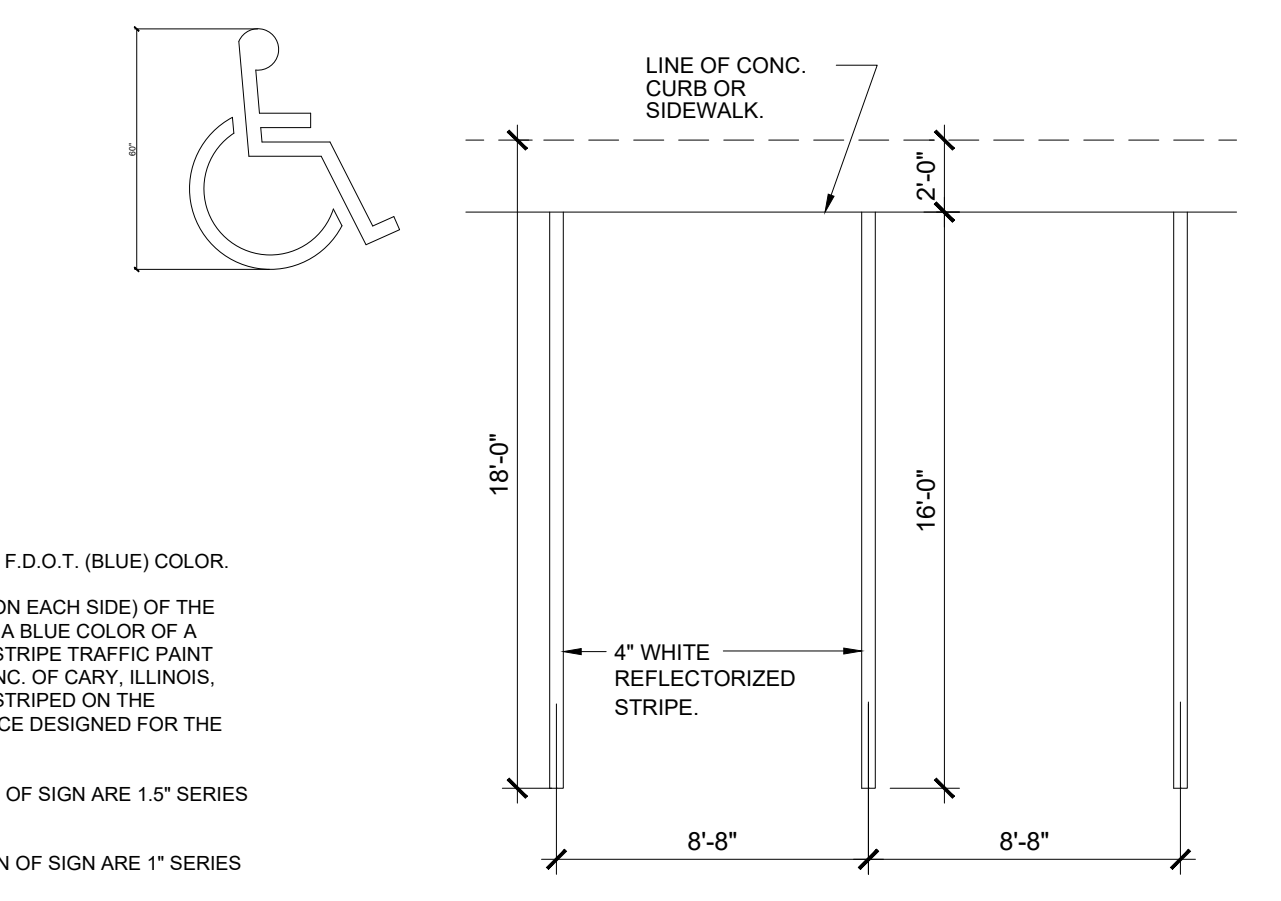
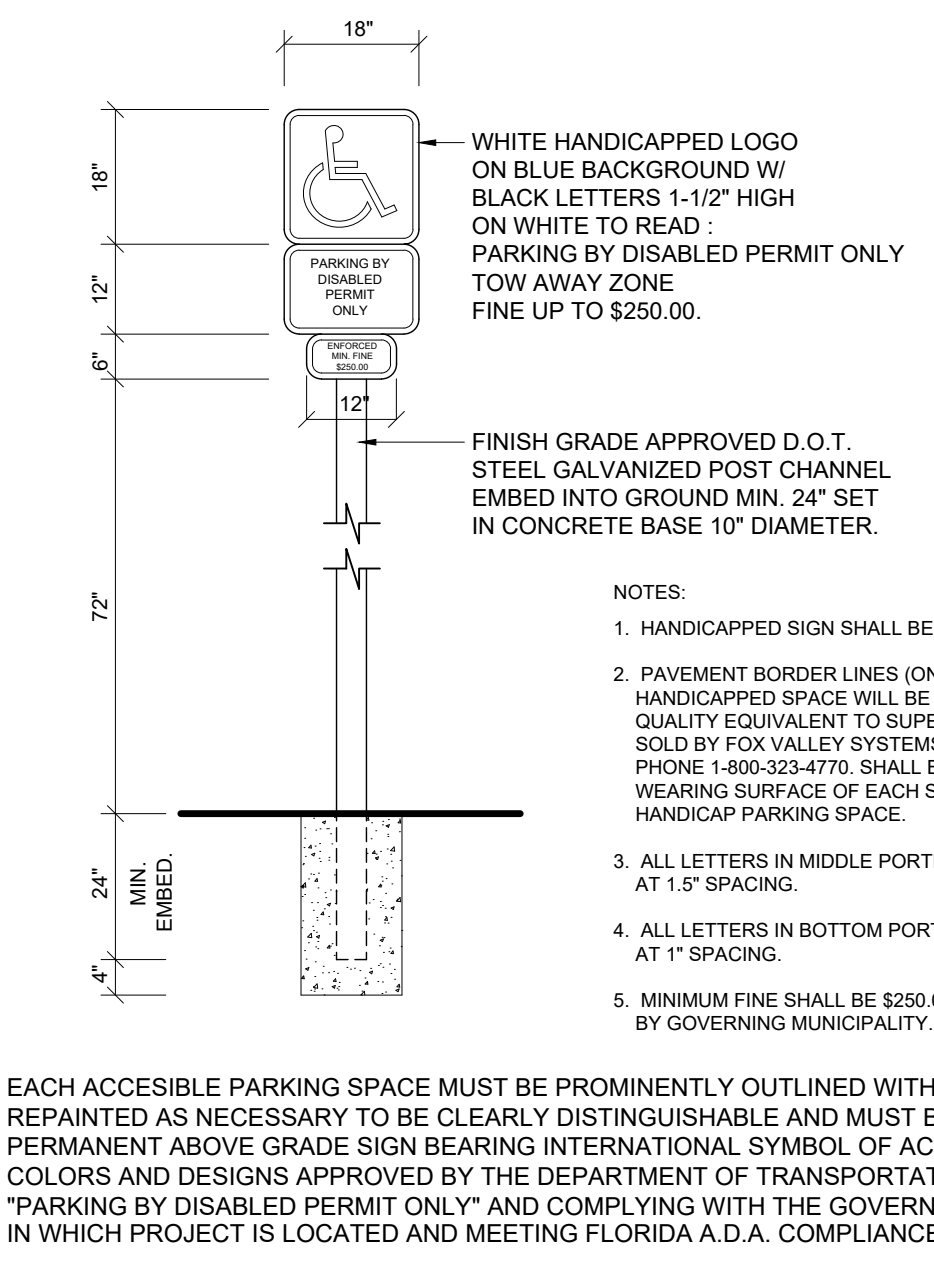
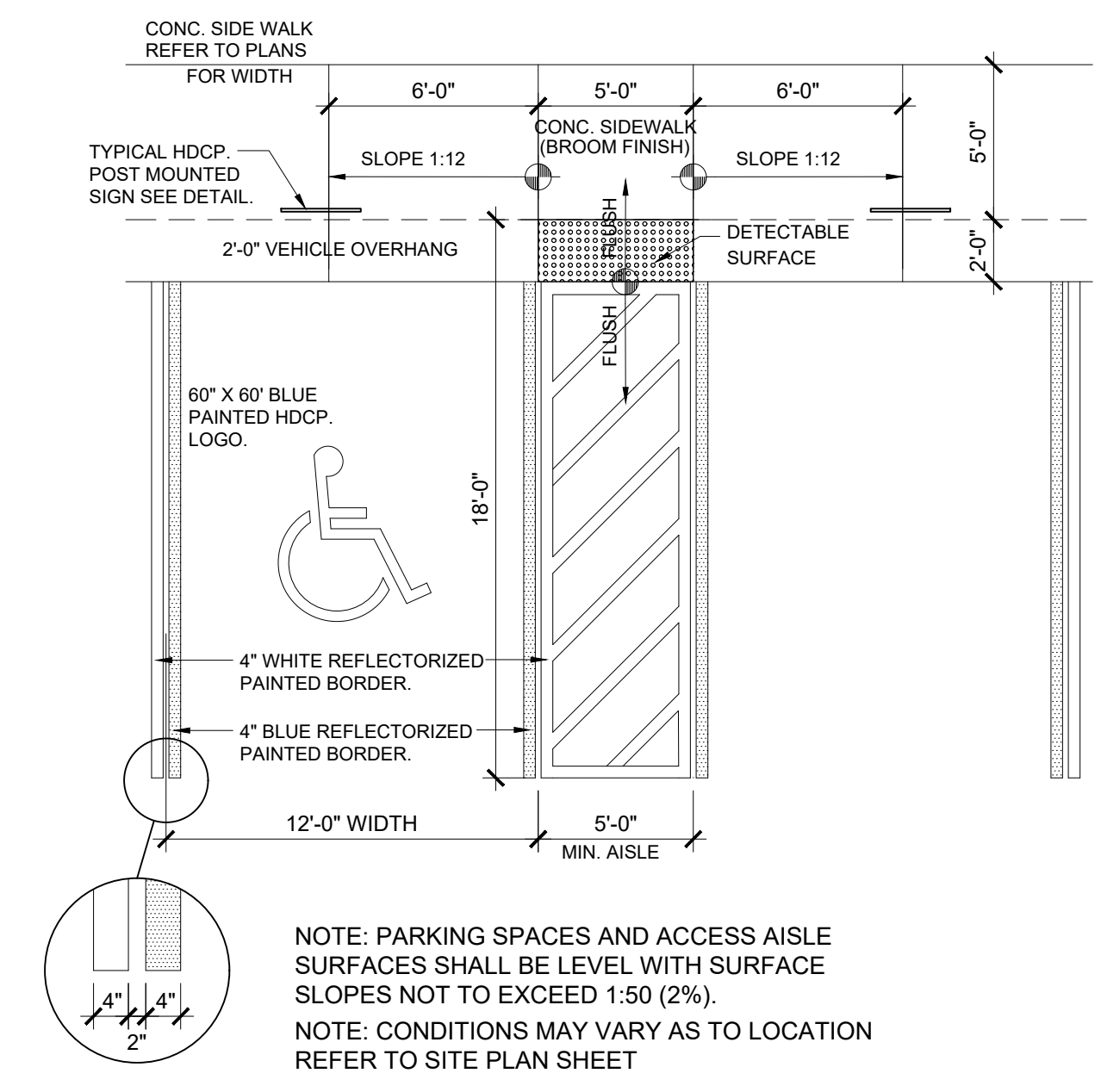
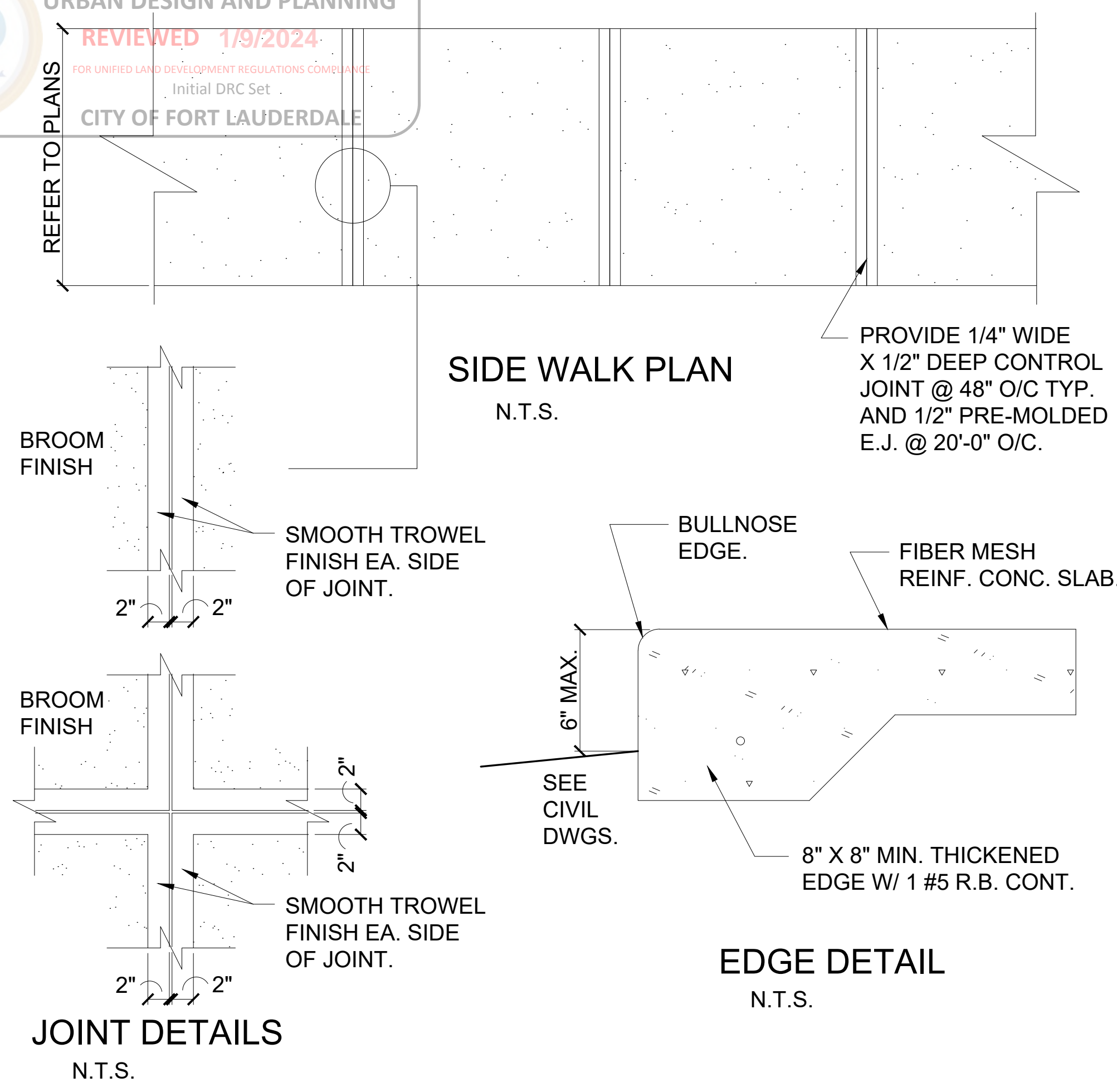
REVISION	DATE	BY
4-12-18		DBK

GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
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PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

SEAL:	AR NO. 0007957
AA26001131	

DRAWN	DBK
CHECKED	GJC
DATE	11-1-23
SCALE	AS NOTED
JOB. NO.	22-063
SHEET	SP-1

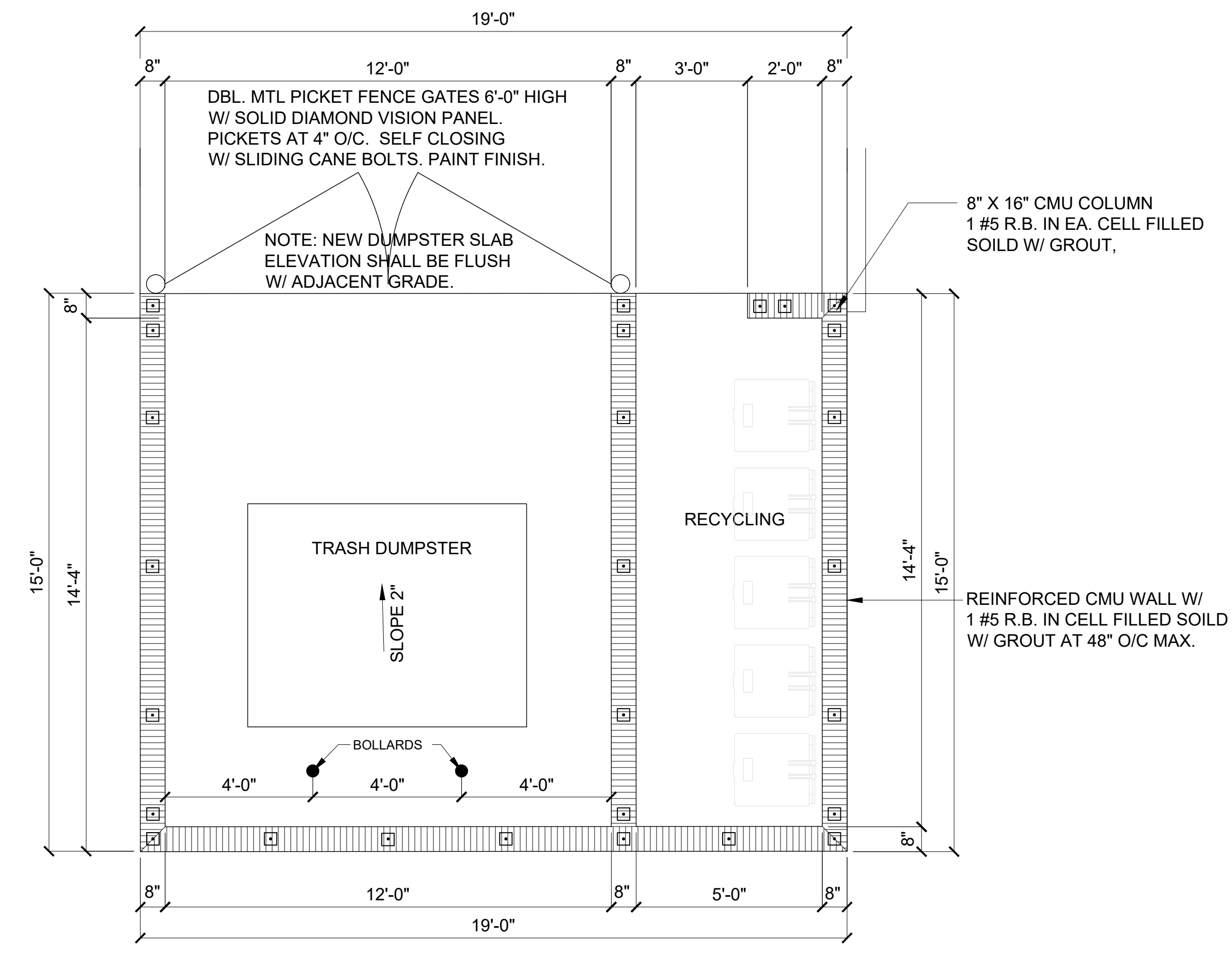


HANDICAPPED PARKING STALLS

HANDICAPPED SIGNAGE DETAILS

TYPICAL PARKING STALLS

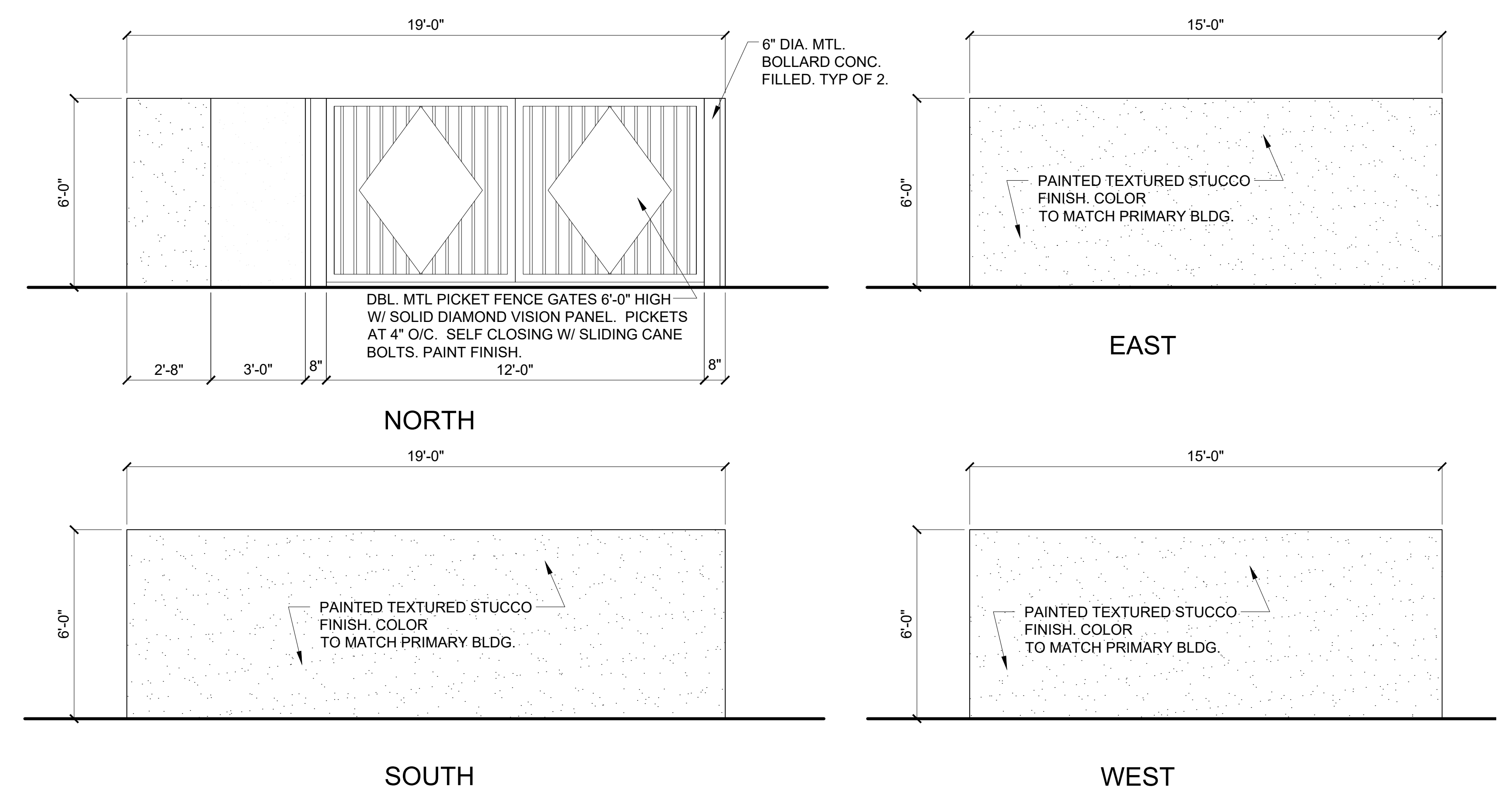
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 N.T.S.



3 DUMPSTER PLAN
 SCALE: 3/8\"/>



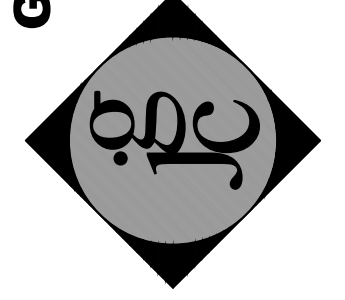
2 PARKING DETAILS
 N.T.S.



4 DUMPSTER ELEVATIONS
 SCALE: 3/8\"/>

REVISION	

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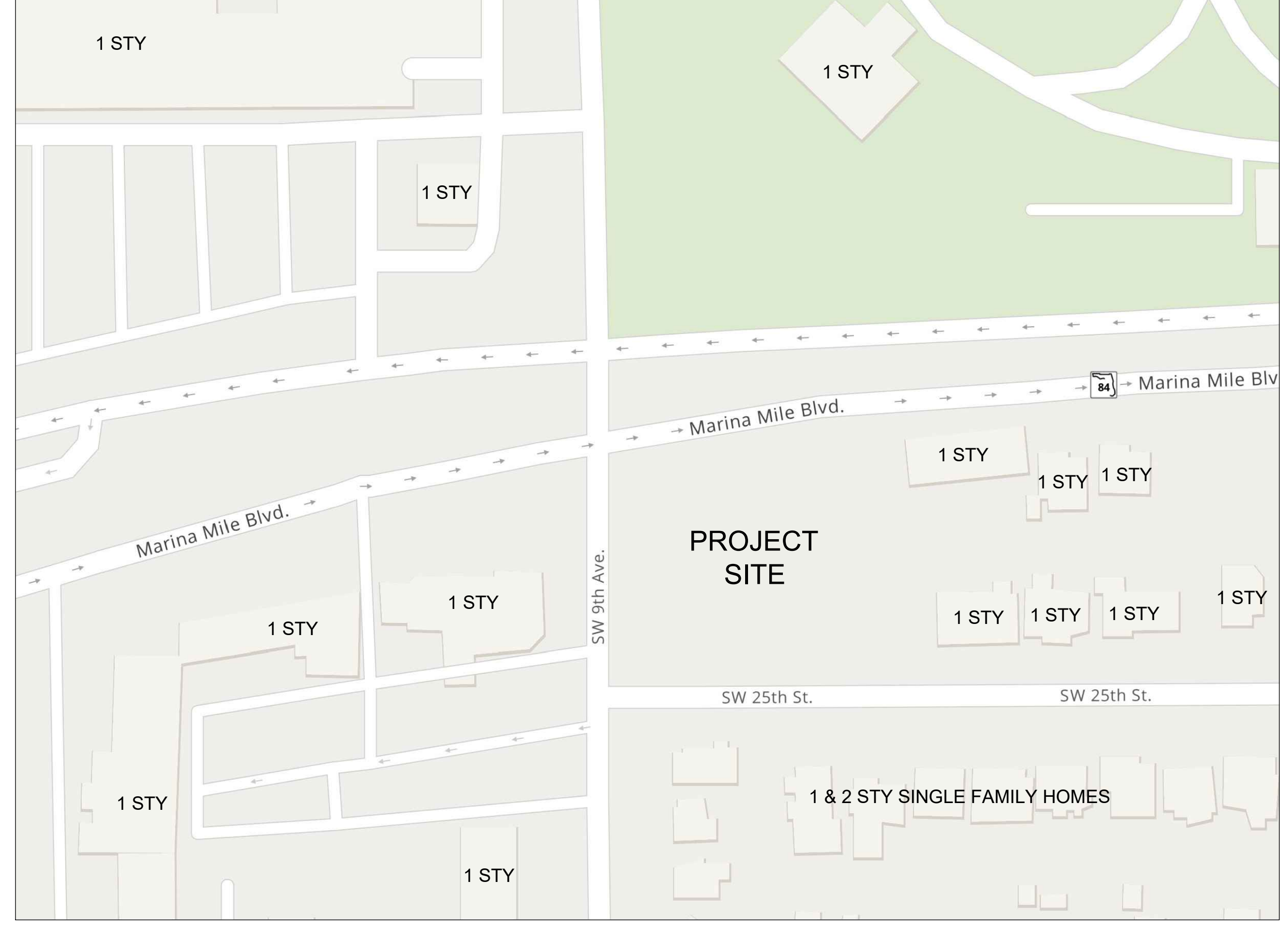
SEAL: AR NO. 0007957

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 JOB. NO. **22-063**
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SP-2

OF SHEETS



1 ADJACENT USE MAP

NORTH

REVISION	DATE	DESCRIPTION

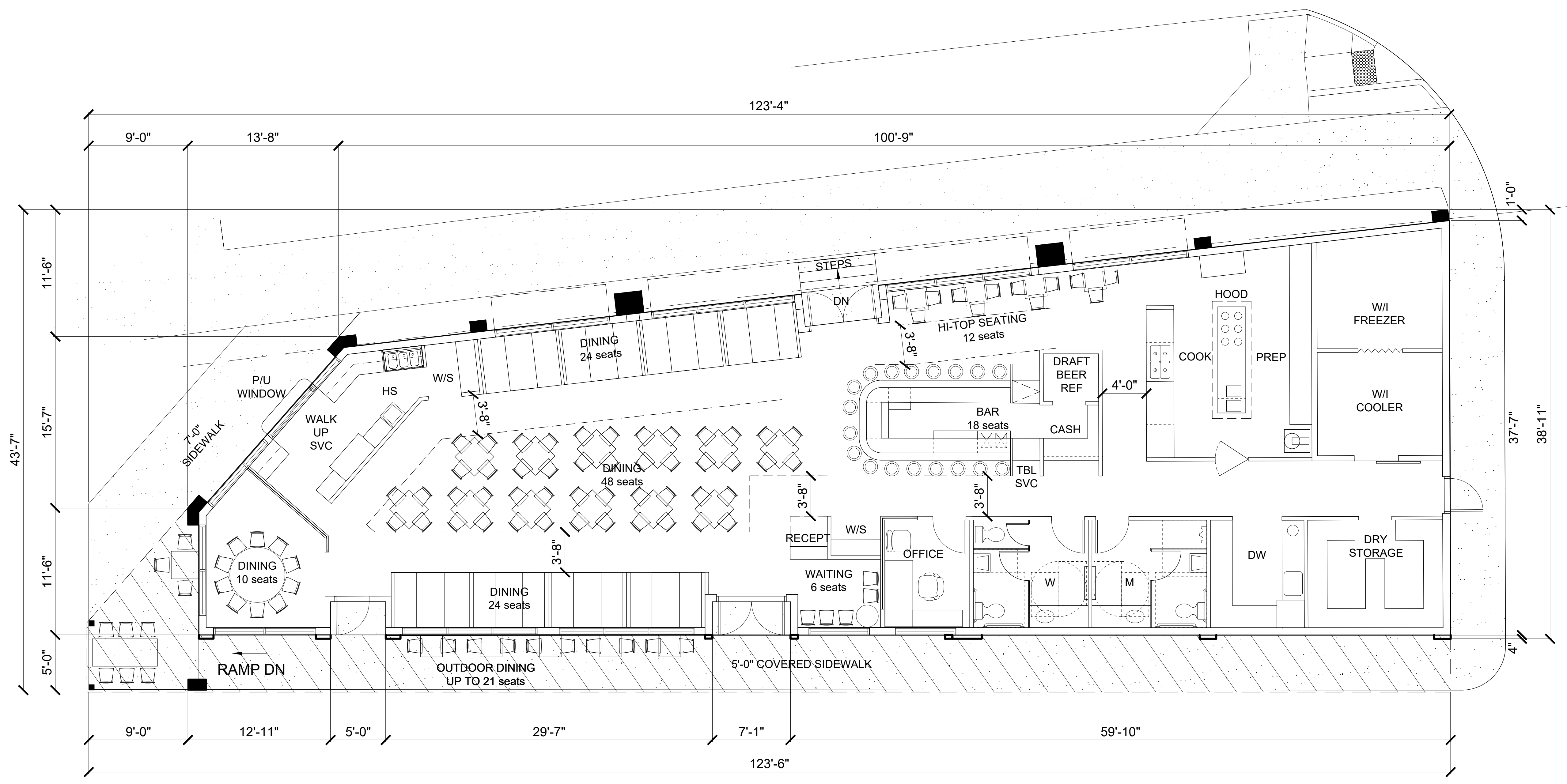
GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
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 SHEET
SP-3
 OF SHEETS

REVISION	DATE	BY
4-12-18		DBK



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 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
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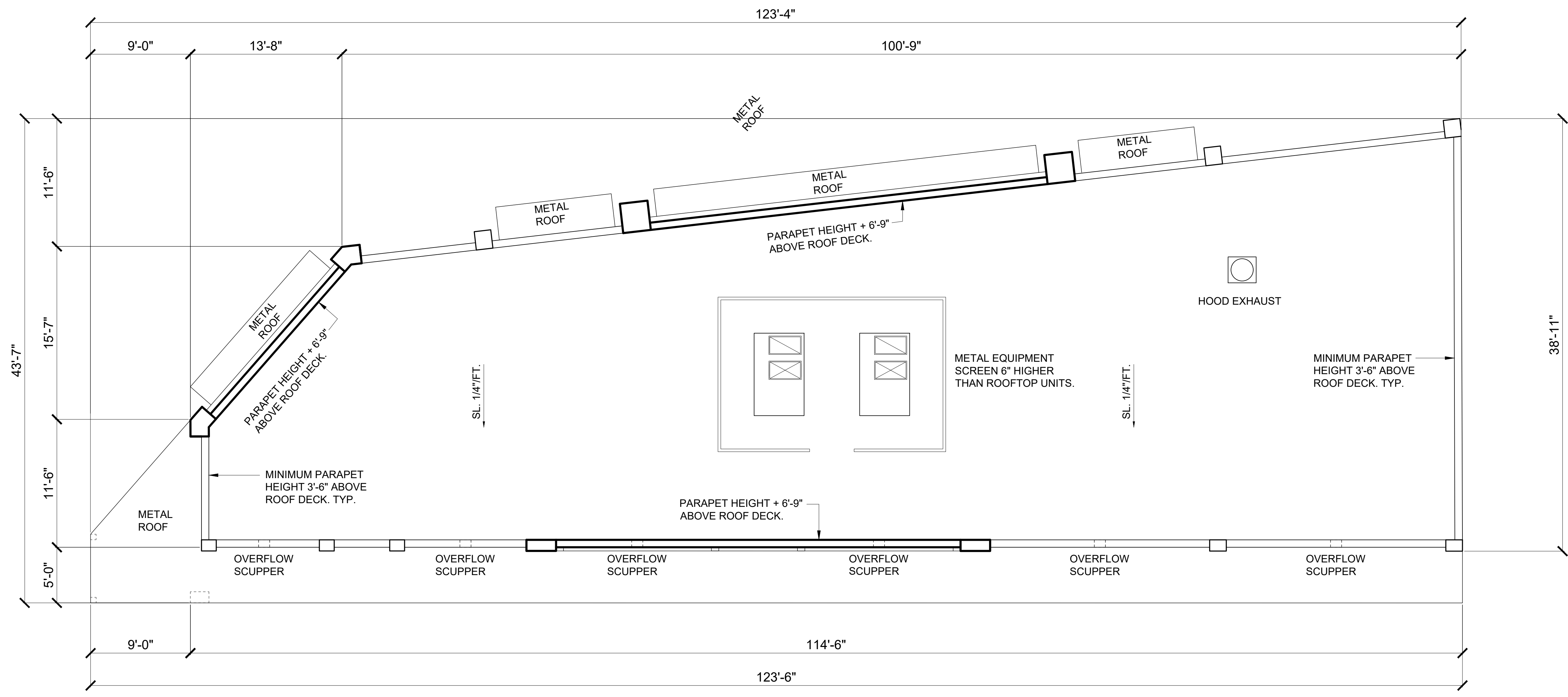
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A-1
 OF SHEETS

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4-12-18	DBK	



GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
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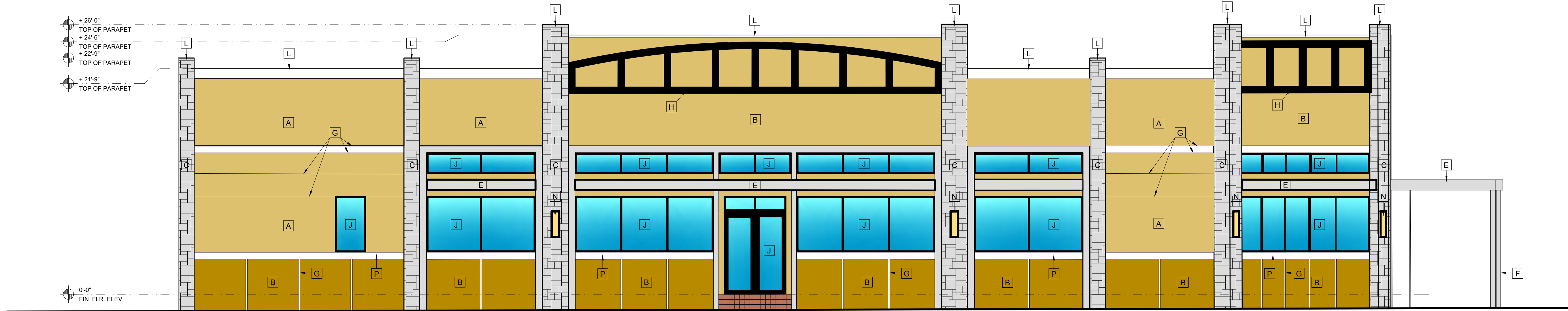
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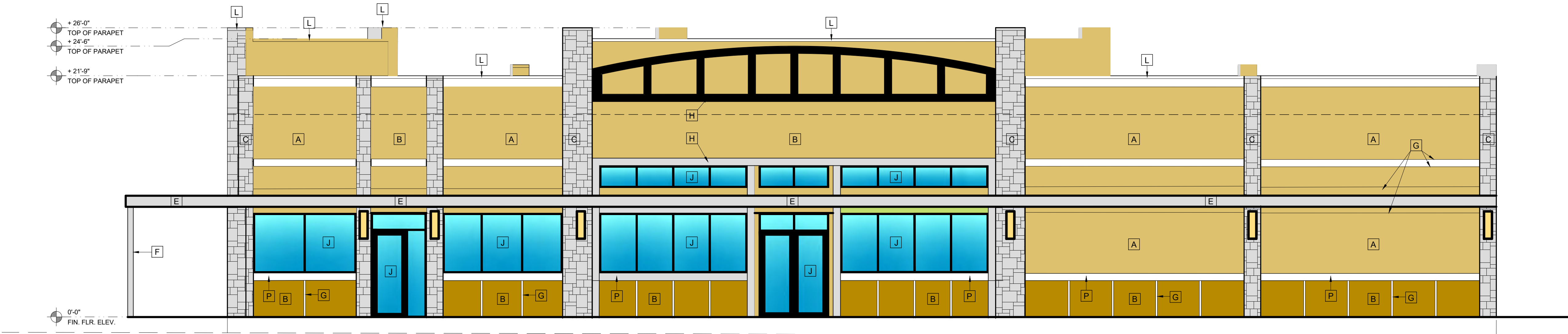
A-2

OF SHEETS

MATERIAL AND COLOR KEY NOTE LEGEND							
MARK	DESCRIPTION	COLOR	SHERWIN WILLIAMS PAINT OR EQUAL	MARK	DESCRIPTION	COLOR	SHERWIN WILLIAMS PAINT OR EQUAL
A	WALLS - SMOOTH STUCCO			J	DOORS & WINDOWS - ALUM. IMPACT RATED		
B	WALLS - TEXTURED STUCCO			K	HOL. MTL. DOOR IMPACT RATED		
C	CONC. COLUMN - STONE			L	COPING CAP		
D	STONE VENEER			M	5' MTL. EQUIPMENT SCREEN		
E	METAL ROOF			N	U.L. LIGHT FIXTURE		
F	METAL COLUMN			P	STUCCO BANDING		
G	STUCCO REVEAL			Q	MTL. EQUIPMENT SCREEN		
H	METAL TRIM			R			



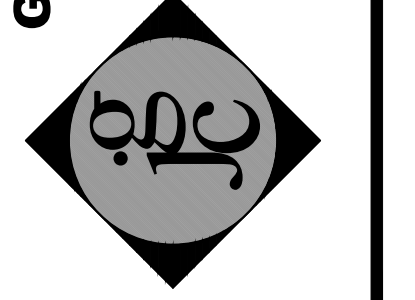
1 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

REVISION	

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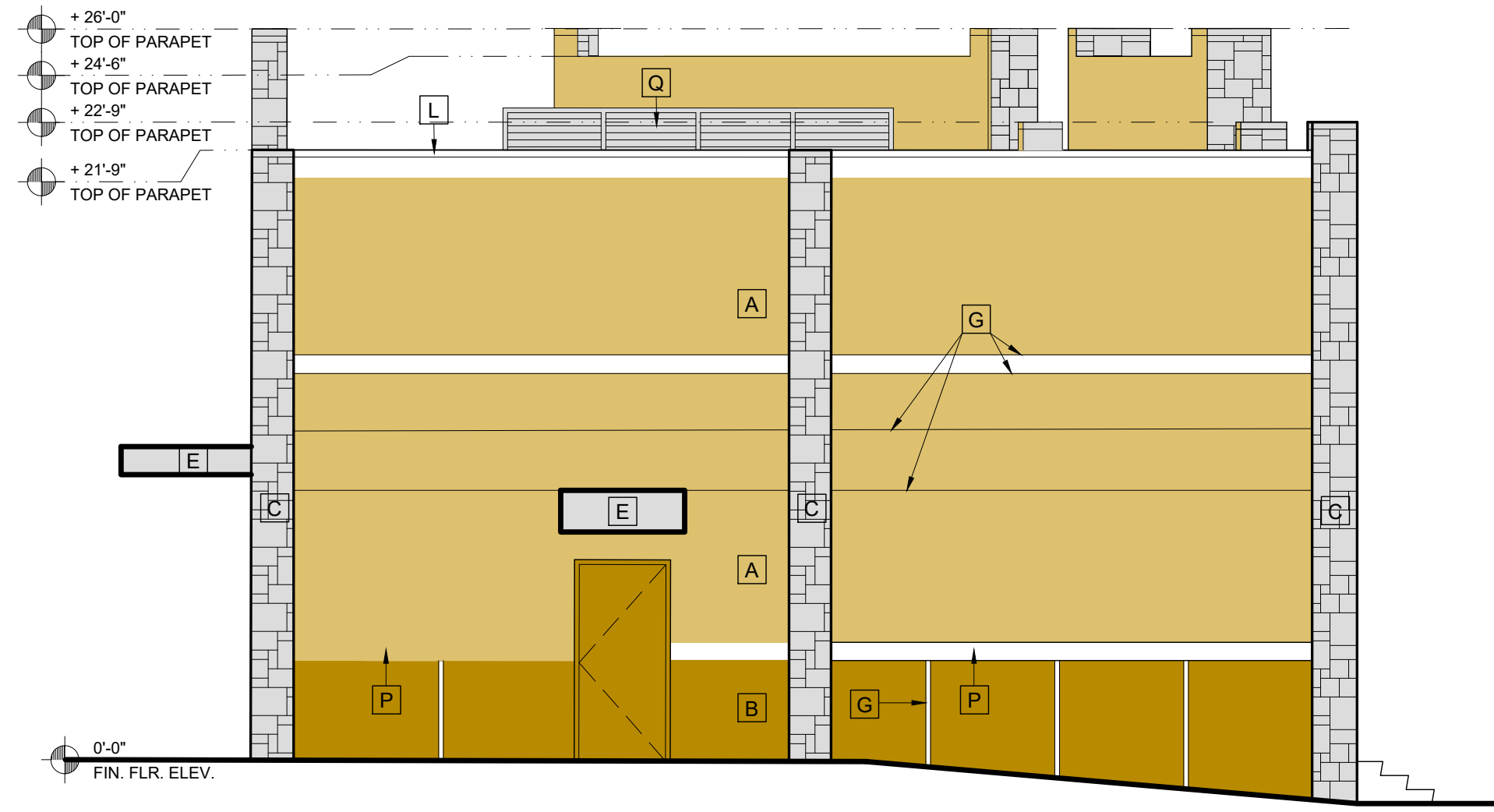
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AA26001131

DRAWN **DBK**
 CHECKED **GJC**
 DATE **11-1-23**
 SCALE **AS NOTED**
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 SHEET

A-3

OF SHEETS



MATERIAL AND COLOR KEY NOTE LEGEND							
MARK	DESCRIPTION	COLOR	SHERWIN WILLIAMS PAINT OR EQUAL	MARK	DESCRIPTION	COLOR	SHERWIN WILLIAMS PAINT OR EQUAL
A	WALLS - SMOOTH STUCCO			J	DOORS & WINDOWS - ALUM. IMPACT RATED		
B	WALLS - TEXTURED STUCCO			K	HOL. MTL. DOOR IMPACT RATED		
C	CONC. COLUMN - STONE			L	COPING CAP		
D	STONE VENEER			M	5' MTL. EQUIPMENT SCREEN		
E	METAL ROOF			N	U.L. LIGHT FIXTURE		
F	METAL COLUMN			P	STUCCO BANDING		
G	STUCCO REVEAL			Q	MTL. EQUIPMENT SCREEN		
H	METAL TRIM			R			

1 EAST ELEVATION

SCALE: 3/16" = 1'-0"



2 WEST ELEVATION

SCALE: 3/16" = 1'-0"

REVISION	DATE	DESCRIPTION

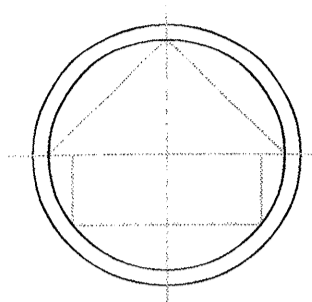
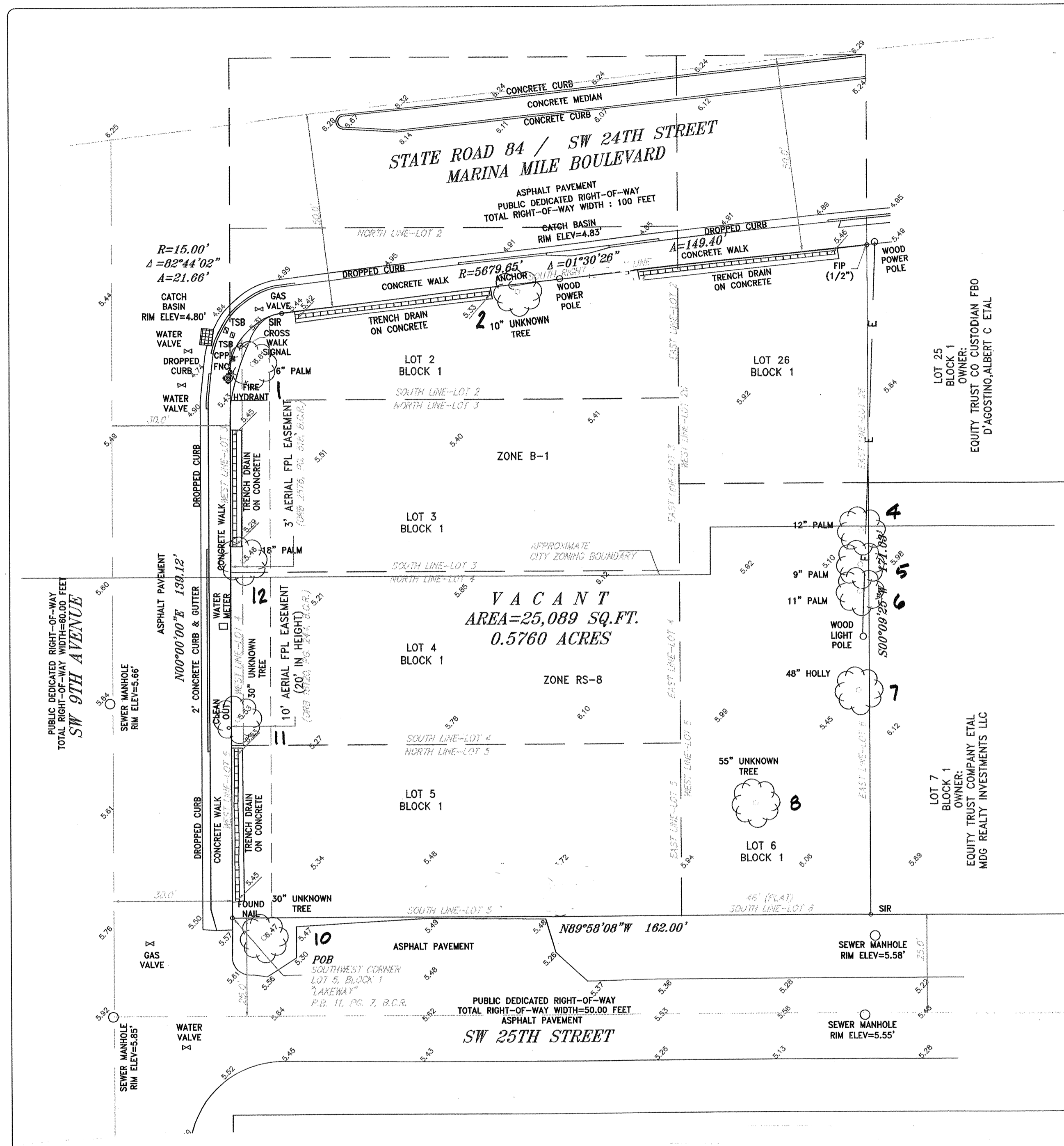
GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
 (954) 462-6565
 Member American Institute of Architects

PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957
 AA26001131

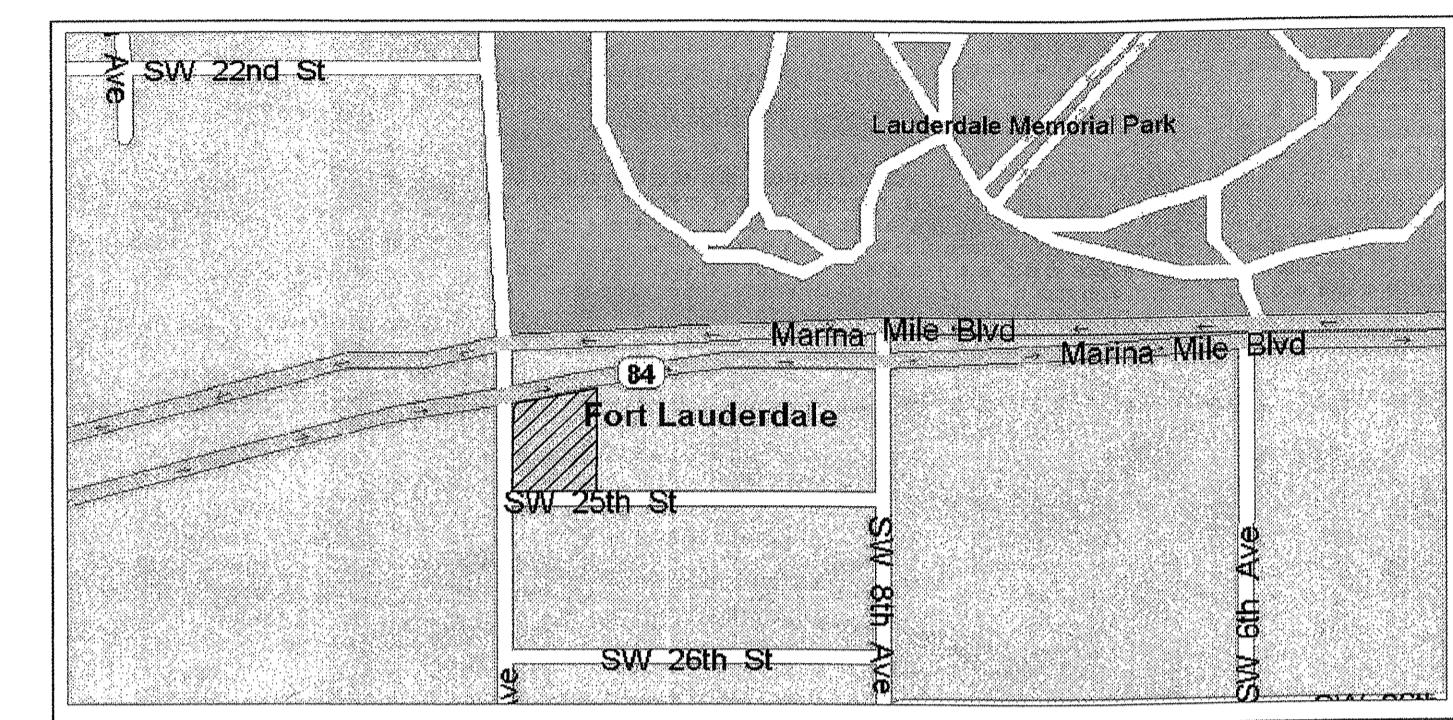
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 CHECKED **GJC**
 DATE **11-1-23**
 SCALE **AS NOTED**
 JOB. NO. **22-063**
 SHEET **A-4**
 OF SHEETS

REVISION	BY:
6/22/17	
6/23/23	

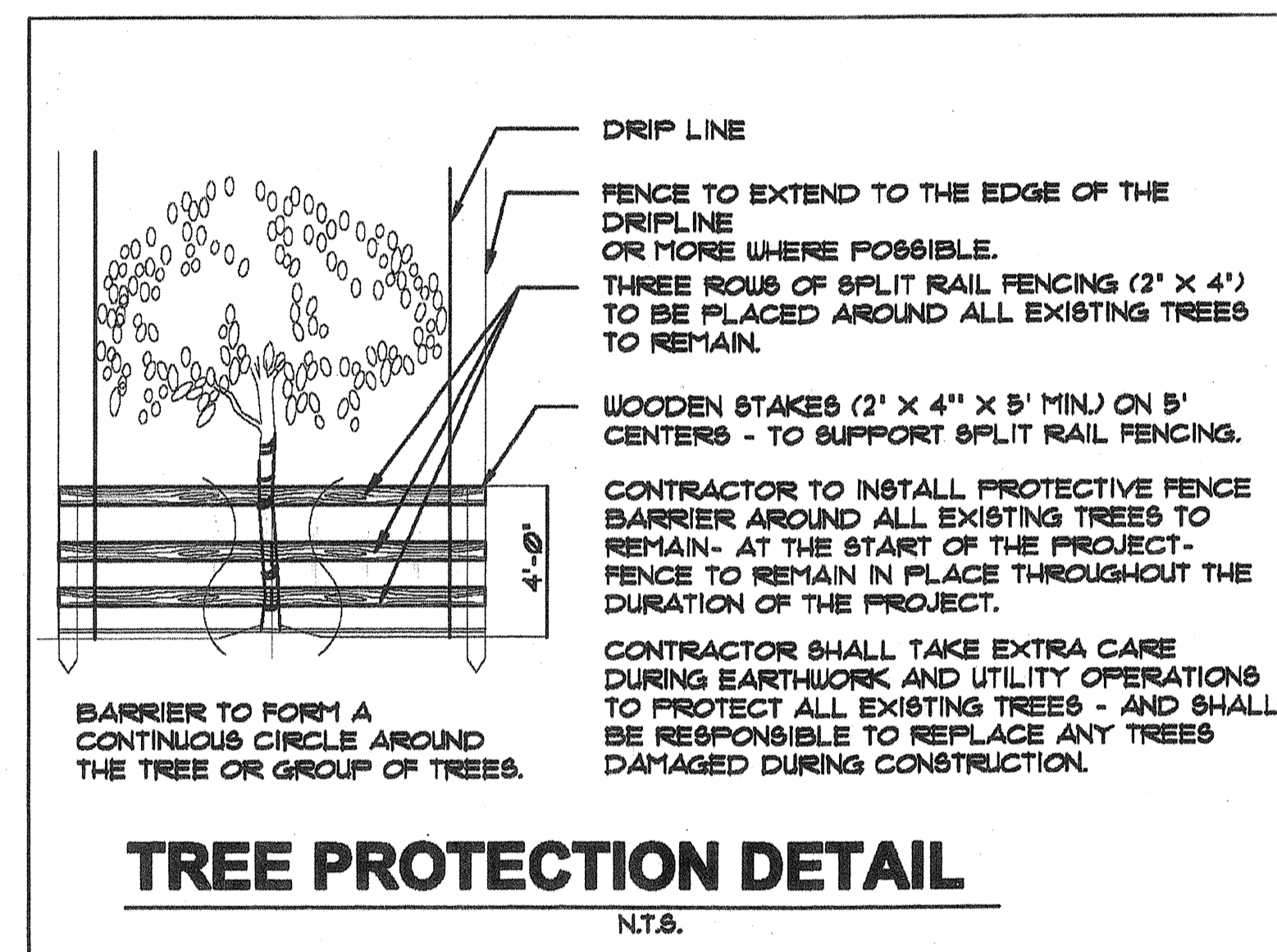


- LEGEND:
- CBS CONCRETE BLOCK STRUCTURE
 - CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/Pg FIELD BOOK AND PAGE
 - CHAIN LINK FENCE/ WOOD FENCE
 - SET 5/8" IRON ROD AND CAP #6448
 - SIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - A/C AIR CONDITIONER SLAB
 - P.B. PLAT BOOK
 - E— OVERHEAD WIRES
 - ALTA AMERICAN LAND TITLE ASSOCIATION
 - NSPS NATIONAL SOCIETY OF PROFESSIONAL SUR
 - ORB OFFICIAL RECORDS BOOK
 - BCR BROWARD COUNTY RECORDS
 - WM WATER METER
 - TSB TRAFFIC SIGNAL BOX
 - WPP WOOD POWER POLE
 - CPP CONCRETE POWER POLE

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)



Note: A tree removal permit is required by the City prior to the removal of any trees on site.

Existing Tree Disposition

Existing tree number	Botanical/ Common Name	Size	Condition* (Percentage)	Disposition	Mitigation
1	Phoenix roebelenii/ Pygmy Date Palm	6' CT	48	Remove	0
2	Tabebuia caribibia/ Yellow Tabebuia	11" cal	55	Remove	.80 x 11 x .55 = 4.8"
4	Sabal palmetto/ Sabal Palm	15' CT	50	Remove	1 palm
5	Sabal palmetto/ Sabal Palm	16' CT	50	Remove	1 palm
6	Sabal palmetto/ Sabal Palm	16' CT	50	Remove	1 palm
7	Schinus terebinthifolius/ Brazilian Pepper			Remove	0
8	Ficus aurea/ Strangler Fig	64" cal	40	Remove	64 x .40 = 25.6"
10	Conocarpus erectus/ Green Buttonwood	26" cal	48	Remove	26 x .48 = 12.48"
11	Conocarpus erectus/ Green Buttonwood	24" cal	43	Remove	24 x .43 = 10.32"
12	Sabal Palmetto/ Sabal Palm	3' CT	50	Remove	0

Total mitigation required = 3 palms + 53.2"
 Total mitigation provided = 64" (See sheet L-1)

*Note: Condition rating per James Legette Certified Arborist. Refer to full arborist report.

Tree Disposition Plan
 Scale 1" = 20' - 0"

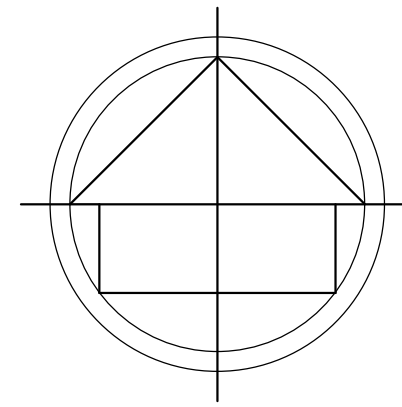
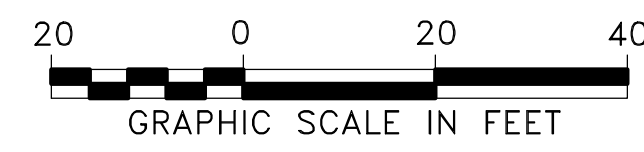
GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
 (954) 462-6565
 Member American Institute of Architects

PROPOSED DEVELOPMENT FOR:
NEW RETAIL BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

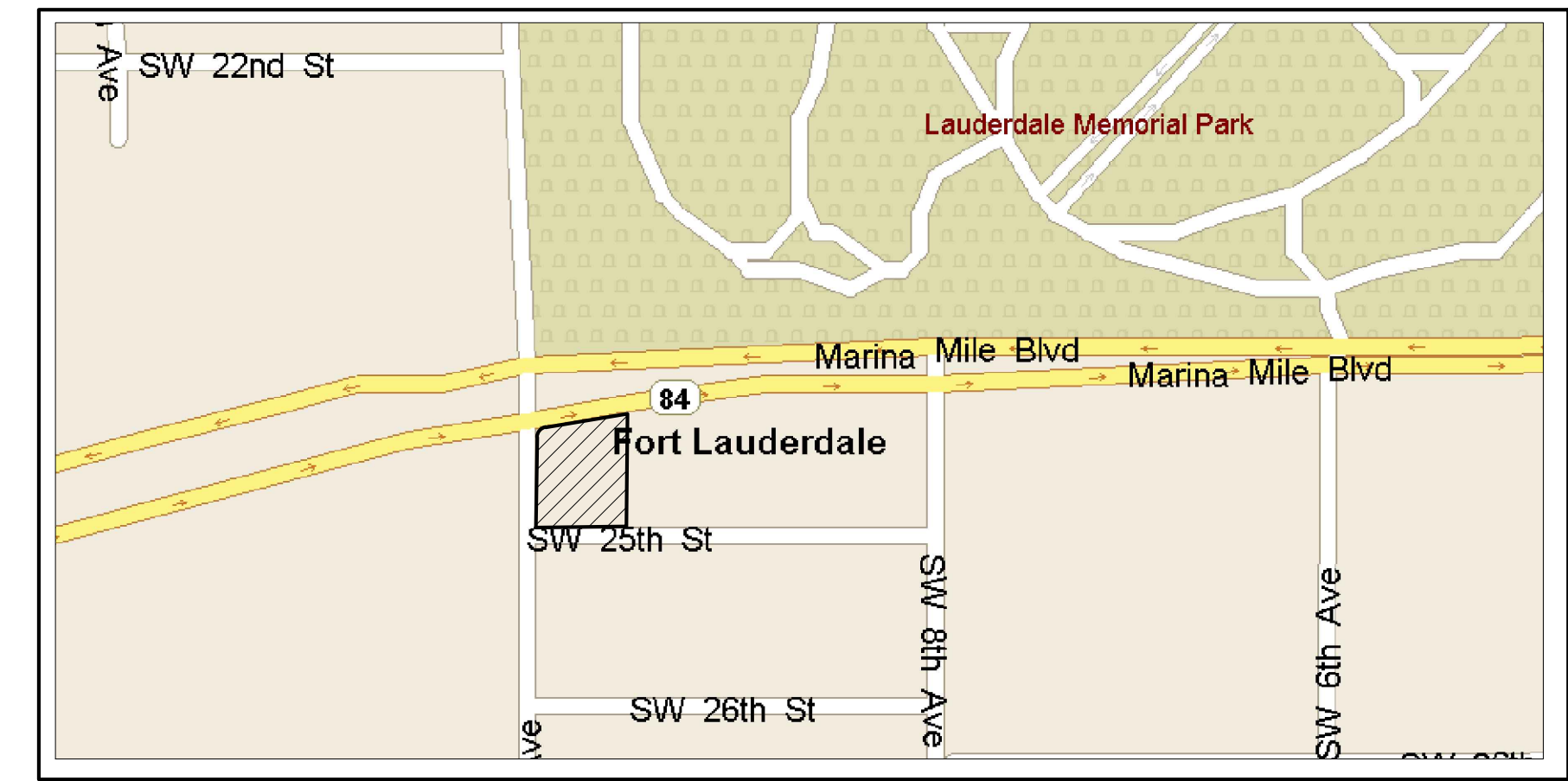
Kimberly Moyer, RLA
 Landscape Architecture
 (954) 492-9609
 Lic. No. #LA0000952

Digitally signed by Kimberly Moyer
 Date: 2023.07.21 12:17:33 -0400

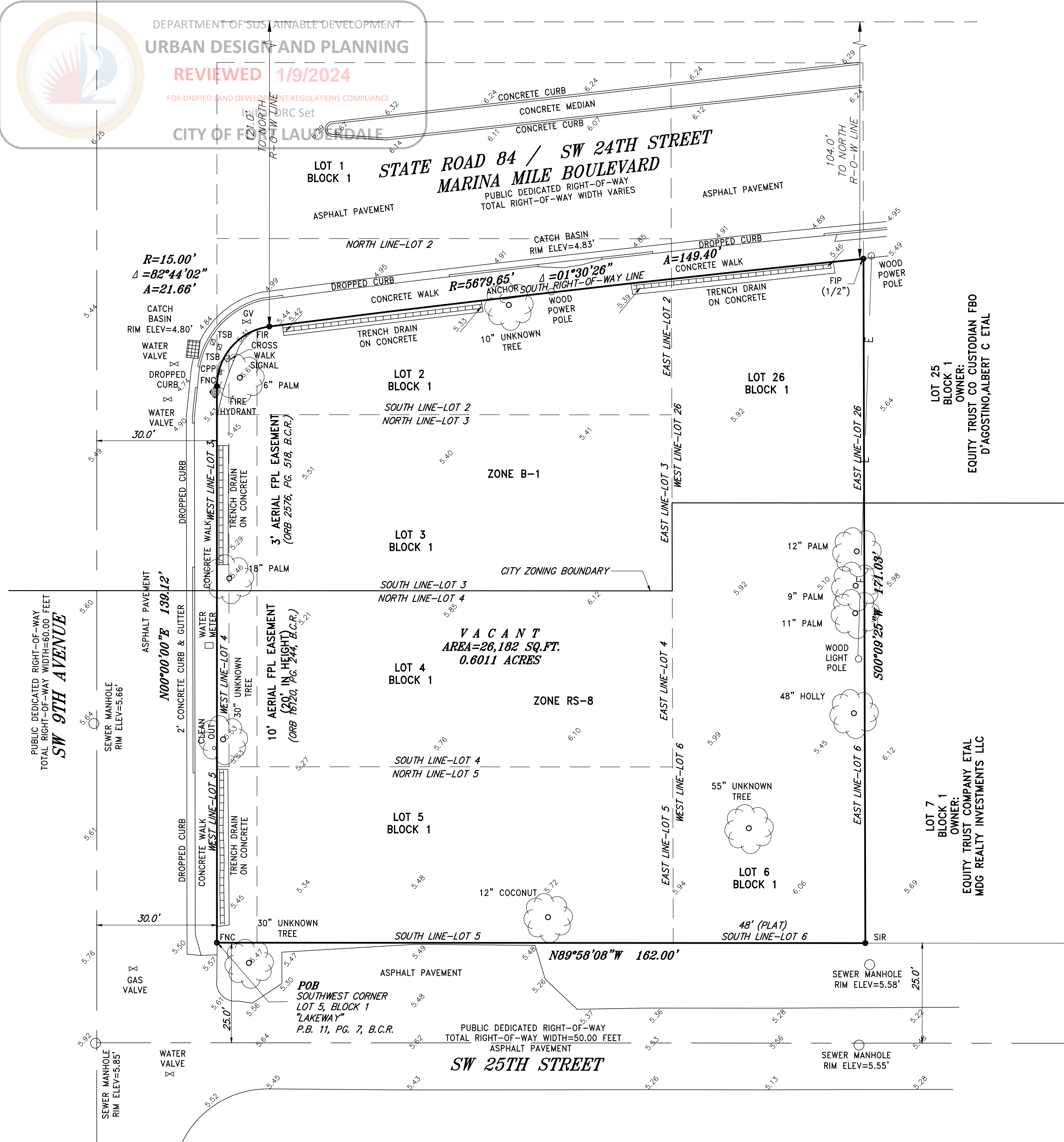
DRAWN **K.M.**
 CHECKED **K.M.**
 DATE **3-10-17**
 SCALE **AS NOTED**
 JOB. NO. **16-046**
 SHEET **TD-1**
 OF SHEETS



ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)



- LEGEND:**
- CBS CONCRETE BLOCK STRUCTURE
 - CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PG FIELD BOOK AND PAGE
 - X- CHAIN LINK FENCE/ WOOD FENCE
 - SIR SET 5/8" IRON ROD AND CAP #6448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - A/C AIR CONDITIONER SLAB
 - P.B. PLAT BOOK
 - E- OVERHEAD WIRES
 - ALTA AMERICAN LAND TITLE ASSOCIATION
 - NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
 - ORB OFFICIAL RECORDS BOOK
 - BCR BROWARD COUNTY RECORDS
 - WM WATER METER
 - TSB TRAFFIC SIGNAL BOX
 - WPP WOOD POWER POLE
 - CPP CONCRETE POWER POLE
 - CV GAS VALVE
 - R RADIUS
 - A ARC DISTANCE
 - Δ CENTRAL ANGLE
 - 5.69 ELEVATIONS

ZONING: B-1 - BOULEVARD BUSINESS
 BUILDING SETBACK : FRONT 5 FEET
 CORNER 5 FEET
 SIDE ABUTTING RESIDENTIAL DISTRICT 10 FEET
 OTHER 0 FEET
 REAR ABUTTING RESIDENTIAL DISTRICT 15 FEET
 OTHER 0 FEET

MAXIMUM HEIGHT: 150 FEET
 ZONING: RS-8 - RESIDENTIAL
 BUILDING SETBACK : FRONT 25 FEET
 SIDE MINIMUM 5 FEET UP TO 22 FEET IN HEIGHT
 REAR 15 FEET

NOTES :

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 1226498 A1 WITH A 1. COMMITMENT DATE: APRIL 20, 2022 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
3. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
5. UNDERGROUND IMPROVEMENTS NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
7. BENCHMARK DESCRIPTION : BROWARD COUNTY BENCHMARK #2891 ELEVATION = 5.00' (NAVD88)
8. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
9. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
10. THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
11. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
12. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
13. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
14. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
15. NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

LAND DESCRIPTION:

A PORTION OF LOTS 2, 3, 4, 5, 6 AND 26 IN BLOCK 1 OF "LAKEWAY", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SW CORNER OF SAID LOT 5; THENCE RUN NORTH 00°00'00" EAST ALONG THE WEST LINE OF SAID LOTS 5, 4, 3 AND 2 FOR A DISTANCE OF 139.12 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE, CONCAVE TO THE SOUTHEAST; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 82°44'02", FOR AN ARC DISTANCE OF 21.66 FEET TO A POINT OF COMPOUND CURVATURE; THENCE RUN EASTERLY ALONG THE ARC OF SAID COMPOUND CURVE (ALSO BEING THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 84), HAVING A RADIUS OF 5679.65 FEET, THROUGH A CENTRAL ANGLE OF 01°30'26", FOR AN ARC DISTANCE OF 149.40 FEET TO A POINT; THENCE RUN SOUTH 00°09'25" WEST ALONG THE EAST LINE OF SAID LOTS 26 AND 6 FOR A DISTANCE OF 171.03 FEET TO A SE CORNER OF SAID LOT 6; THENCE RUN NORTH 89°58'08" WEST ALONG THE SOUTH LINE OF SAID LOTS 6 AND 5 FOR A DISTANCE OF 162.00 FEET TO A POINT OF BEGINNING.

TITLE EXCEPTIONS

6. ALL MATTERS CONTAINED ON THE PLAT OF LAKEWAY, AS RECORDED IN PLAT BOOK 11, PAGE 7, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
7. EASEMENT WITH FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 2576, PAGE 518, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
8. EASEMENT WITH FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 16120, PAGE 244, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
9. REVISED: RESERVATION OF MINERAL RIGHTS CONTAINED IN THE SPECIAL WARRANTY DEED RECORDED AT O.R. BOOK 28923 PAGE 118, O.R. BOOK 46289, PAGE 23 AND INSTRUMENT NUMBER 113982545, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

FLOOD ZONE INFORMATION

COMMUNITY NUMBER	125105
PANEL NUMBER	0559 H
ZONE	AH
BASE FLOOD ELEVATION	6
EFFECTIVE DATE	08/18/14

CERTIFIED TO:

EL TAMARINDO 84, LLC,
 NESTOR A. AMAYA, RAFAEL A., AMAYA
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 ATTORNEYS' TITLE FUND SERVICES, LLC
 JOSEPH M. WEHBY, P.A.
 JOSEPH M. WEHBY, ESQUIRE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (A), (B), (NON SUPPLIED), 7 (A), (B) AND (C), 8, 9, 11, 13, 14, 16 AND 17 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON MAY 06, 2022.

FOR THE FIRM BY: _____
 RICHARD E. COUSINS
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.

3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766

CLIENT :

LAW OFFICES OF JOSEPH
 M. WEHBY, P.A.

840 W STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

ALTA/NSPS LAND TITLE SURVEY

REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	12/12/16	DATA/COLL	AM	REC
REVIEW OF EXAMINATION OF TITLE	04/16/18	----	AM	REC
UPDATE SURVEY	06/05/20	----	JD	REC
UPDATE SURVEY	05/06/22	----	AM	REC
UPDATE PER NEW TITLE COMMITMENT	05/24/22	----	AM	REC
REVISED SITE AREA	06/01/23	----	JD	REC

PROJECT NUMBER : 8220-16

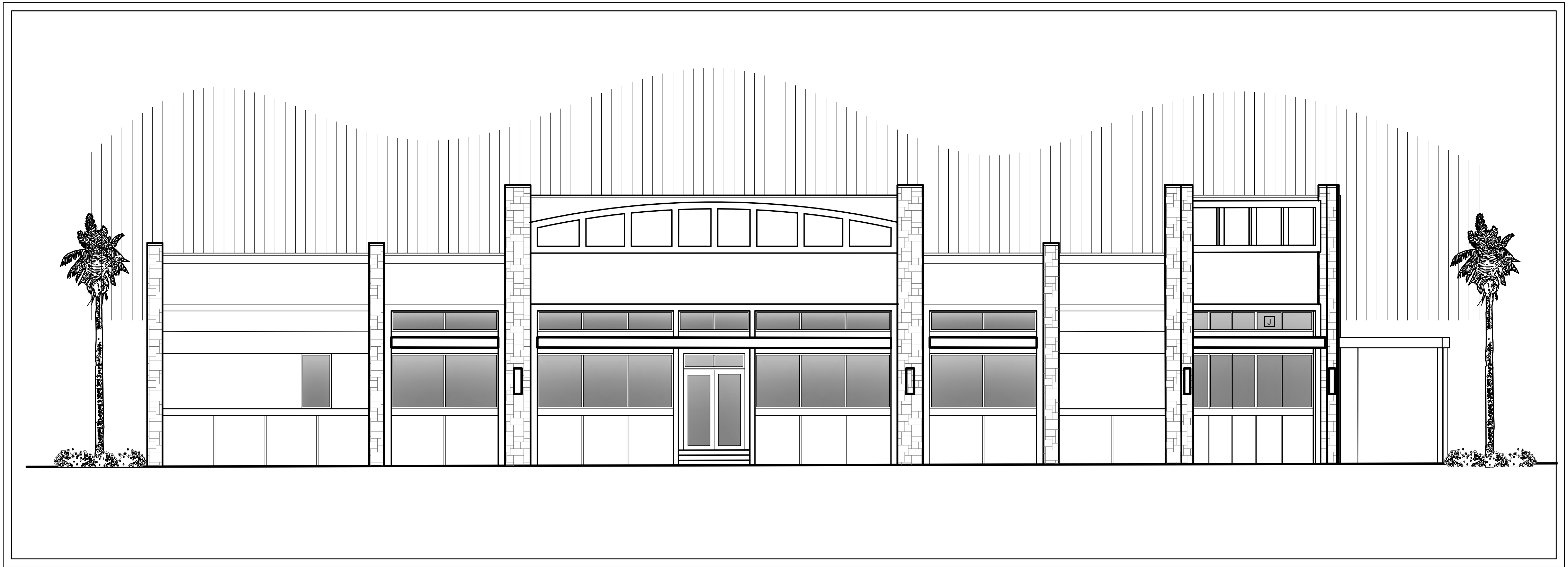
SCALE : 1" = 20'

SHEET
 1 OF 1
 SHEET

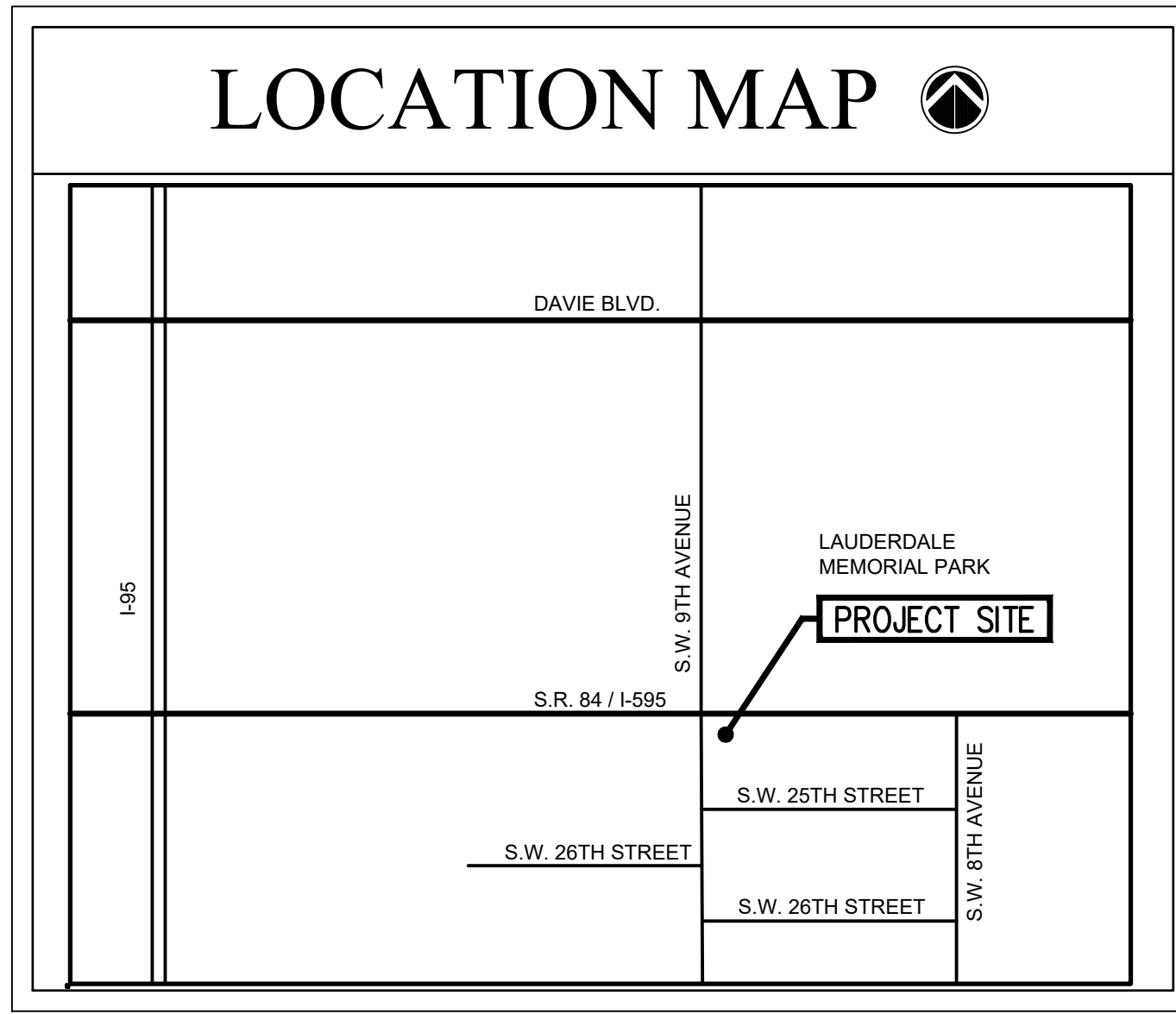
TAMARINDO RESTAURANT


STATE ROAD 84

FORT LAUDERDALE, FLORIDA



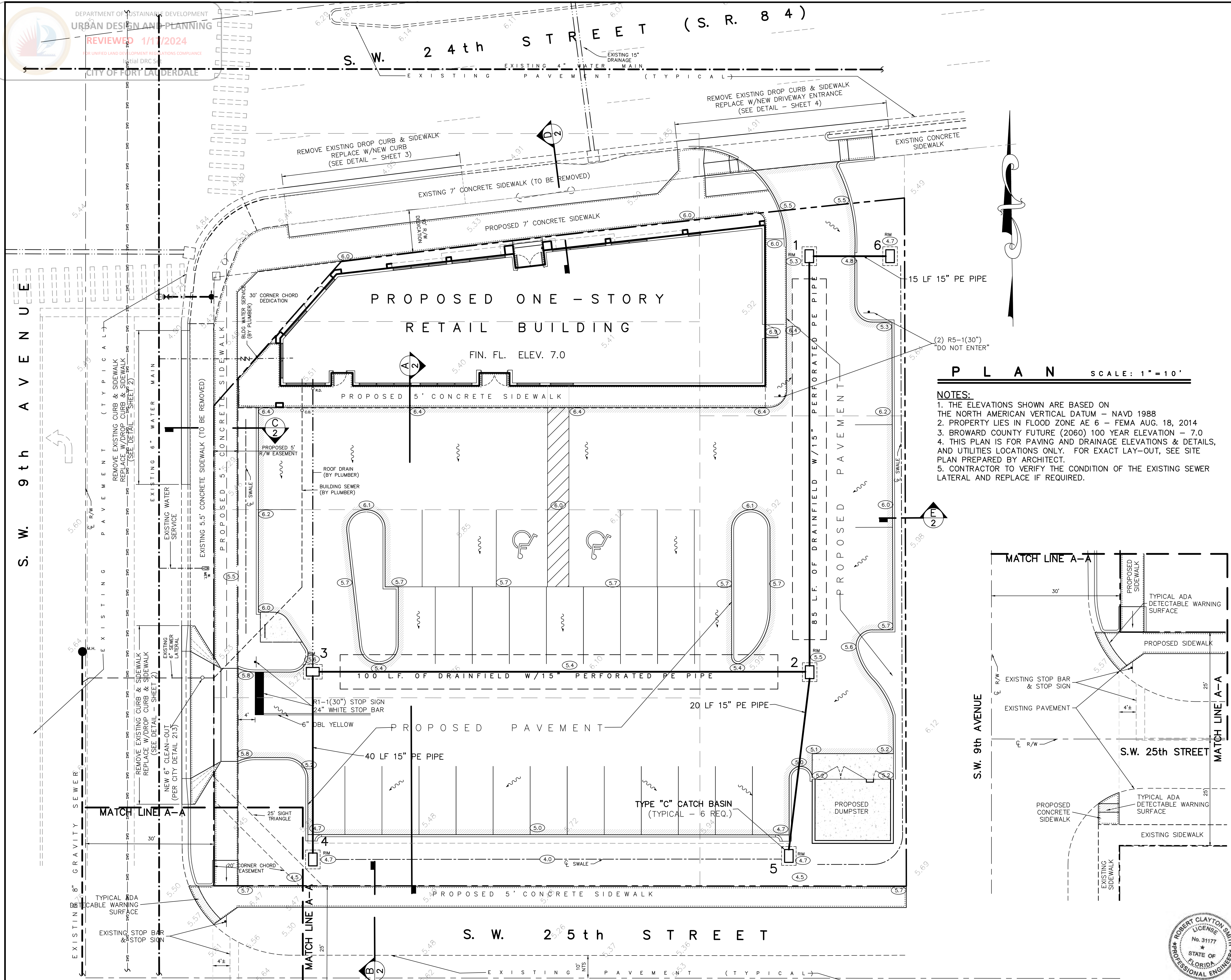
SHEET INDEX	
COV-1	COVER SHEET
	SURVEY
SITE/DATA	
SP-1	SITE PLAN AND DATA
SP-2	SITE DETAILS
SP-3	SITE DETAILS
CIVIL	
C-1	CIVIL ENGINEERING PLAN
C-2	CIVIL ENGINEERING DETAILS
C-3	CIVIL ENGINEERING EROSION CONTROL PLAN
LANDSCAPING	
L-1	LANDSCAPE PLAN, TYP. DETAILS & NOTES
TD-1	TREE DISPOSITION PLAN
PHOTOMETRIC	
PH-1	SITE PHOTOMETRIC PLAN
ARCHITECTURAL	
A-1	FLOOR PLAN
A-2	ROOF PLAN
A-3	NORTH AND SOUTH ELEVATIONS
A-4	EAST AND WEST ELEVATIONS



PROJECT TEAM		
ARCHITECT:  GUSTAVO J. CARBONELL, P.A. Architect and Planner Member American Institute of Architects <small>1457 N.E. 4th Ave. Phone: (954) 462-6555 Ft. Lauderdale, Florida, 33304 Fax: (954) 527-9857 E-Mail: gcarbonell@gjcarb.com</small>	CIVIL ENGINEER: JOHN B. SMITH ENGINEERS, INC. <small>441 S. STATE ROAD 7, SUITE 100 MARGATE, FLORIDA 33068 PHONE: (954) 782-4177 CERTIFICATE OF AUTHORIZATION NO. 1888</small>	LANDSCAPE ARCHITECT: KIM MOYER, R.L.A. LANDSCAPE ARCHITECTURE (954) 492-9609 Lic. No. #L0000952

TAX FOLIO NUMBER:
 5042 2214 0020

FRANCHISE & UTILITY PROVIDERS:
 WATER - CITY OF FORT LAUDERDALE
 SEWER - CITY OF FORT LAUDERDALE
 GARBAGE - CITY OF FORT LAUDERDALE

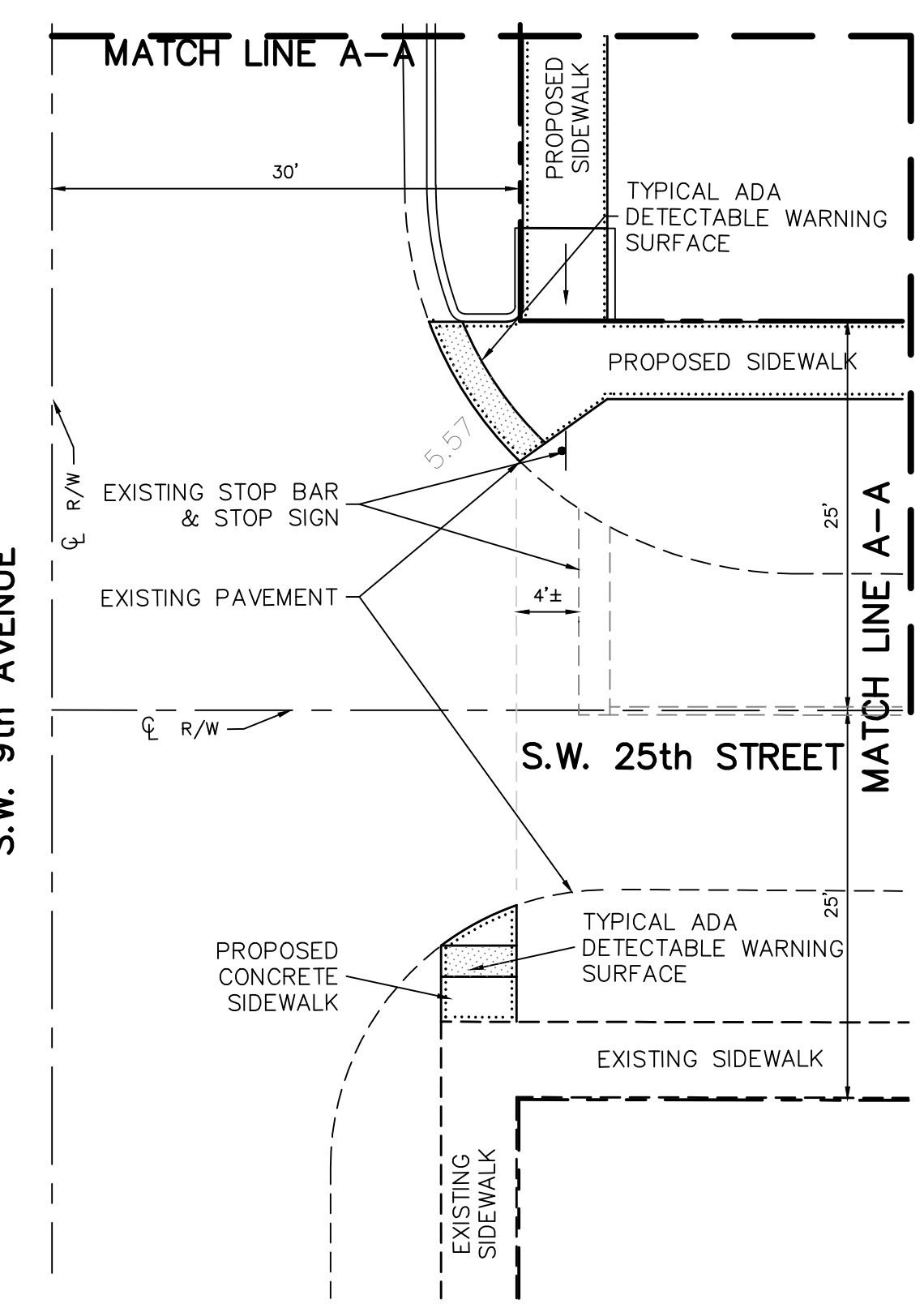


P L A N SCALE: 1" = 10'

- NOTES:**
1. THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM - NAVD 1988
 2. PROPERTY LIES IN FLOOD ZONE AE 6 - FEMA AUG. 18, 2014
 3. BROWARD COUNTY FUTURE (2060) 100 YEAR ELEVATION - 7.0
 4. THIS PLAN IS FOR PAVING AND DRAINAGE ELEVATIONS & DETAILS, AND UTILITIES LOCATIONS ONLY. FOR EXACT LAY-OUT, SEE SITE PLAN PREPARED BY ARCHITECT.
 5. CONTRACTOR TO VERIFY THE CONDITION OF THE EXISTING SEWER LATERAL AND REPLACE IF REQUIRED.

LEGAL DESCRIPTION:
 LOTS 2-6, & 26, BLOCK 1, "LAKEWAY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 7, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

- LEGEND:**
- EXISTING WATER MAIN
 - PROPOSED WATER MAIN
 - EXISTING SEWER MAIN
 - PROPOSED SEWER MAIN
 - EXISTING DRAINAGE
 - PROPOSED DRAINAGE
 - PROPOSED PAVEMENT
 - EXISTING PAVEMENT
 - EXISTING ELEVATIONS
 - PROPOSED ELEVATIONS
 - DIRECTION OF RUN-OFF
 - EXISTING TEE
 - PROPOSED TEE
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - EXISTING VALVE
 - PROPOSED VALVE
 - EXISTING MANHOLE
 - PROPOSED MANHOLE
 - EXISTING FIRE HYDRANT



DRAINAGE CALCULATIONS: (ON-SITE)

1. Requirement: Retain 2-1/2" x % Impervious
 $24143 \text{ S.F.} \times 2\text{-}1/2\text{"} \times 75\% = 3920 \text{ C.F.}$
2. Drainfield Provided:
 $H_2 = 2.5'$, $W = 6'$
 $D_u = 1.5'$, $K = 1 \times 10^{-4}$ (CFS/SF² - FT HEAD)
 $D_s = 1.5'$, $L = 180'$

a. Volume Stored in Trench
 $V(\text{C.F.}) = 0.5 \times W \times D_u \times L = 0.5 \times 5 \times 3 \times 180 = 1350 \text{ C.F.}$

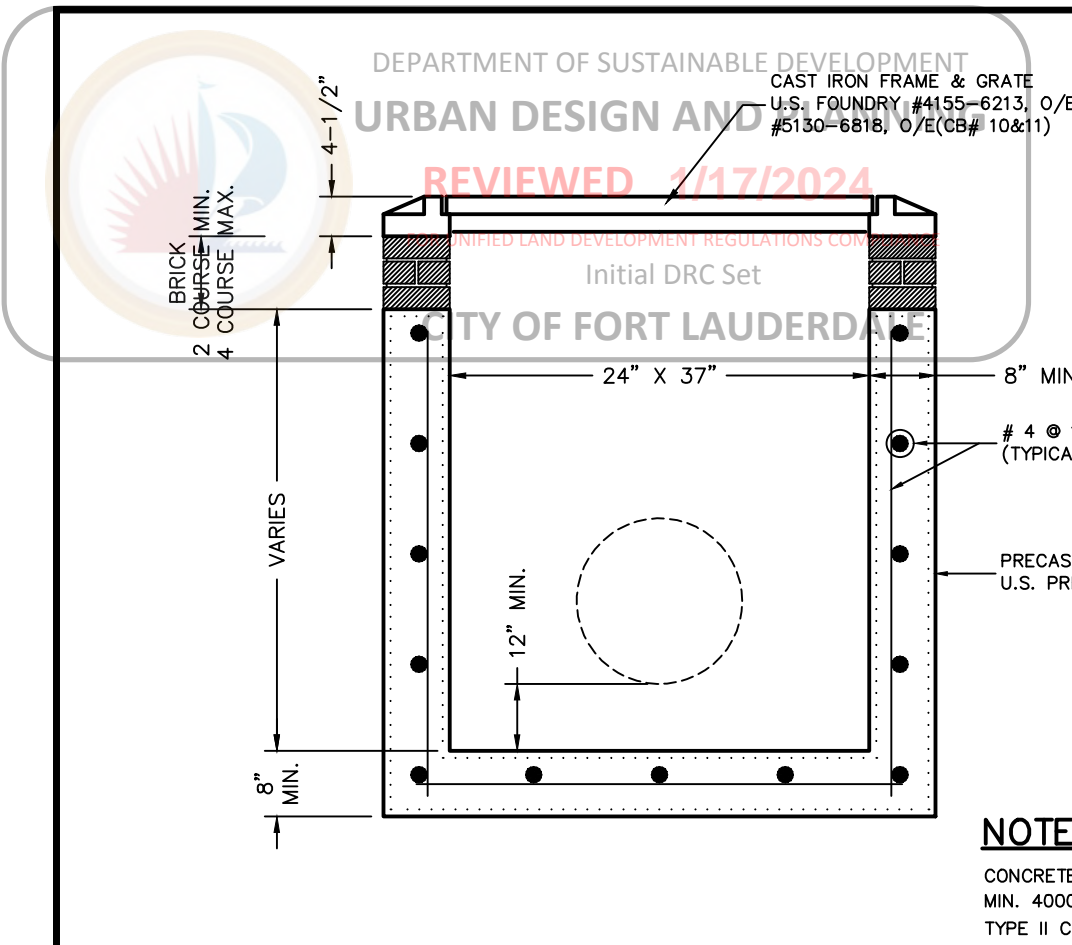
b. Volume Exfiltrated
 $V(\text{C.F.}) = 3600 \text{ K L} \{ H_2 W + 2H_2 D_u - D_u^2 + 2H_2 D_s \}$
 $= 3600 (1 \times 10^{-4}) (180) \{ 4(5) + 2(4)3 - 3^2 + 2(4)3 \}$
 Total = 4136 C.F.

Robert C Smith Digitally signed by Robert C Smith
 Date: 2023.07.21 10:36:51 -04'00'

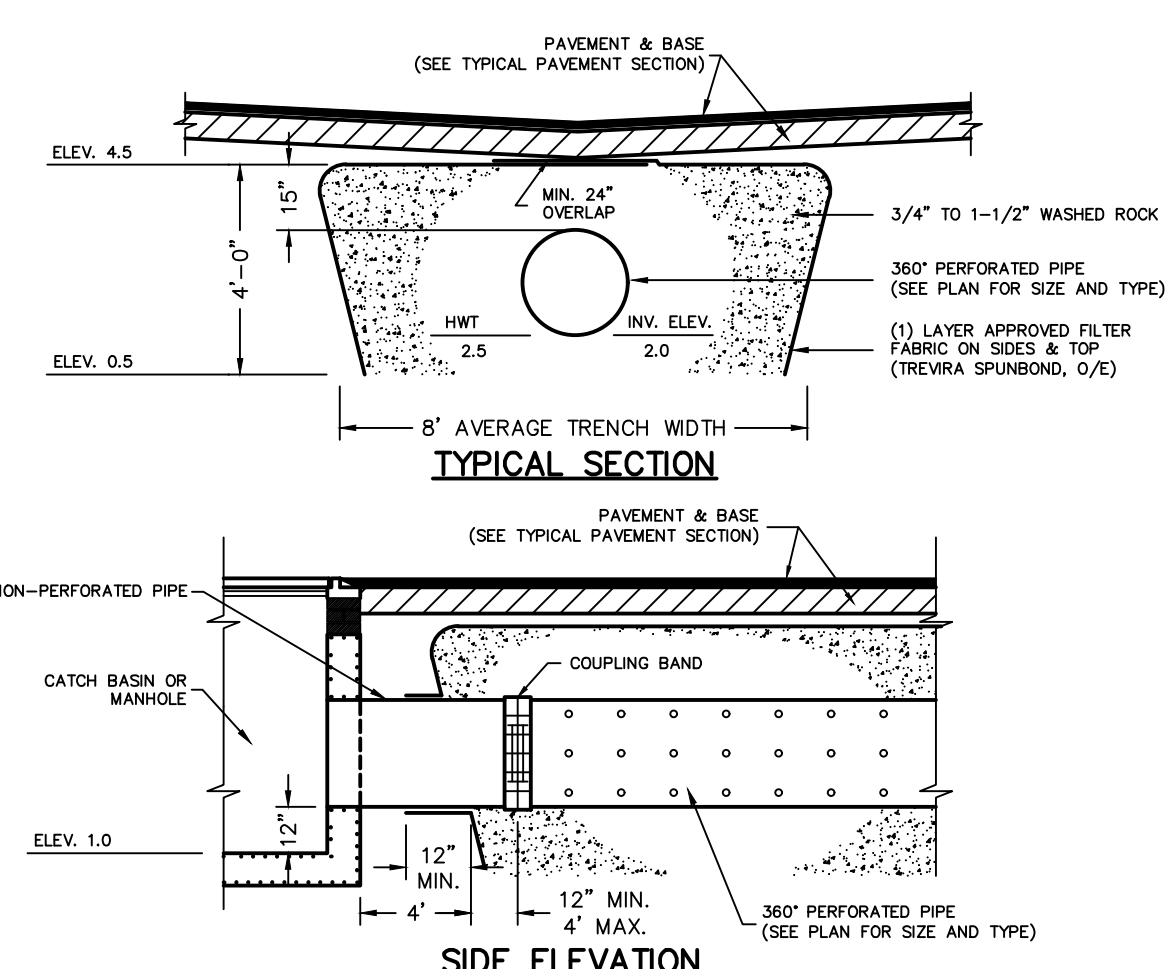
This item has been digitally signed and sealed by Robert C Smith, P.E., on July 21, 2023. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

PAVING, GRADING AND DRAINAGE WATER AND SEWER SERVICE CONNECTIONS PLAN			
GUSTAVO J. CARBONNEL ARCHITECT FORT LAUDERDALE, FLORIDA			
TAMARINDO (840 S.R. 84)			
JOHN B. SMITH ENGINEERS, INC. 1457 N.E. 4th AVENUE FORT LAUDERDALE, FLORIDA 33304 PHONE: (954) 763-4177 CERTIFICATE OF AUTHORIZATION NO. 1888			
DESIGN R.C.S.	DRAWN RCS	DATE JUNE, 2023	FILE 23-125
Robert C Smith			SHEET C10F 3

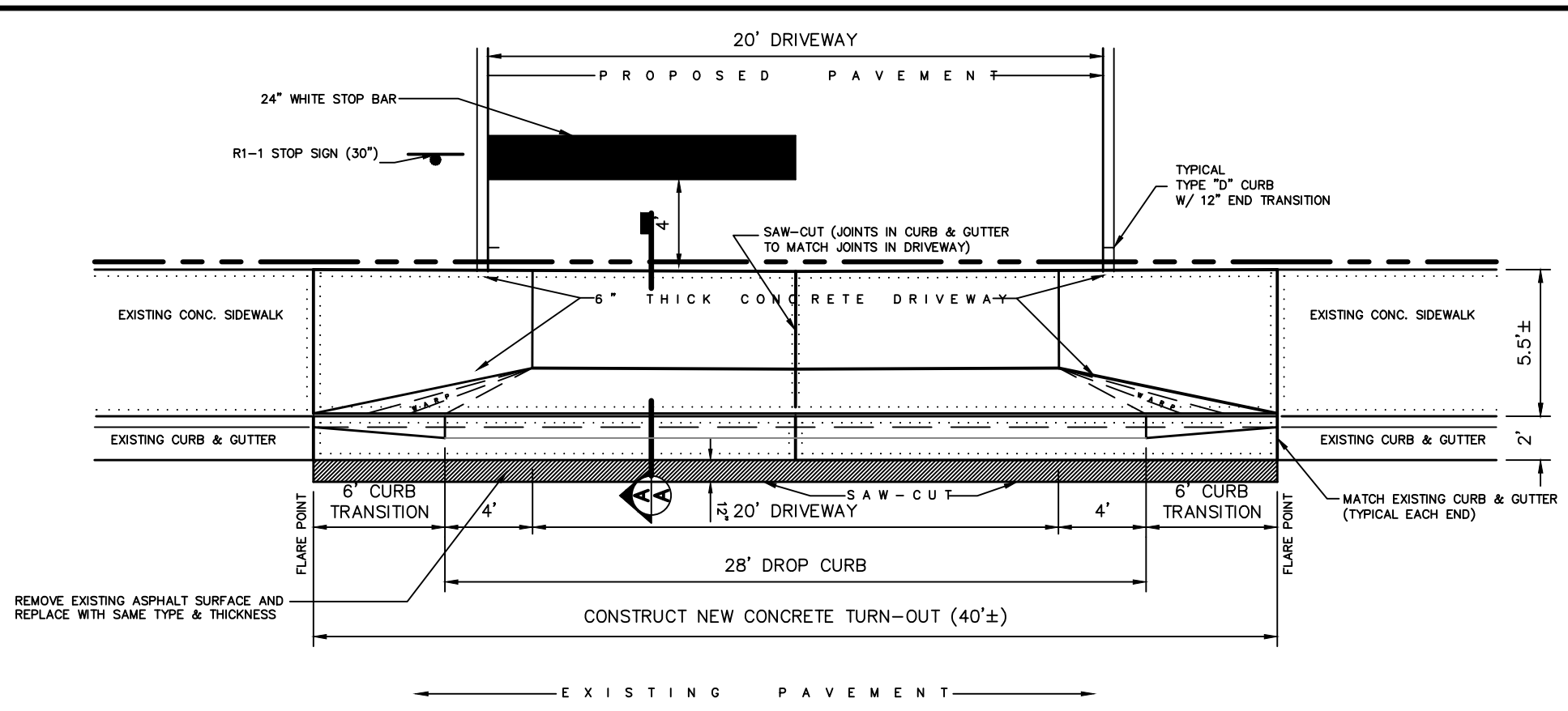




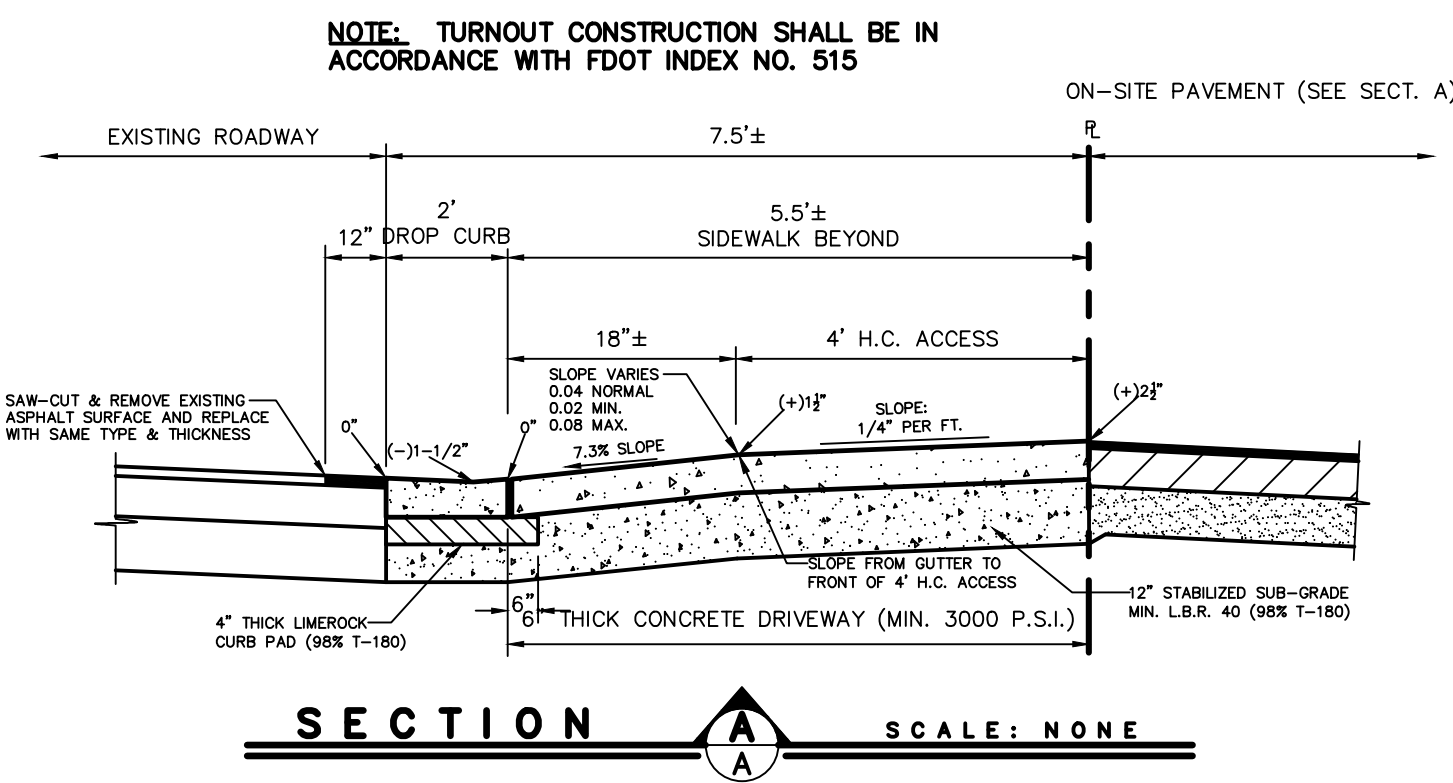
TYPE "C" CATCH BASIN DETAIL



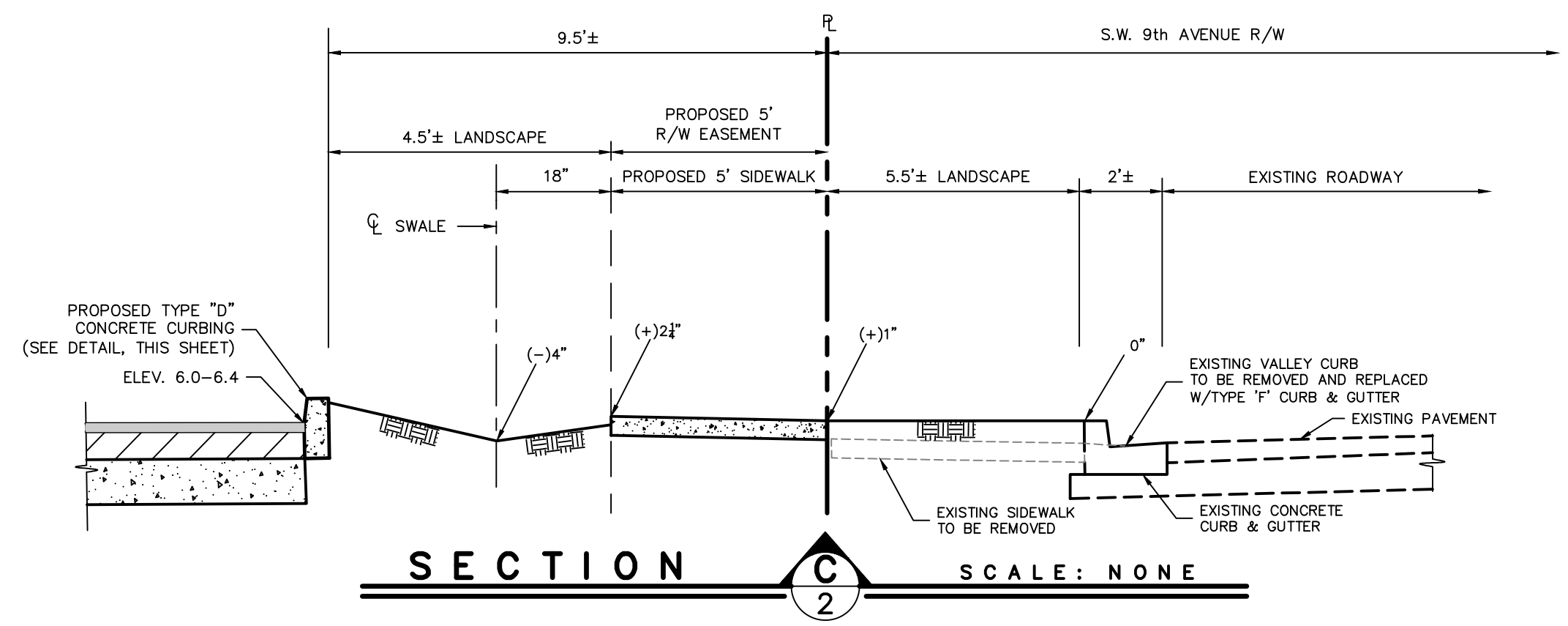
DRAINFIELD DETAILS (ON-SITE)



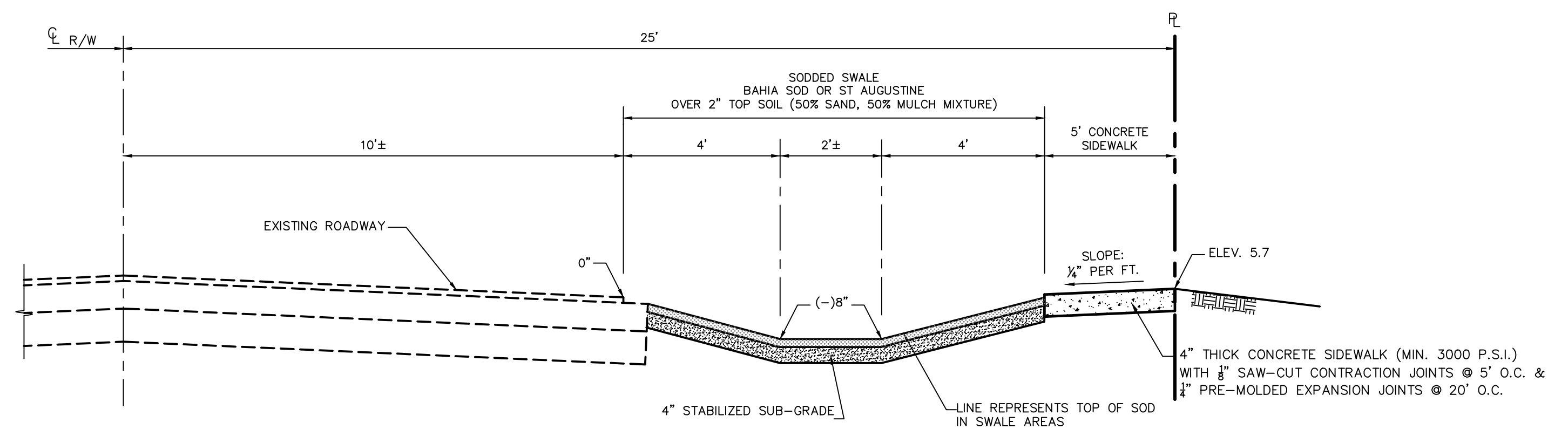
TURN-OUT CONSTRUCTION SCALE: 1"=5'



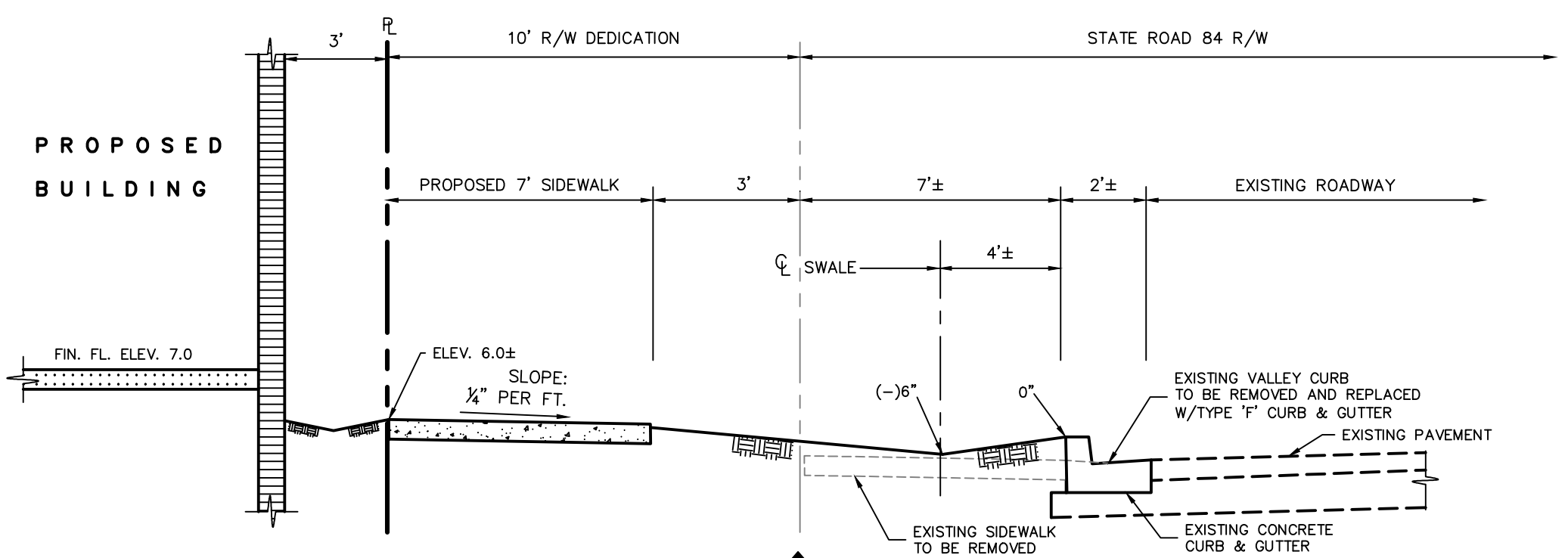
SECTION A SCALE: NONE



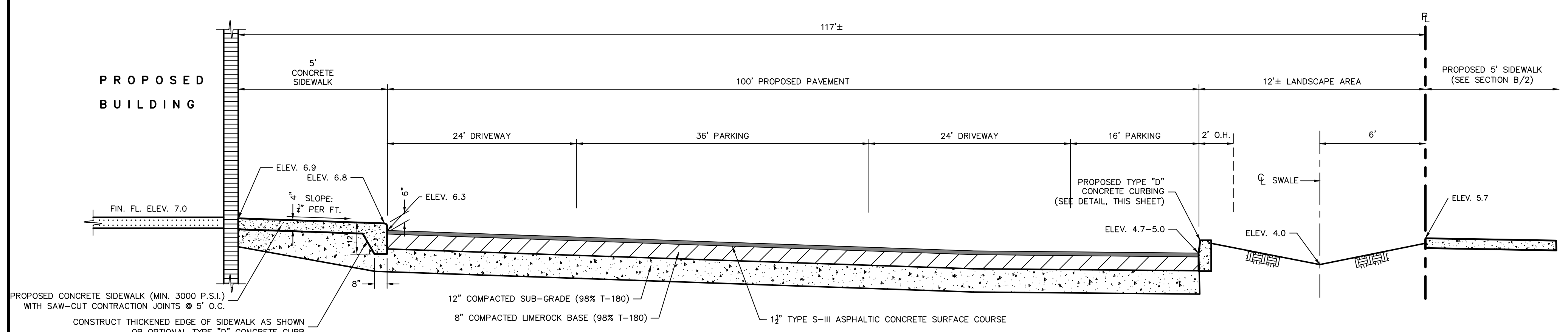
SECTION C SCALE: NONE



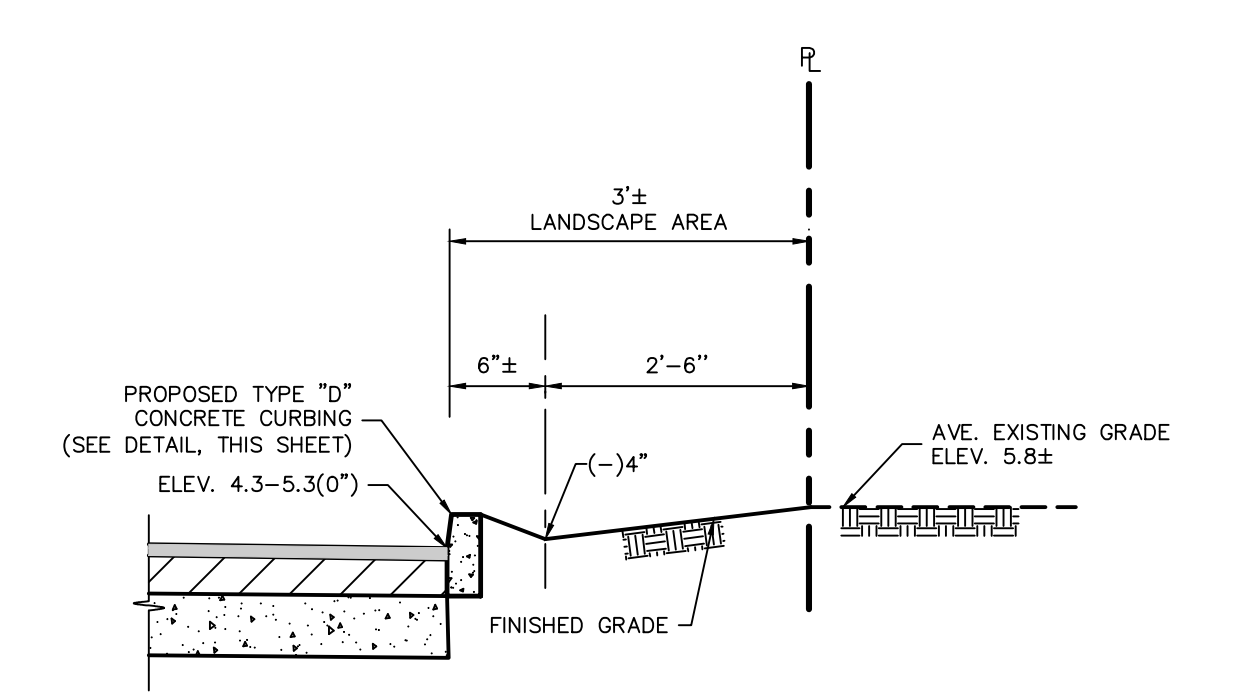
SECTION B SCALE: NONE



SECTION D SCALE: NONE



SECTION A SCALE: NONE



SECTION E SCALE: NONE

- NOTES:**
- GENERAL**
- 1- ALL CONSTRUCTION, MATERIALS AND INSPECTIONS SHALL COMPLY WITH CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF FORT LAUDERDALE AND BROWARD COUNTY ENGINEERING DIVISIONS' MINIMUM STANDARDS" AND FLORIDA DEPARTMENT OF TRANSPORTATION, WHERE APPLICABLE.
 - 2- LOCATION OF EXISTING UTILITIES ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL LOCATE AND EXPOSE PRIOR TO CONSTRUCTION ALL EXISTING UTILITIES TO BE CONNECTED TO AND BRING TO THE ATTENTION OF THE ENGINEER ANY DEVIATIONS FROM THAT AS SHOWN ON THE PLANS.
 - 3- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL HOLD A PRECONSTRUCTION MEETING TO INCLUDE THE ENGINEER OF RECORD, CITY, AND ANY OTHER UTILITIES AND/OR AGENCIES INVOLVED.
 - 4- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
 - 5- ALL UTILITIES AND DRAINAGE INSTALLATIONS UNDER PROPOSED PAVEMENT SHALL BE COMPLETED PRIOR TO COMMENCING PAVEMENT SUBGRADE CONSTRUCTION.
 - 6- THE CONTRACTOR IS REQUIRED TO HAVE INSPECTIONS MADE ON EACH OF THE FOLLOWING ITEMS BY THE ENGINEER AND CITY:
 - A) ROCK BASE
 - B) ASPHALT
 - C) FINAL
 - 7- SHOP DRAWINGS OF ALL MATERIALS TO BE USED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. APPROVAL FROM ALL APPROPRIATE AGENCIES SHALL BE OBTAINED PRIOR TO INSTALLATION.
 - 8- CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION PLANS ON THE JOB SITE AT ALL TIMES.

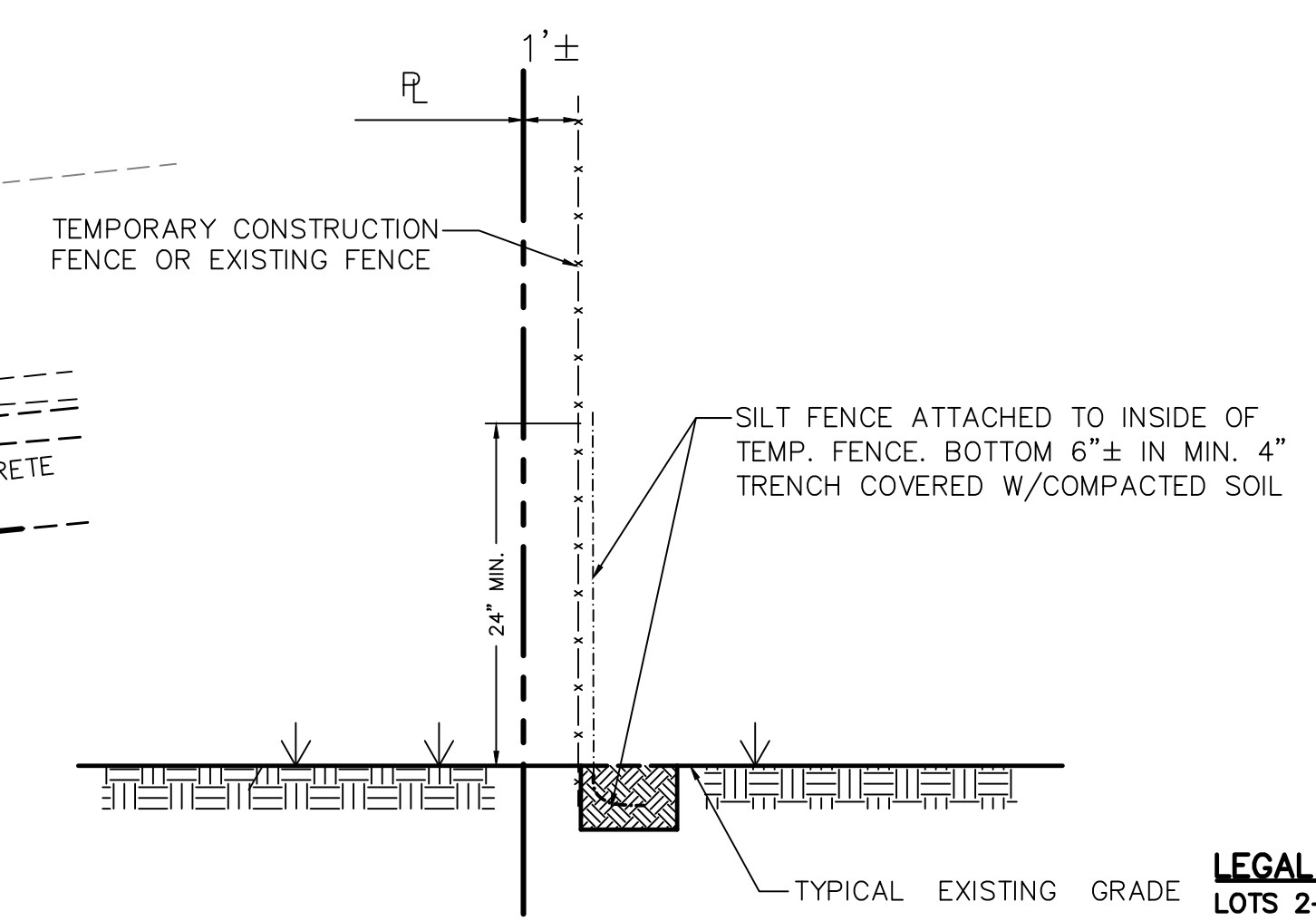
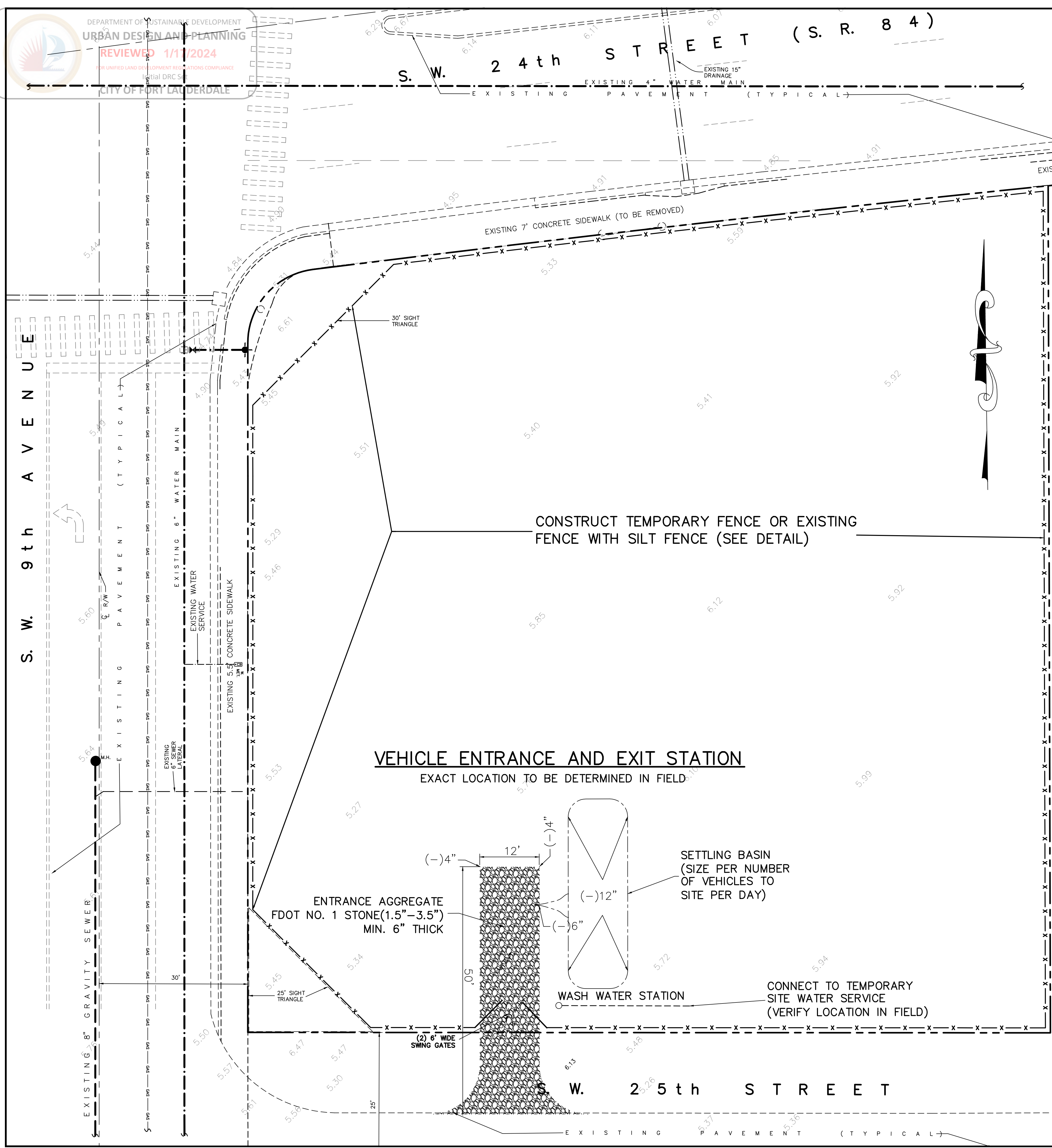
- PAVING**
- 1- REMOVE MUCK, OVERBURDEN AND ROOT MATERIAL WITHIN 10 FEET OF ANY EDGE OF PAVEMENT OR BUILDING. BACKFILL TO REQUIRED SUBGRADE WITH CLEAN GRANULAR MATERIAL IN MAXIMUM 12 INCH LIFTS, COMPACTED TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-180.
 - 2- STABILIZED SUBGRADE (MINIMUM LBR 40) SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-180.
 - 3- LIMEROCK BASE SHALL MEET FLORIDA D.O.T. STANDARD SPECIFICATIONS, SECTION 911, AND INSTALLED PER SECTION 200. DENSITY TESTS SHALL BE TAKEN AT A MINIMUM OF EVERY 5,000 S.F. FOR EACH LIFT WITH COPIES TO THE ENGINEER FOR APPROVAL. LIMEROCK BASE TO BE PRIMED IN ACCORDANCE WITH SECTION 300. BASE SHALL HAVE A COMPACTED THICKNESS AS SPECIFIED ON THE PLAN BUT IN NO CASE LESS THAN 6 INCHES.
 - 4- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III CONFORMING TO SECTION 311, FLORIDA D.O.T. STANDARD SPECIFICATIONS. THE MINIMUM COMPACTED THICKNESS TO BE AS NOTED ON PLANS.
 - 5- FINISH ROCK "AS-BUILTS" GRADES BY A REGISTERED SURVEYOR SHALL BE SUBMITTED TO THE ENGINEER AND CITY FOR APPROVAL PRIOR TO PLACING ASPHALT.
 - 6- PAVEMENT MARKINGS SHALL BE THERMOPLASTIC (T.P.) IN ACCORDANCE WITH FLORIDA D.O.T. SPECIFICATION SECTION 711. REFLECTIVE PAVEMENT MARKERS (R.P.M.) SHALL BE IN ACCORDANCE WITH SECTION 706. BOTH PAVEMENT MARKINGS AND R.P.M. SHALL BE INSTALLED IN ACCORDANCE WITH THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS. ALL TRAFFIC SIGNS SHALL BE HIGH INTENSITY REFLECTIVE MATERIAL.

- DRAINAGE**
- 1- DRAINAGE PIPE SHALL BE ONE OF THE FOLLOWING:
 - A) CORRUGATED POLYETHYLENE PIPE (P.E.) FABRICATED TO ASTM 405 AND AASHTO-M294. PIPE SHALL BE ADS N-12, OR APPROVED EQUAL.
 - B) HELICAL CORRUGATED ALUMINUM (C.A.P.) FABRICATED TO ASTM B209 AND AASHTO-196. PIPE SHALL HAVE 2-2/3" X 1/2" CORRUGATIONS AND SHALL HAVE A MINIMUM THICKNESS OF:
 - 1) 24" AND SMALLER - 16 GAUGE
 - 2) OVER 24" - 14 GAUGE
 - 2- PIPE COUPLING BANDS SHALL BE SPLIT BANDS OF THE SAME ALLOY AS THE PIPE. POLYURETHANE OR OTHER MANUFACTURED SUPPLIED SEALANT SHALL BE USED WITH THE COUPLINGS. THE BANDS SHALL BE A MINIMUM OF 12 INCHES WIDE.
 - 3- PRECAST DRAINAGE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF ASTM C-478 WITH A CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO MANUFACTURE.
 - 4- ALL CONCRETE USED SHALL DEVELOP A MINIMUM OF 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
 - 5- CONTRACTOR SHALL PROVIDE THE ENGINEER "AS-BUILTS" OF THE PROJECT GIVING ALL HORIZONTAL DIMENSIONS AND VERTICAL INFORMATION BY A REGISTERED SURVEYOR.

Digitally signed
 by Robert C Smith
 Date: 2023.07.21 10:43:00 -04'00'
 This item has been digitally signed and sealed by Robert C Smith, P.E., on July 21, 2023. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



PAVING AND DRAINAGE DETAILS			
GUSTAVO J. CARBONNEL ARCHITECT FORT LAUDERDALE, FLORIDA			
TAMARIND (840 S.R. 84)			
JOHN B. SMITH ENGINEERS, INC. 1457 N.E. 4th AVENUE FORT LAUDERDALE, FLORIDA 33304 PHONE: (954) 763-4177 CERTIFICATE OF AUTHORIZATION No. 1888			
DESIGN R.C.S.	DRAWN RCS	DATE JUNE, 2023	FILE 23-125
Approved By: Robert C Smith Registered Engineer No. 31177			SHEET C20F 3



**TEMPORARY CONSTRUCTION FENCE
 W/SILT FENCE**

CITY POLLUTION PREVENTION NOTES

- c) Contractor shall adhere to of the National Pollution Discharge Elimination System (NPDES) requirements. The contractor shall institute Best Management Practices (BMPs) to ensure compliance with the NPDES program and to minimize the impact to public stormwater facilities. A Notice of Intent (NOI) shall be filed prior to start construction activities.
 - b) Prior to demolition activities, contractor shall install pollution prevention control devices (i.e., silt barriers, sediment basins, turbidity barriers around stormwater outfalls on the waterside of lakes, ponds, canals, or waterways, silt screens, etc. according to the approved SWPPP and as recommended by the Florida Department of Environmental Protection (DEP) latest guidelines and permitting requirements.
 - c) Prior to demolition activities, a silt fence in accordance with the approved SWPPP details and latest DEP standards shall be erected around the site property lines. All public inlets surrounding the site shall be protected by the installation of filter fabric into the frame and grate or other approved BMPs to protect against storm runoff.
 - d) Pollution control installations, as approved and shown in the SWPPP, shall be maintained throughout demolition and construction periods until the project has been completed and approved by City engineering inspector or project engineer.
 - e) Contractor shall inspect the pollution control devices daily for signs of malfunction, failure, or needed repairs, and shall make remedial actions immediately upon discovery.
 - f) Existing stormwater inlets, catch basins, or manholes, onsite and offsite, shall be protected from sediment storm runoff from the proposed demolitions and construction activities.
 - g) Contractor shall immediately remove all mud, dirt, or other materials tracked or spilled onto existing roads and facilities due to demolition or construction activities from the proposed development.
 - h) In order to minimize the amount of sediments, mud, and dust transported onto public roadways by the construction vehicles or runoff, the contractor shall install stabilized temporary construction entrance(s) from the construction site as recommended by FDEP. Each temporal construction entrance is a stabilized 6 inch thick layer of 2 to 3 inch Course Aggregate Stone, 12" minimum width, and length to accommodate a minimum of one trucking vehicle.
 - i. The entrance shall be maintained periodically as conditions demand in a condition that will prevent tracking or flowing of sediments onto public rights-of-way. Sediment shall be trapped in cleanout areas and properly handled as onsite debris per applicable state regulations.
 - ii. When necessary, vehicle wheels shall be cleaned prior to entrance onto public right-of-way.
 - iii. All materials spilled, dropped, washed or tracked from vehicles onto roadways or into public storm drains must be removed by the contractor immediately.
 - iv. Trucks shall not 'cut corners' where the construction exit meets the roadways.
 - v. Sweeping of public roadways shall be done periodically as condition demand.
 - j) Dust generated from construction shall be minimized by daily watering of the site.
 - k) Contractor shall provide an erosion and sedimentation control inspector to inspect all points of discharge into nearby waterbodies to record the condition of discharge points, integrity of silt fence and pollution control devices, dust control measures, vehicular traffic and construction material storage and disposal. Written record of all inspections shall be stored by the contractor during demolition and construction periods and shall be submitted to City inspectors upon request.
- The inspection report shall include at a minimum the following information:
- i. Name of inspector and his/her qualifications in erosion and sedimentation control
 - ii. Date of the inspection
 - iii. Rainfall rate
 - iv. Observations about the SWPPP
 - v. Actions taken by contractor for all incidents of noncompliance with permit(s)
 - vi. Certification that the facility is in compliance with the SWPPP and permit(s)

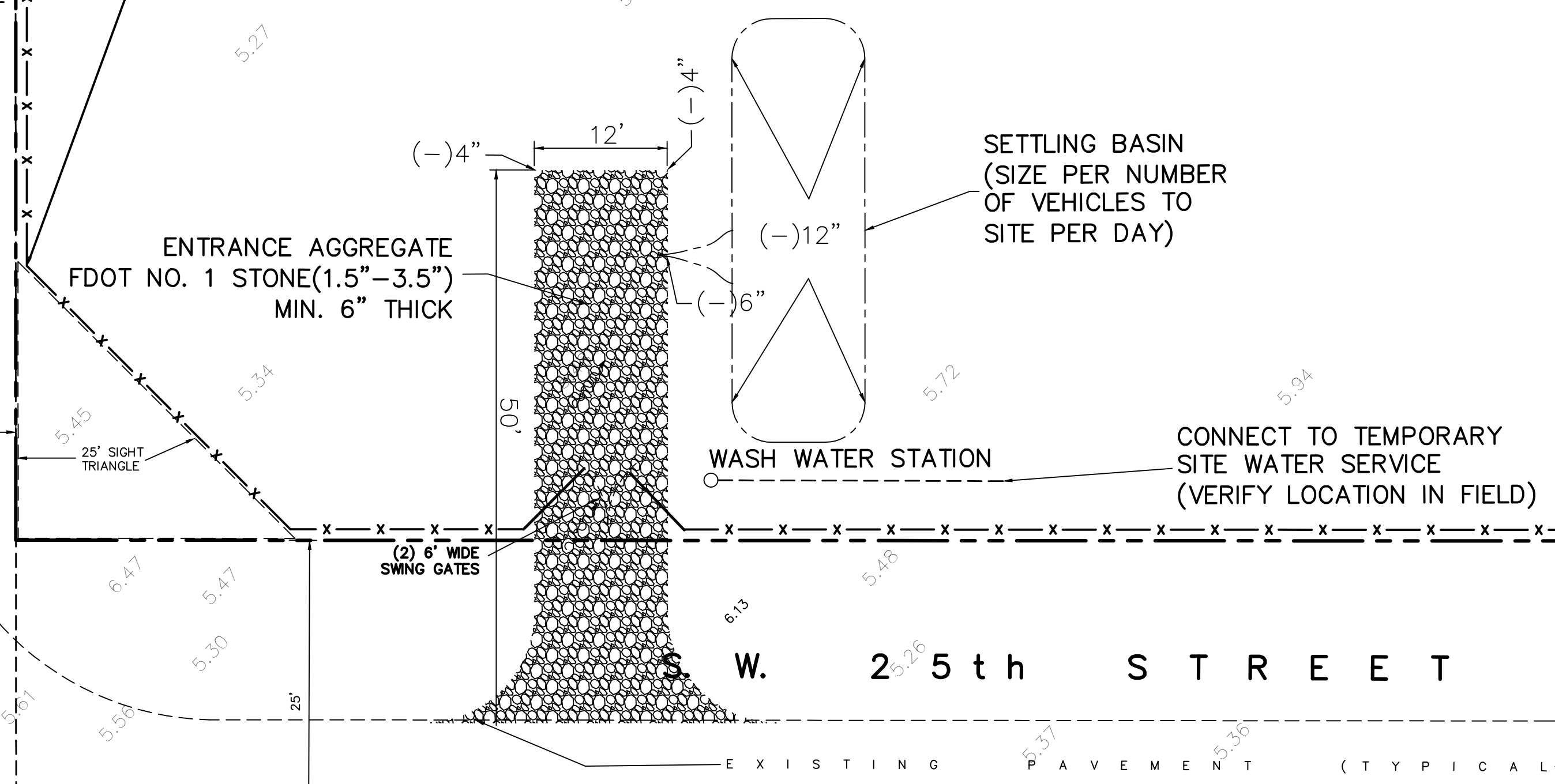
LEGAL DESCRIPTION:
 LOTS 2-6, & 26, BLOCK 1, "LAKEWAY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 7, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND:

	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	EXISTING SEWER MAIN
	PROPOSED SEWER MAIN
	EXISTING DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED PAVEMENT
	EXISTING PAVEMENT
	EXISTING ELEVATIONS
	PROPOSED ELEVATIONS
	DIRECTION OF RUN-OFF
	EXISTING TEE
	PROPOSED TEE
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	EXISTING VALVE
	PROPOSED VALVE
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING FIRE HYDRANT

VEHICLE ENTRANCE AND EXIT STATION

EXACT LOCATION TO BE DETERMINED IN FIELD



P L A N SCALE: 1" = 10'

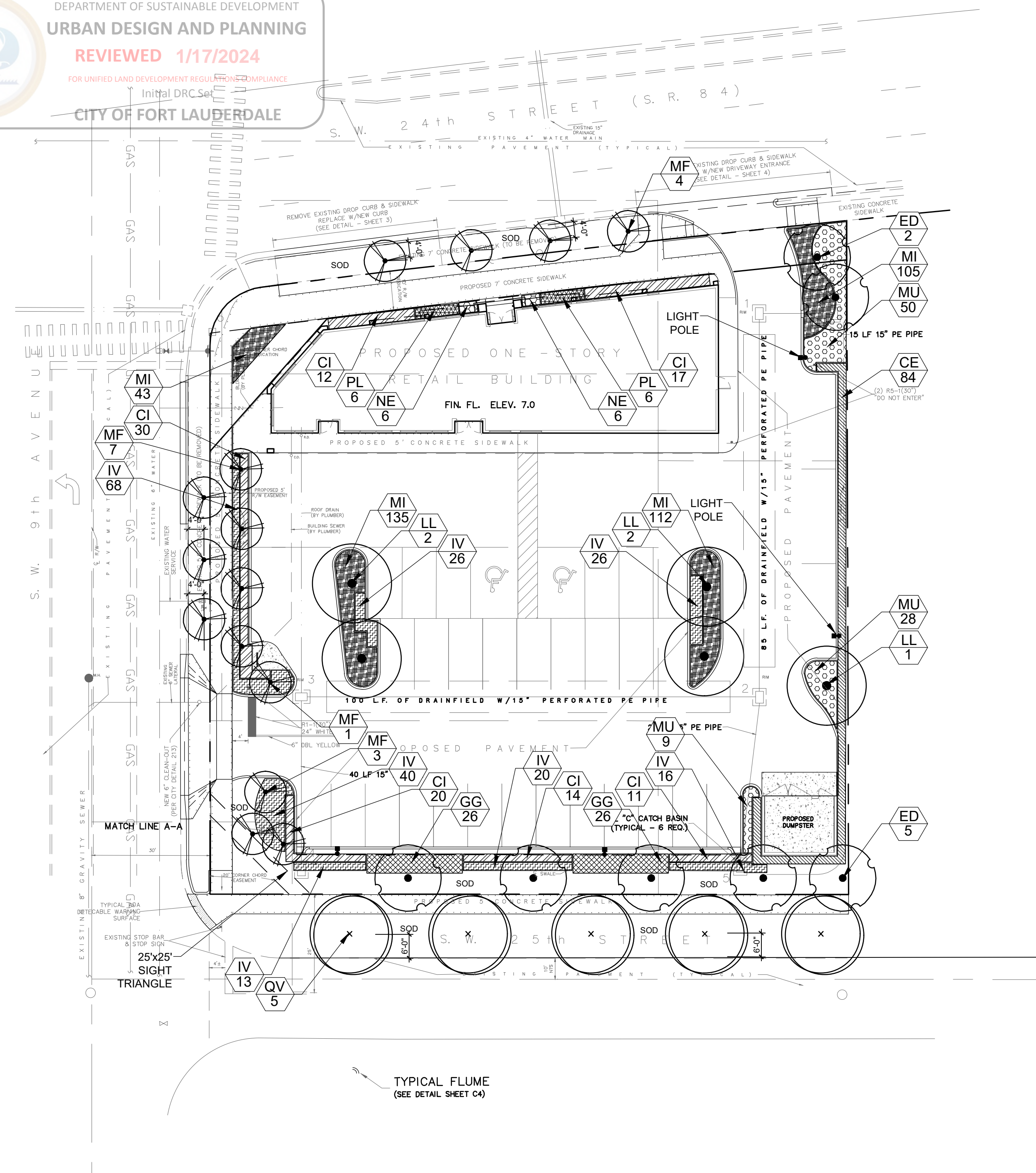
NOTES:
 THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM - NAVD 1988

Digitally signed
 by Robert C
 Smith
 Date:
 2023.07.21
 10:46:42 -04'00'



This item has been digitally signed and sealed by Robert C Smith, P.E., on July 21, 2023. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

EROSION CONTROL PLAN			
GUSTAVO J. CARBONNEL ARCHITECT FORT LAUDERDALE, FLORIDA			
TAMARINDO (840 S.R. 84)			
JOHN B. SMITH ENGINEERS, INC. 1457 N.E. 4th AVENUE FORT LAUDERDALE, FLORIDA 33304 PHONE: (954) 763-4177 CERTIFICATE OF AUTHORIZATION NO. 1688			
DESIGN R.C.S.	DRAWN RCS	DATE JUNE, 2023	FILE 23-125
Approved By Robert C. Smith, P.E. Registered Engineer No. 31177			SHEET C30F 3



Sym	Qty	Botanical Name	Common Name	Size	Native	Drought Tolerance
Trees/Palms						
MF	15	Myrcianthes fragrans	Simpson's Stopper	12' Ht. x 5' Spr., 2" cal., single trunk	Yes	High
ED	7	Elaeocarpus decipiens	Japanese Bluberry	12' Ht x 4' Spr., 2" cal	No	Medium
QV	5	Quercus virginiana	Live Oak	12' Ht. x 4' Spr., 2" cal.	Yes	High
LL	5	Lysiloma latisiliquum	Wild Tamarind	12' Ht x 4' Spr, 2" cal	Yes	High
Shrubs/Groundcovers						
CI	104	Chrysobalanus icaco	Cocoplum	24" x 24", 24" O.C.	Yes	Medium
IV	209	Ilex vomitoria 'Stokes Dwarf'	Dwarf Ilex	10" x 10", 18" O.C.	Yes	High
NE	12	Neoregelia 'Bossa Nova' / Bromeliad	Bromeliad	12" x 12", 18" O.C.	No	High
GG	52	Galphimia gracilis	Thryallis	24" x 24", 24" O.C.	No	Medium
CE	84	Conocarpus erectus	Green Buttonwood	24" x 24", 24" O.C.	Yes	High
MI	395	Mimosa strilliosa	Sunshine Mimosa Powderpuff	4" x 6", 18" O.C.	Yes	High
MU	87	Muhlenbergia capillaris	Muhly Grass	24" x 24", 24" O.C.	Yes	High
PL	12	Psychotria ligustrifolia	Dwarf Wild Coffee	20" x 20", 24" O.C.	Yes	High
Sod			St. Augustine			
Mulch			Shredded Melaleuca or Eucalyptus			

LANDSCAPE REQUIREMENTS

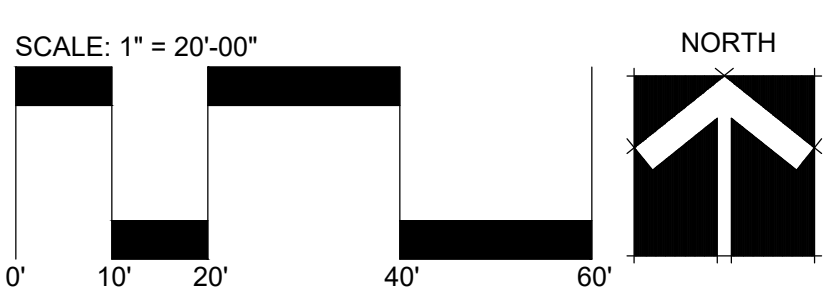
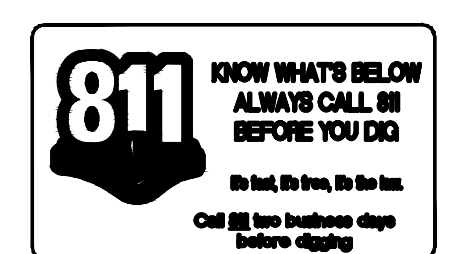
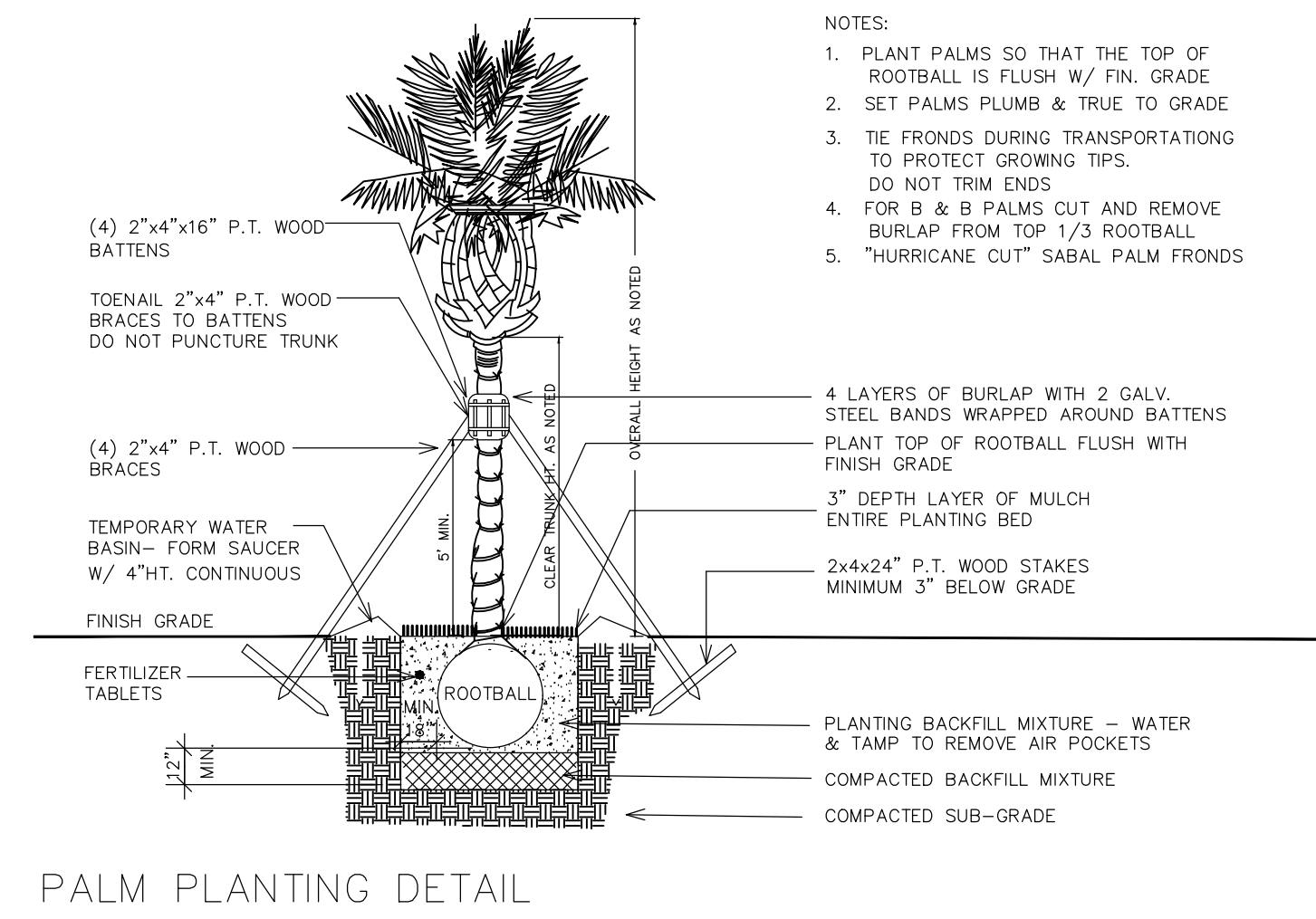
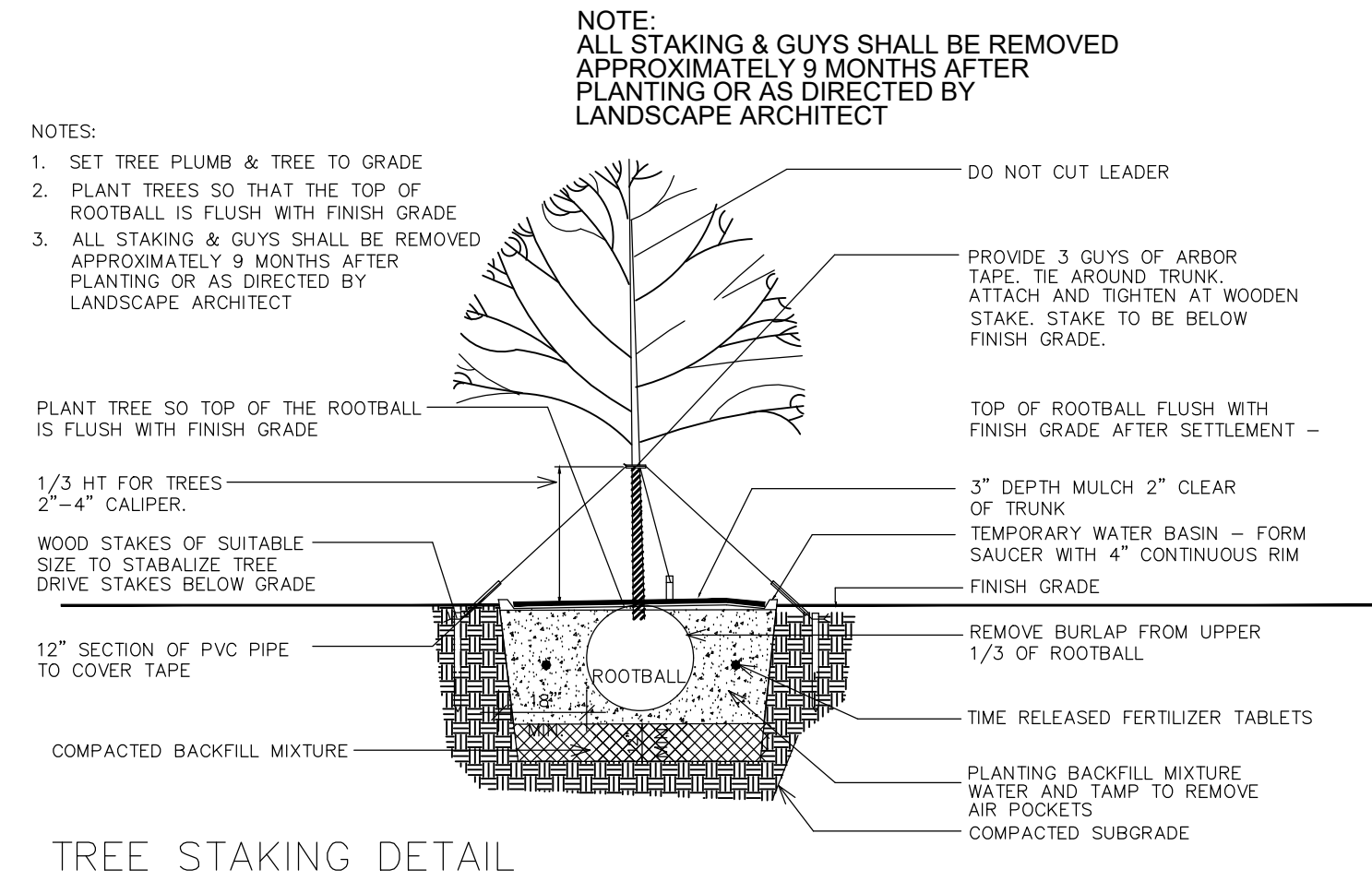
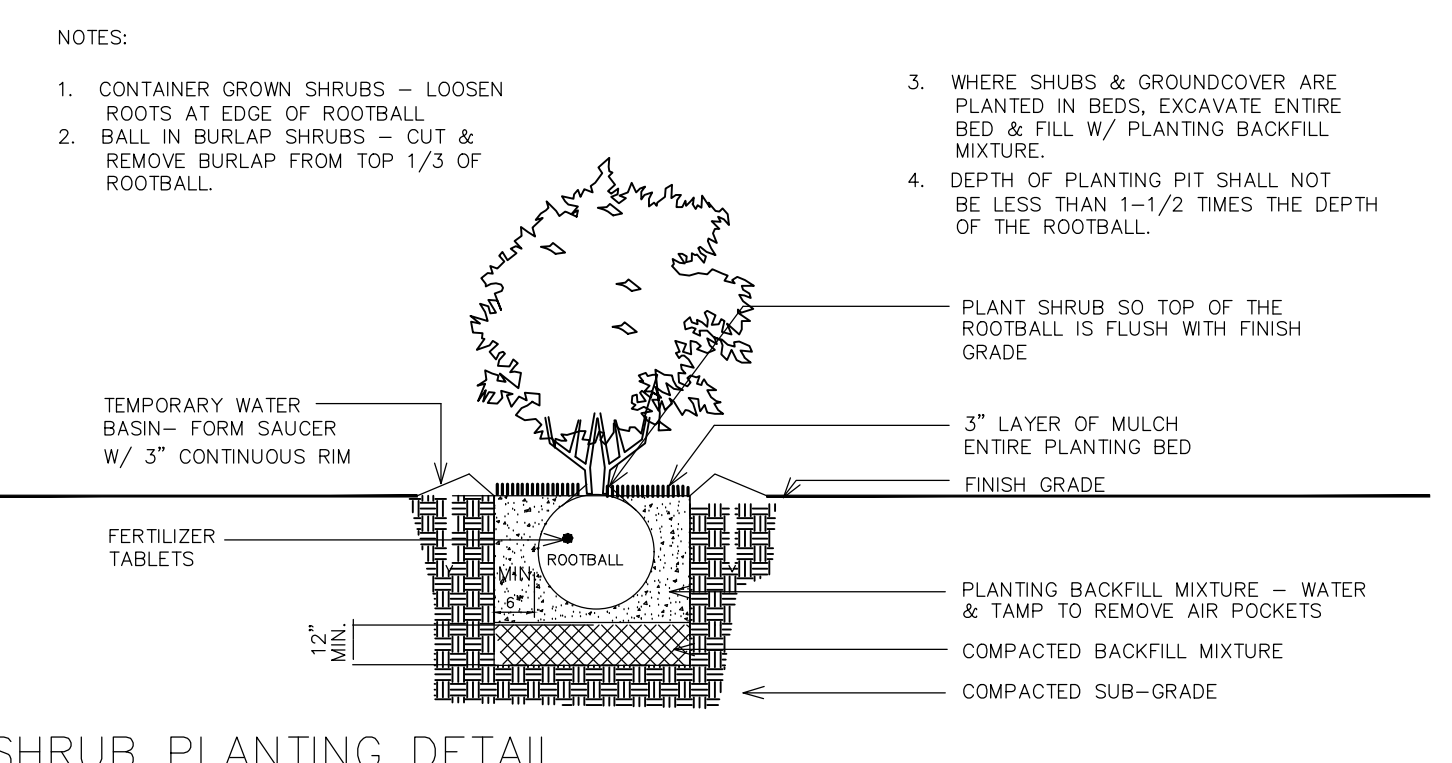
Zoning: B-1/CB
 Lot Area: 26,182 sf (.6011 AC)
 VUA Area: 14,916.4 sf
 Landscape Area: 4810.26 sf

Description	Application	Calculation	Qty Required	Qty Provided
Street Trees	SW 25th Street	162/ 40 =	4	4
	SW 9th Ave	139/ 40 =	4	4
	SR 84	162/ 40 =	4	4
Site Trees	1/1000 sf	4810.26 sf/ 1000 sf =	5	5
Site Canopy Trees	20%	5 (.20) =	1	1
Site Shrubs	12/ 1000 sf	4810.26 sf/ 1000 sf x 12 =	60	470
VUA Trees	1/1000 sf	14,916.4 sf/ 1000 sf =	15	15
VUA Shrubs	6/ 1000 sf	14,916.4 sf/ 1000 sf x 6 =	90	90
Native Trees	40%	20 (.40) =	8	20
Native Shrubs	40%	150 (.40) =	60	484
Sod Area	50% max	4810.26 sf (.50) =	2405 sf max	2400 sf

General Notes:

- All plant material shall be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
- All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
- All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
- All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
- Contractor shall notify Sunshine 811 (call 811) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
- Grade B+ shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4" around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
- Sod shall be St Augustine and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
- All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
- All sodded areas to have a minimum of 2" of planting soil as described in note #8.
- All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
- All shrubs, groundcovers, vines and sod shall be fully warranted for one year under same condition as above.
- All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
- All trees and palms shall be planted with the top of their rootballs 1"-2" above finished grade. All other plants shall be planted with top of their rootballs no deeper than the final grade surrounding the planting area.
- In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
- All planting shall be installed with fertilizer at time of planting.
- All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
- All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using rust free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/ groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainswitch device.
- All landscape and irrigation shall be installed in compliance with all local codes.
- The plan shall take precedence over the plant list, should there be any discrepancy between the two.

NOTE: NO WELLINGTON TAPE OR OTHER NON-BIODEGRADABLE MATERIALS SHALL COME INTO CONTACT WITH THE TREE.



REVISION

GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
 (954) 462-6565
 Member American Institute of Architects

PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

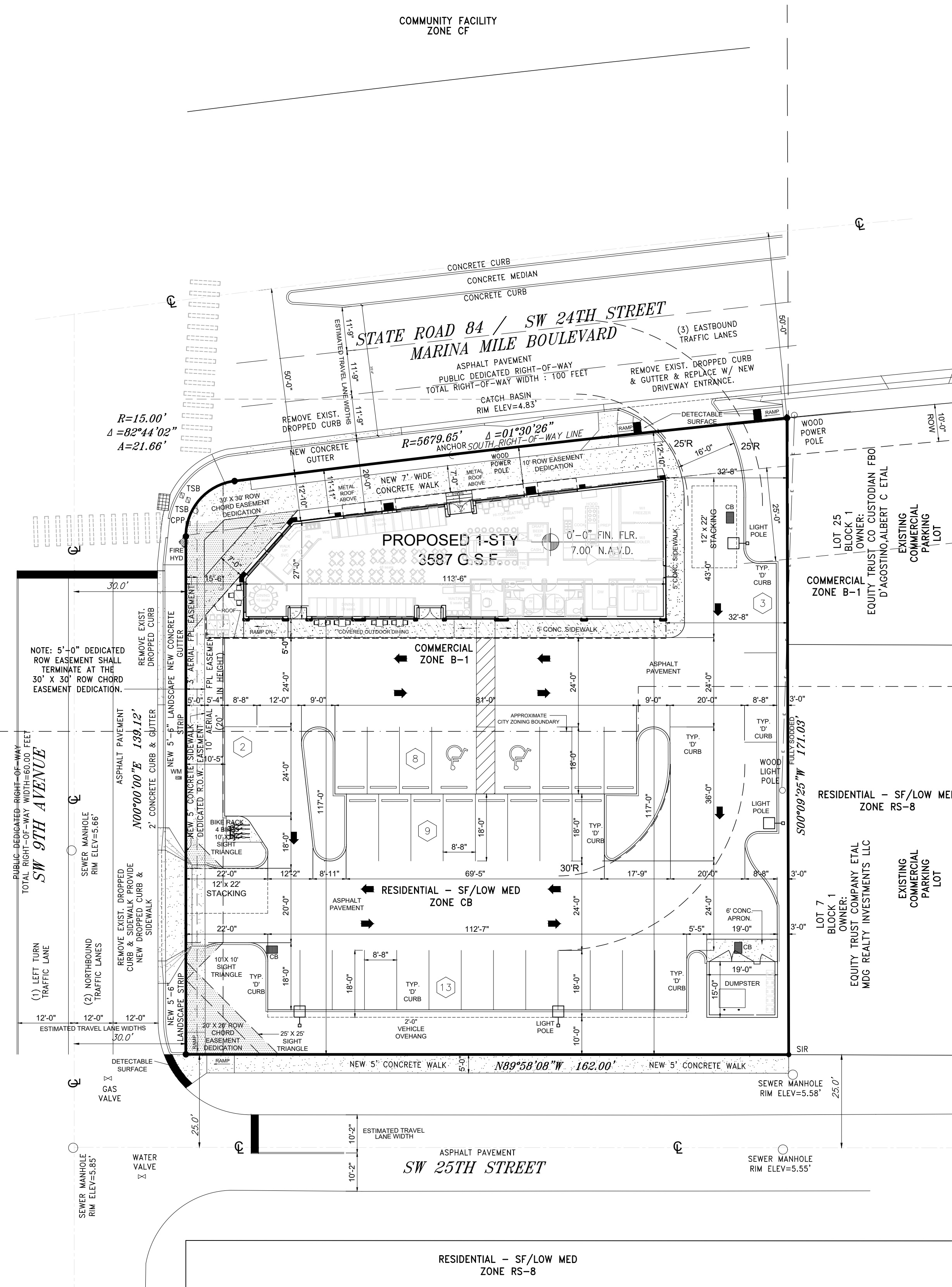
Kimberly Moyer, RLA
 Landscape Architecture
 (954) 592-3695
 Lic. No. #LA0009952
 Digitally signed by Kimberly Moyer
 Date: 2023.07.21 12:18:38 -0400

DRAWN **K.M.**
 CHECKED **K.M.**
 DATE **06-07-2023**
 SCALE **AS NOTED**
 JOB. NO. **23-01**
 SHEET **L-1**
 OF SHEETS

COMMERCIAL ZONE B-1

COMMERCIAL ZONE B-1

COMMERCIAL ZONE B-1



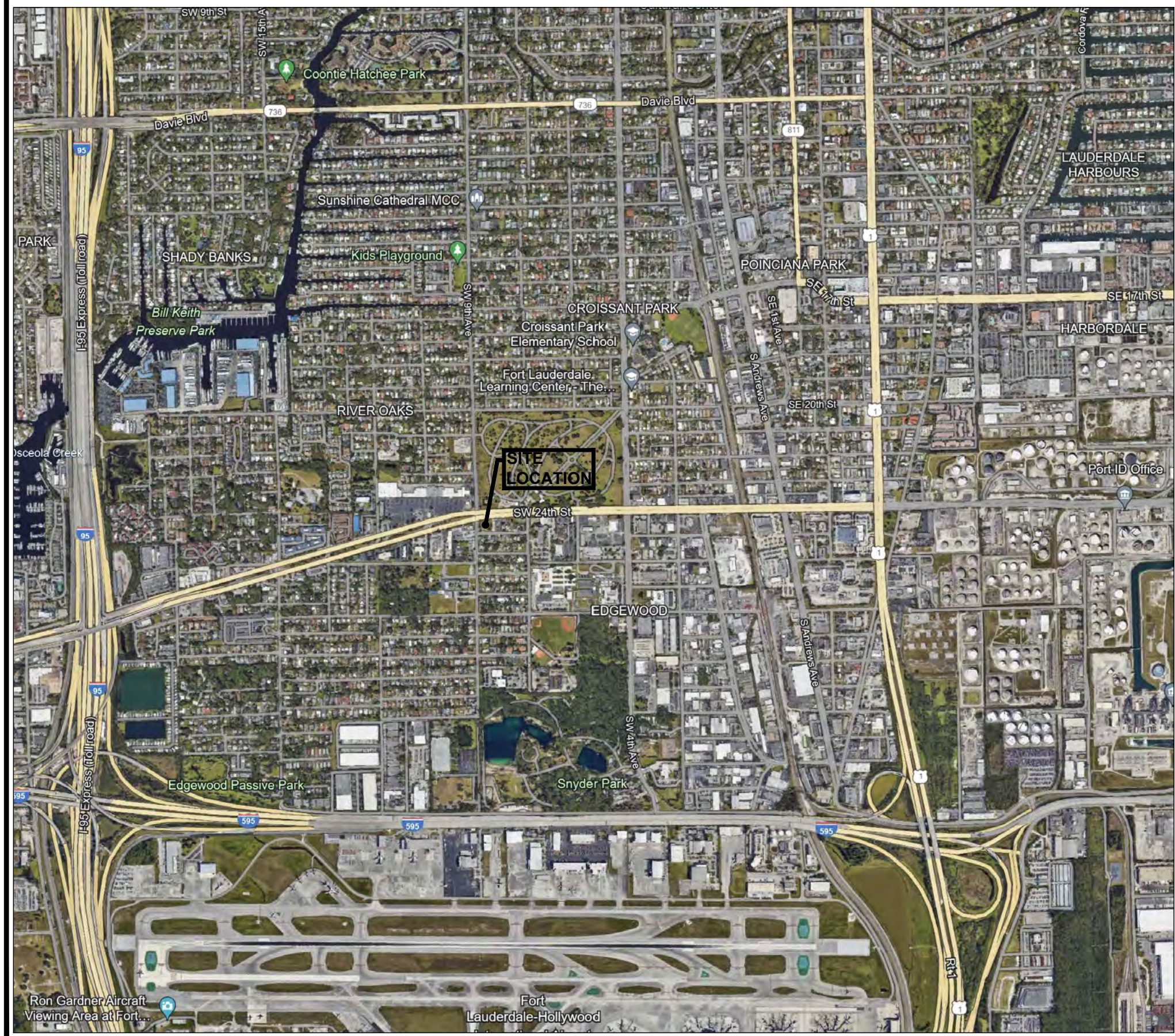
1 CONCEPTUAL SITE PLAN

SCALE: 1" = 20'



SITE DATA		LEGAL DESCRIPTION	
DESCRIPTION	B-1 / CB	A PORTION OF LOTS 2, 3, 4, 5, 6 AND 26 IN BLOCK 1 OF "LAKEWAY", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.	
CURRENT ZONING:	B-1 / CB		
PROPOSED ZONING:	B-1 / CB		
EXISTING LAND USE:	COMMERCIAL/RESIDENTIAL		
PROPOSED LAND USE:	COMMERCIAL/RESIDENTIAL		
FLOOD ZONE:	AH NAVD 6'		
PROPOSED F.F.E.:	+ 7'-0" NAVD 88		
PROPOSED:	RESTAURANT/BAR		
SEWER PROVIDER:	CITY OF FORT LAUDERDALE	TAX FOLIO NUMBER: 5042 2214 0020	
WATER PROVIDER:	CITY OF FORT LAUDERDALE		
GARBAGE PROVIDER:	CITY OF FORT LAUDERDALE		
BUILDING HEIGHT	B1 = 150' / CB = 160'	PERMITTED	PROVIDED
		150'/150'	26'-0"
OCCUPANCY GROUP	ASSEMBLY - GROUP A-2 - RESTAURANT/BAR		
CONSTRUCTION TYPE	TYPE III-B. AS PER F.B.C.-7TH ED. 2020 BUILDING & F.F.P.C 2020.		
DESCRIPTION	FACTOR	REQUIRED	PROVIDED
SITE AREA			26,182 S.F. OR .6011 ACRES
BUILDING FOOTPRINT			3,587 S.F.
PAVED V.U.A.			14,916.4 S.F.
SIDEWALKS			2,963.34 S.F.
DUMPSTER			285 S.F.
LANDSCAPED AREA			4,430.26 S.F.
OPEN SPACE			7,393.6 S.F.
SETBACKS			
FRONT	S.R. 84 INTERDISTRICT CORRIDOR	20' FROM CURB	20' FROM CURB
REAR	ACROSS FROM RESIDENTIAL PROPERTY	10'	117'
SIDE		0'	32'-8"
CORNER		5'	15'-6" WEST
PARKING	1/100 (*) GROSS = 3167 S.F./100 INDOOR: 2818 S.F. OUTDOOR: 349 S.F.	32 SPACES	35 SPACES INCL. 2 H.C.
	(*) EXCLUDES EQUIPMENT, WALK-IN COOLER & FREEZER AREAS		
STANDARD STALL SIZE	8'-8" X 18'-0"		
HC STALL SIZE	12'-0" X 18'-0"		
PARALLEL STALL SIZE	8'-8" X 24'-0"		
BUILDING DATA			
TOTAL BLDG AREA	3,477 S.F.		
TOTAL LOT FAR	3,587 S.F. / 26,182 S.F.		
	13.7 FAR		

2 SITE DATA

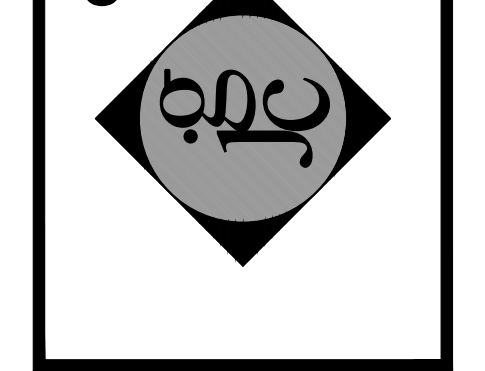


2 LOCATION MAP

NOT TO SCALE

REVISION	DATE	BY
4-12-18		DBK

GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
 (954) 462-6565
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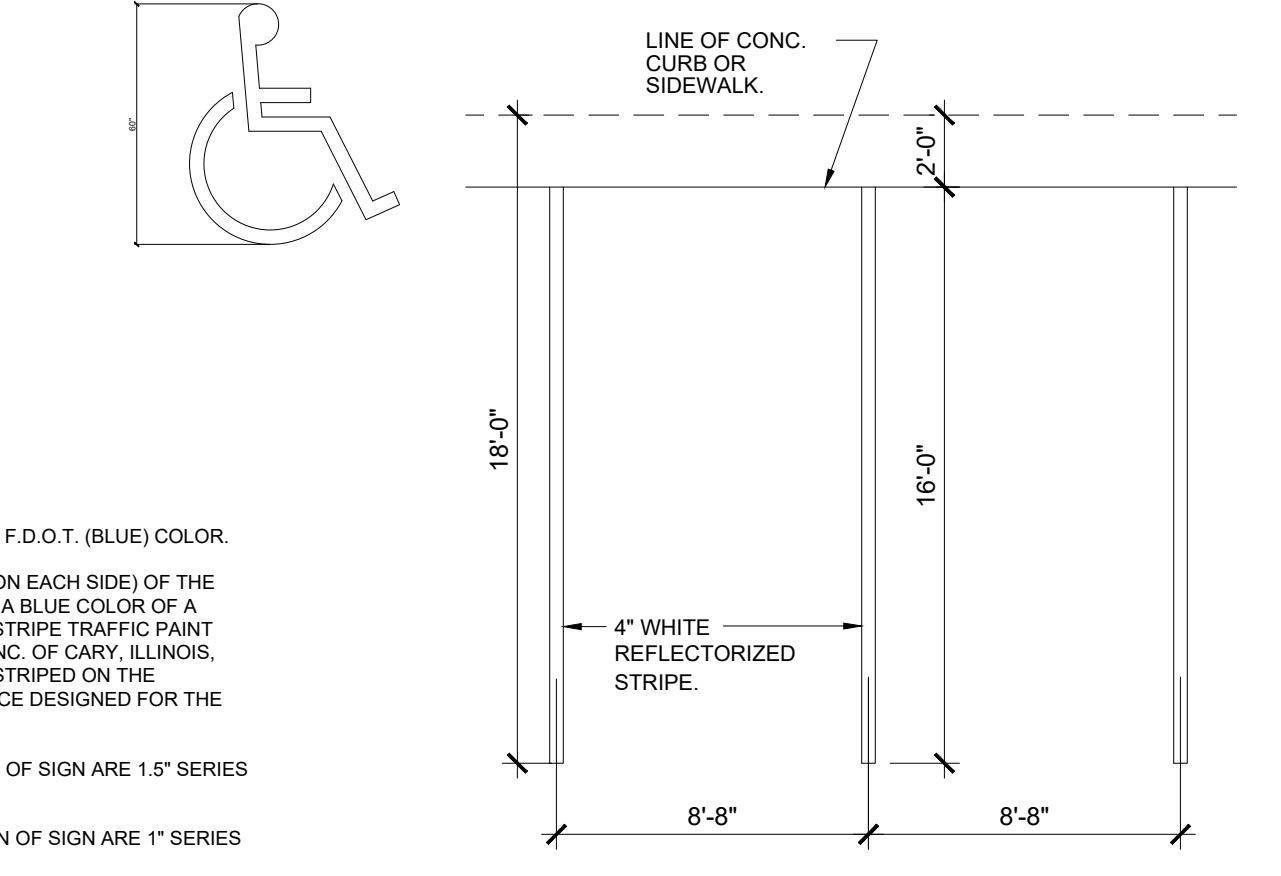
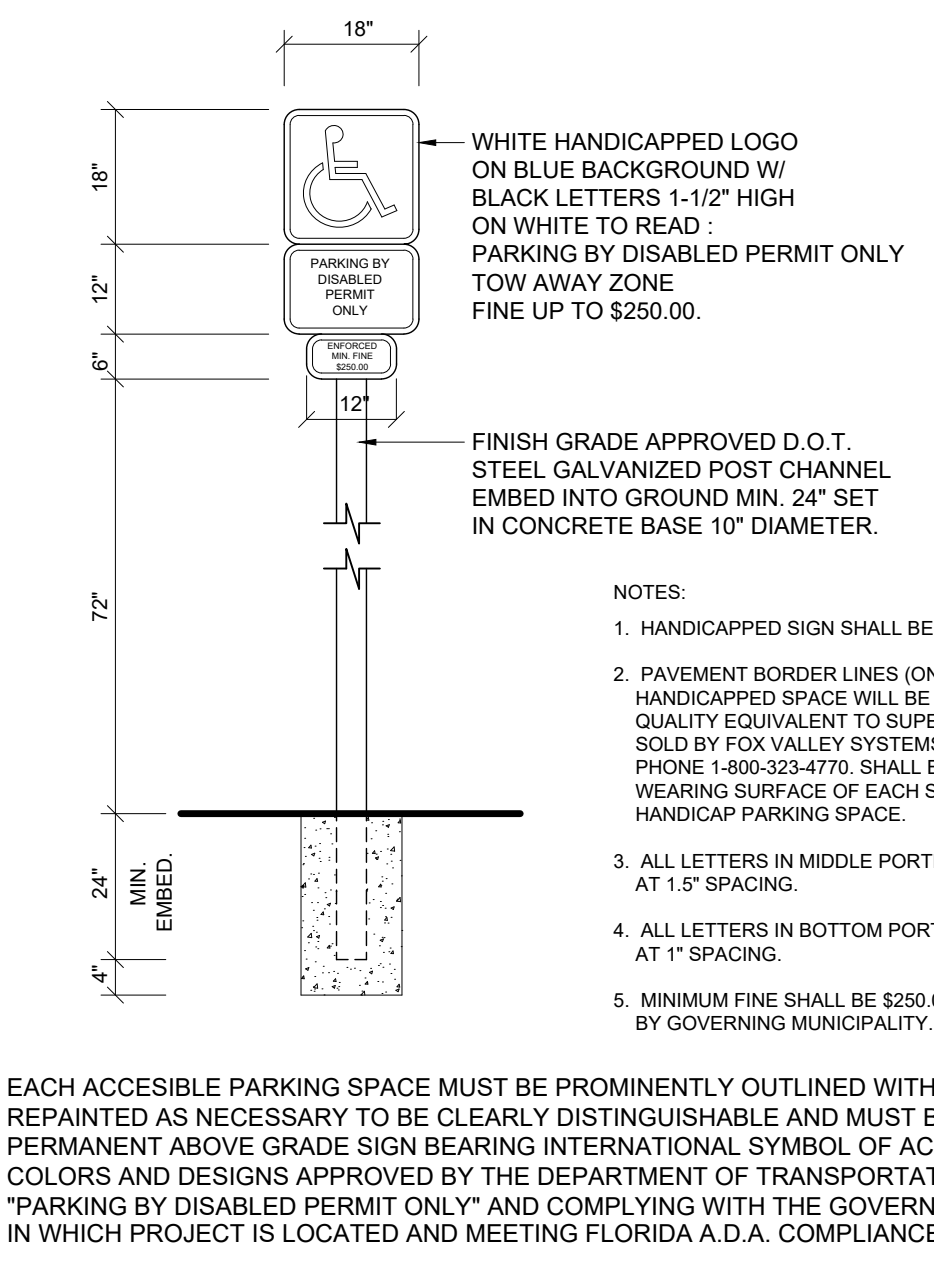
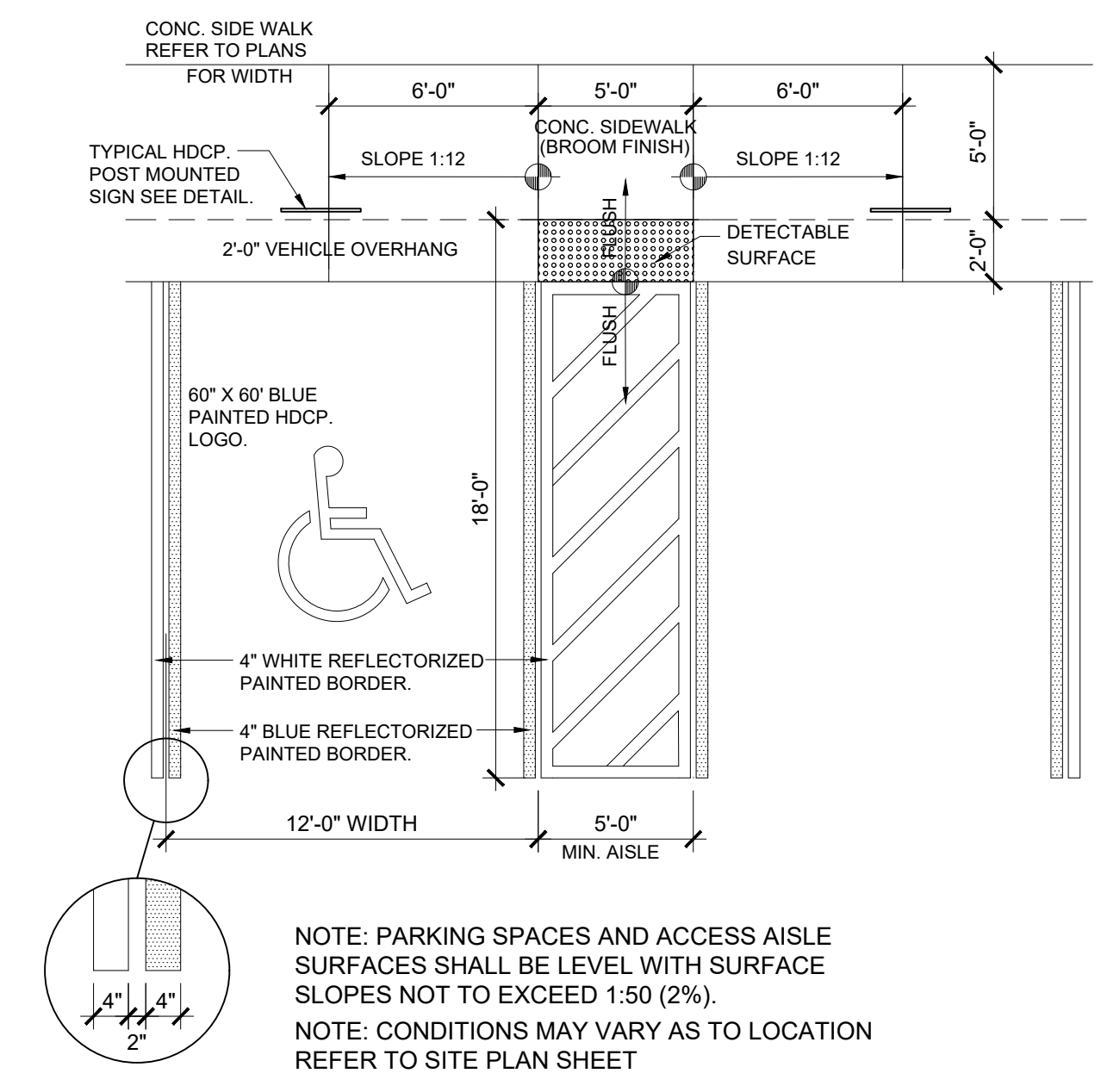
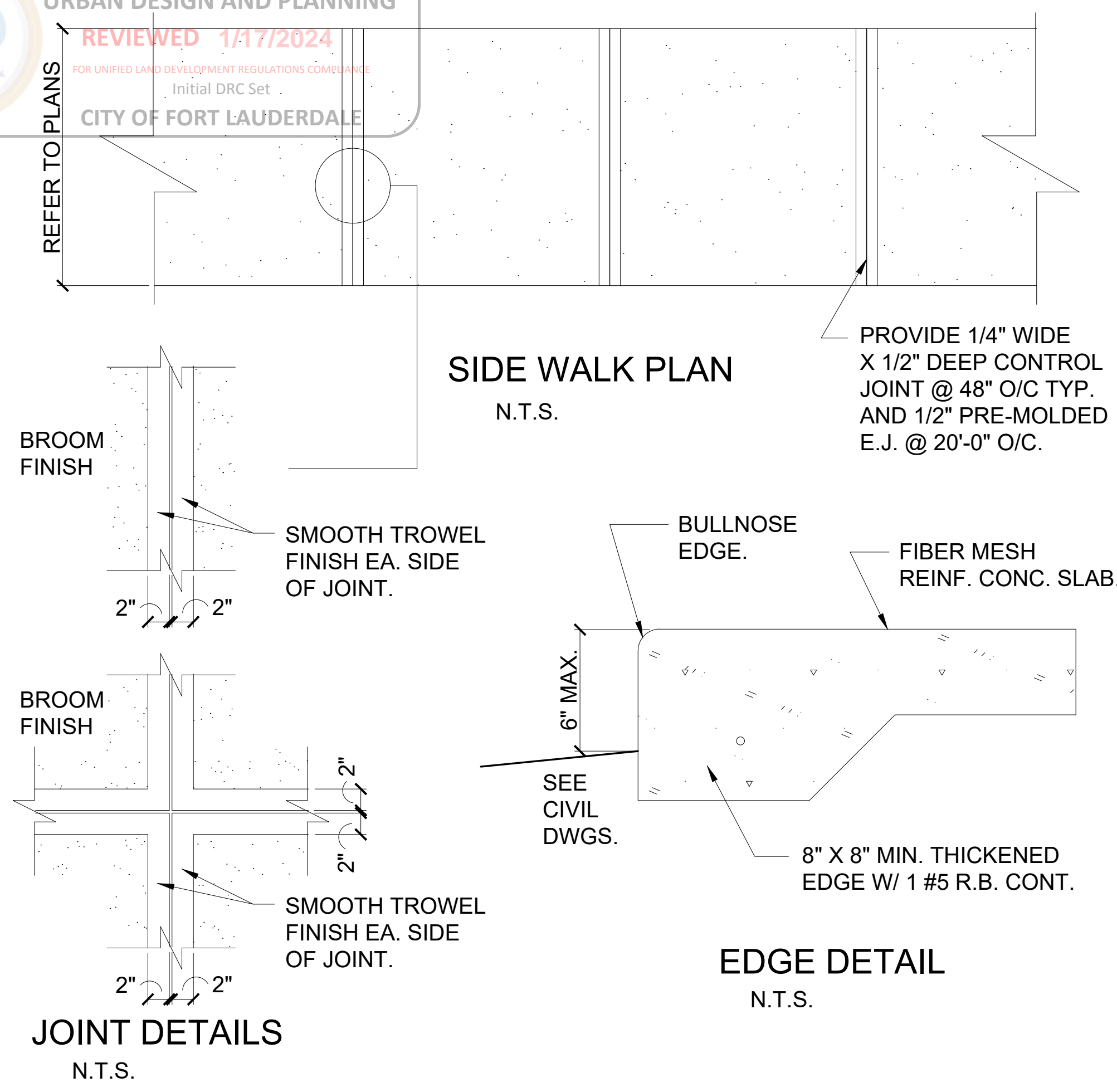


PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

DRAWN	DBK
CHECKED	GJC
DATE	11-1-23
SCALE	AS NOTED
JOB. NO.	22-063
SHEET	SP-1

OF SHEETS

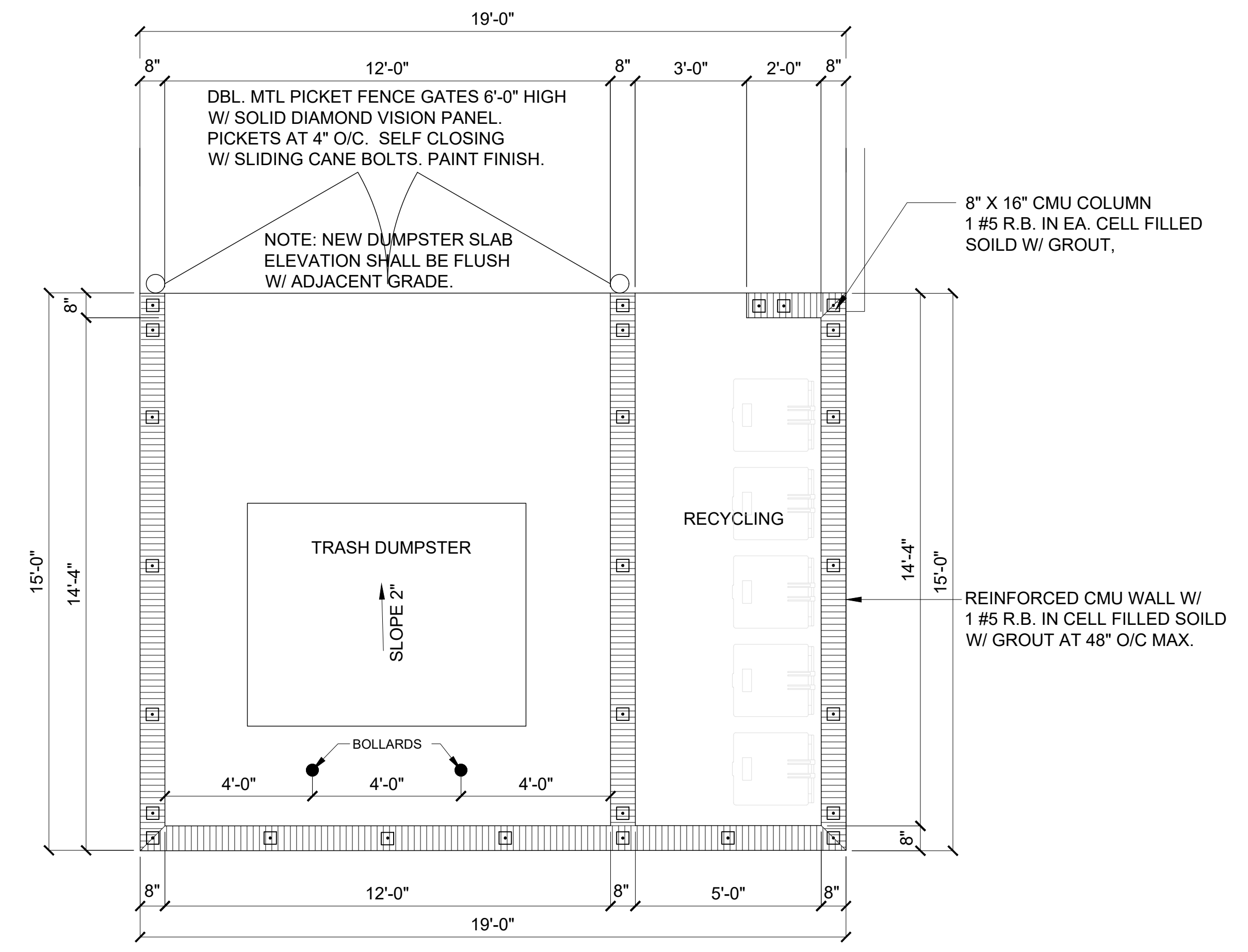


HANDICAPPED PARKING STALLS

HANDICAPPED SIGNAGE DETAILS

TYPICAL PARKING STALLS

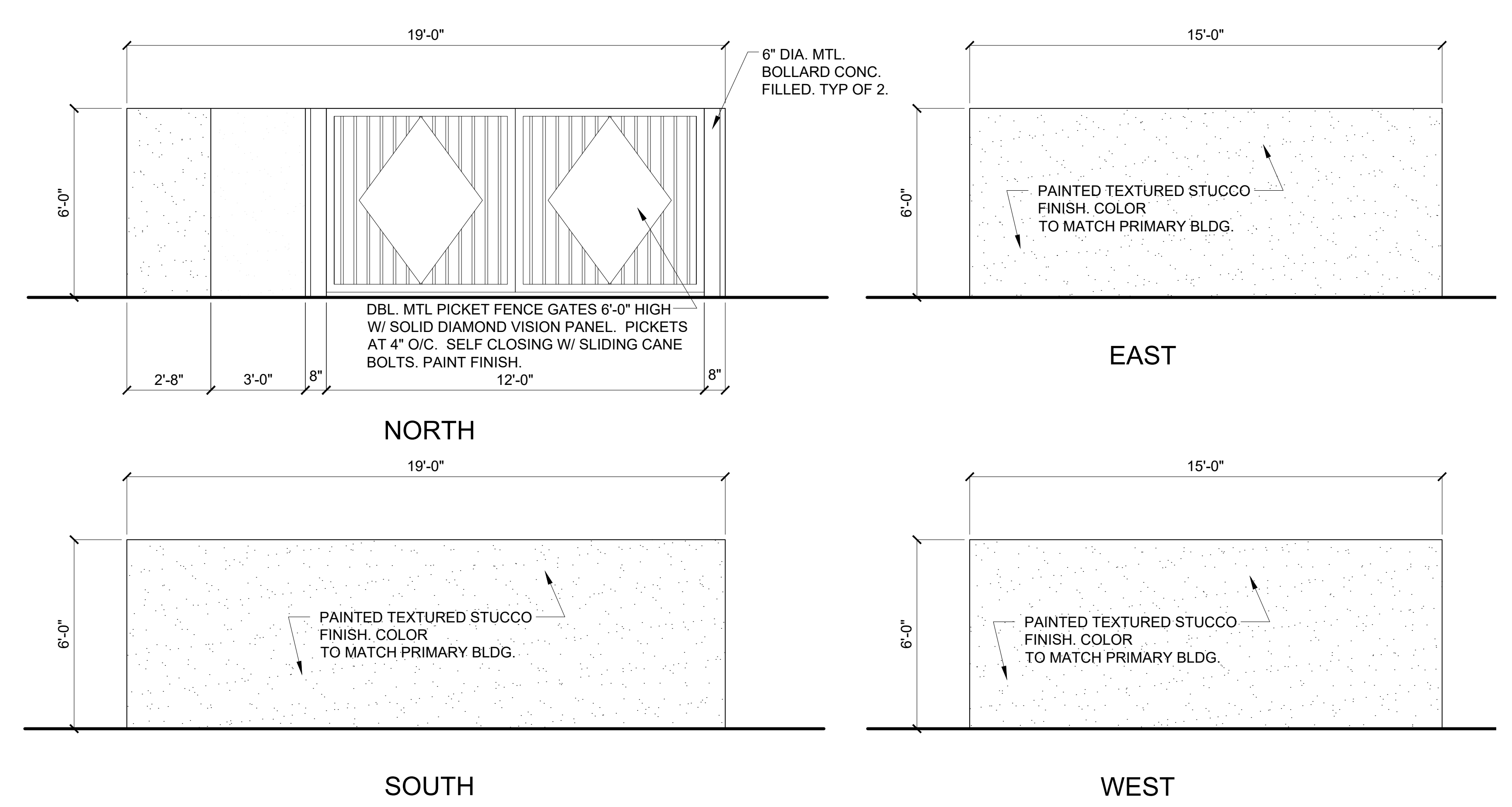
1 SIDEWALK DETAILS
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3 DUMPSTER PLAN
 SCALE: 3/8" = 1'-0"



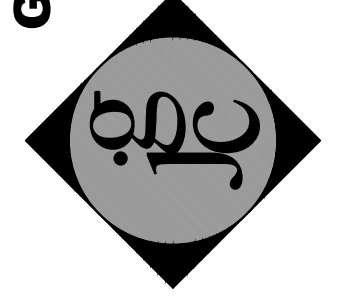
2 PARKING DETAILS
 N.T.S.



4 DUMPSTER ELEVATIONS
 SCALE: 3/8" = 1'-0"

REVISION	

GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
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PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
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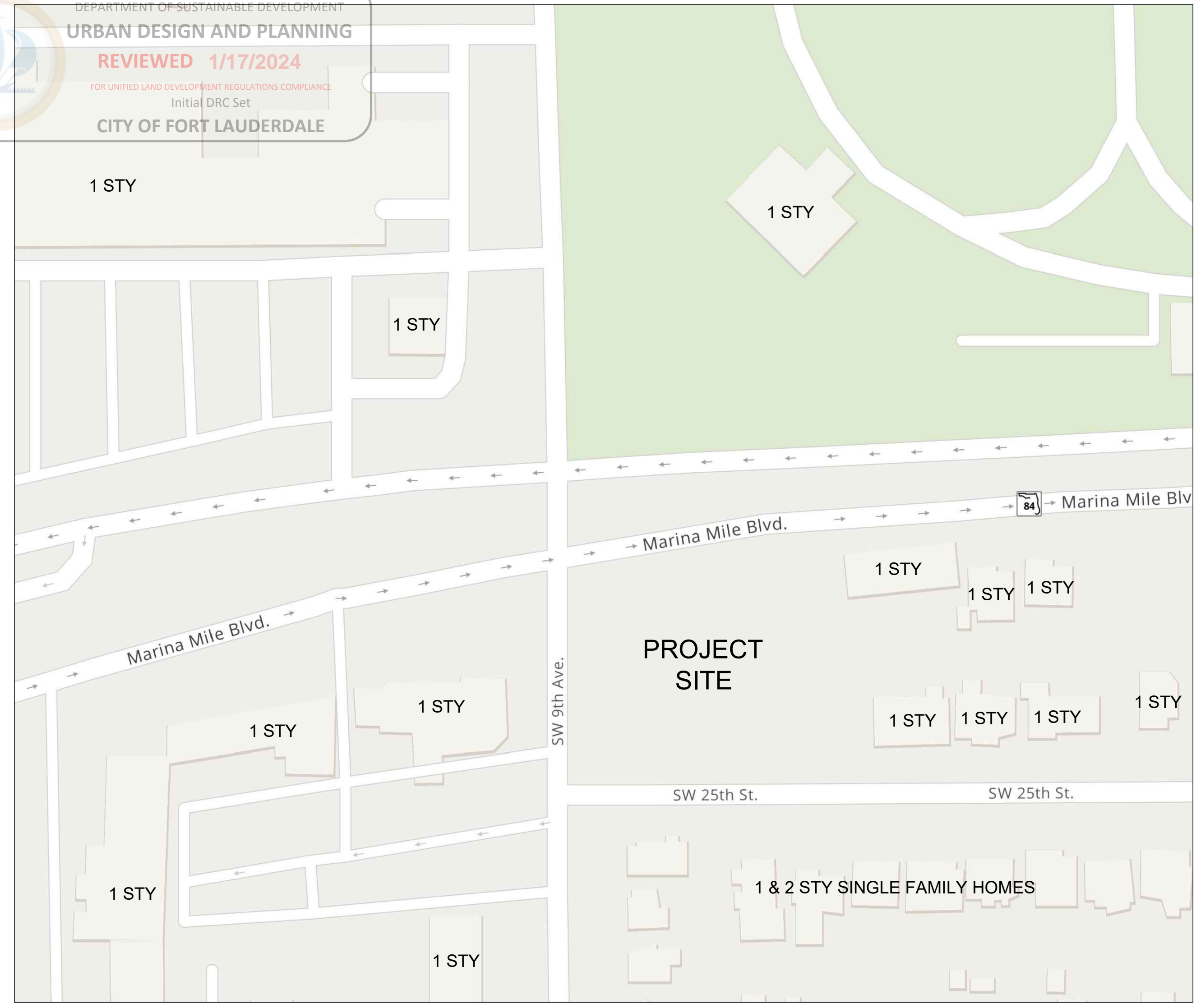
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 CHECKED **GJC**
 DATE **11-1-23**
 SCALE **AS NOTED**
 JOB NO. **22-063**

SHEET **SP-2**

OF SHEETS



1 ADJACENT USE MAP

NORTH

REVISION	DATE	DESCRIPTION

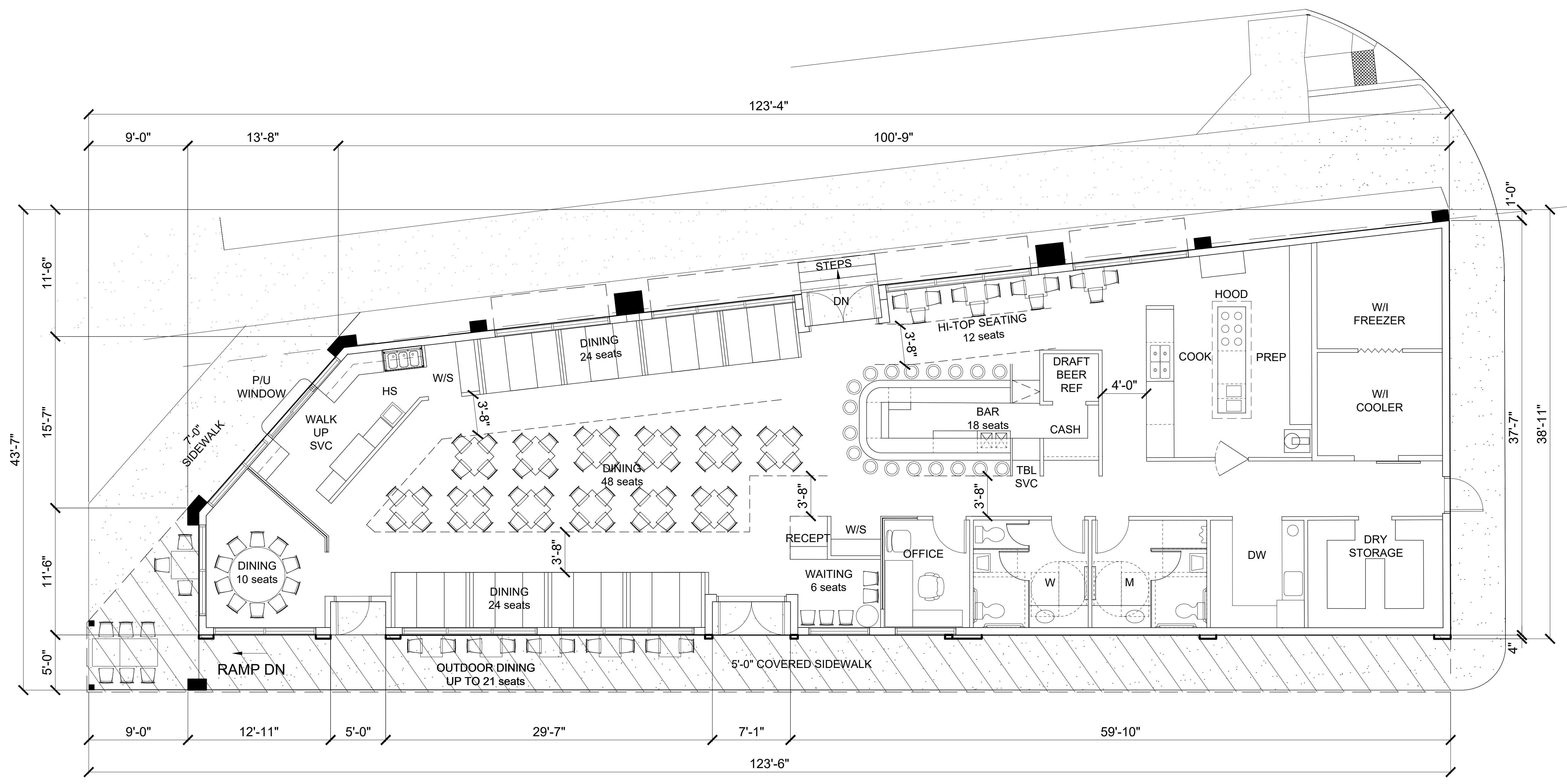
GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
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PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957
 AA26001131

DRAWN **DBK**
 CHECKED **GJC**
 DATE **11-1-23**
 SCALE **AS NOTED**
 JOB. NO. **22-063**
 SHEET
SP-3
 OF SHEETS

REVISION	DATE	BY
4-12-18		DBK



GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
 (954) 462-6565
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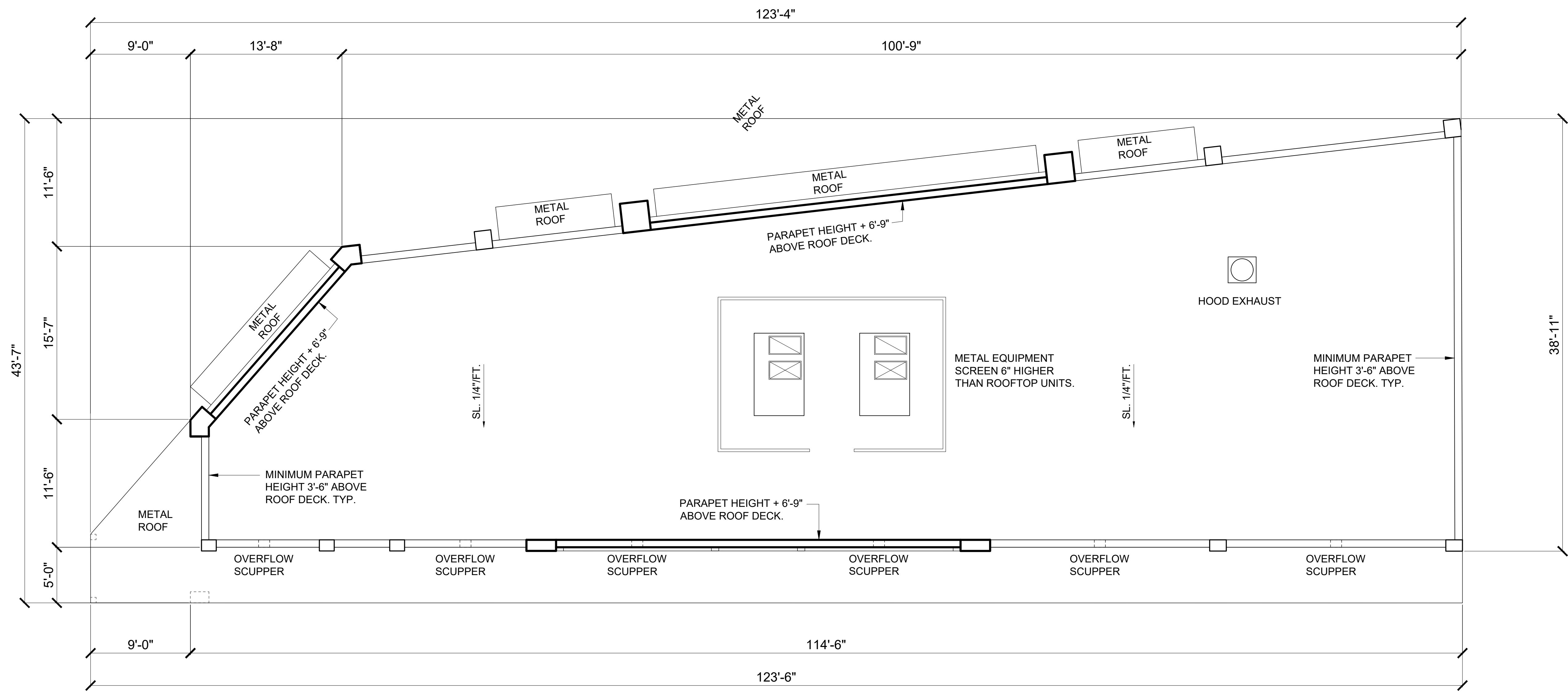
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SEAL: AR NO. 0007957
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DRAWN **DBK**
 CHECKED **GJC**
 DATE **11-1-23**
 SCALE **AS NOTED**
 JOB. NO. **22-063**
 SHEET

A-1
 OF SHEETS

REVISION		
4-12-18	DBK	



GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
 (954) 462-6565
 Member American Institute of Architects



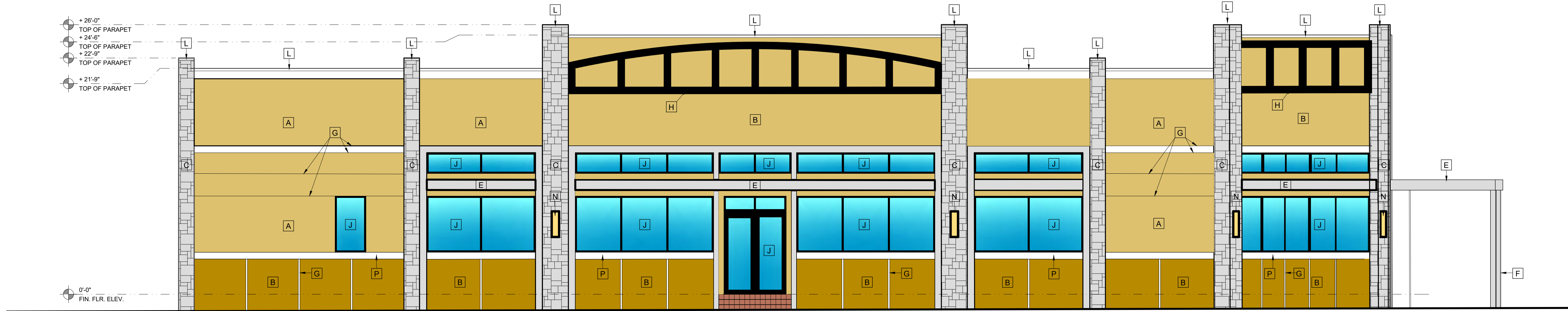
PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

SEAL:	AR NO. 0007957
AA26001131	

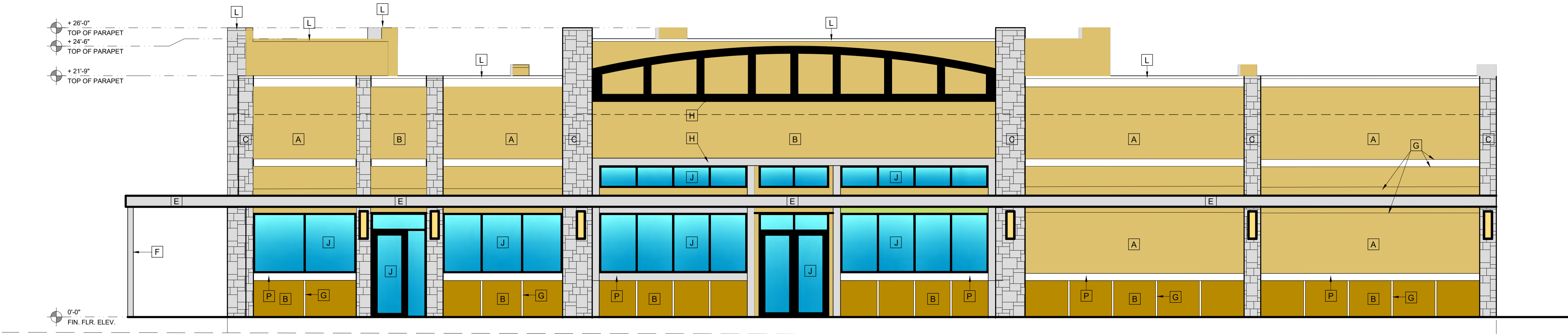
DRAWN	DBK
CHECKED	GJC
DATE	11-1-23
SCALE	AS NOTED
JOB. NO.	22-063
SHEET	

A-2

MATERIAL AND COLOR KEY NOTE LEGEND							
MARK	DESCRIPTION	COLOR	SHERWIN WILLIAMS PAINT OR EQUAL	MARK	DESCRIPTION	COLOR	SHERWIN WILLIAMS PAINT OR EQUAL
A	WALLS - SMOOTH STUCCO			J	DOORS & WINDOWS - ALUM. IMPACT RATED		
B	WALLS - TEXTURED STUCCO			K	HOL. MTL. DOOR IMPACT RATED		
C	CONC. COLUMN - STONE			L	COPING CAP		
D	STONE VENEER			M	5' MTL. EQUIPMENT SCREEN		
E	METAL ROOF			N	U.L. LIGHT FIXTURE		
F	METAL COLUMN			P	STUCCO BANDING		
G	STUCCO REVEAL			Q	MTL. EQUIPMENT SCREEN		
H	METAL TRIM			R			



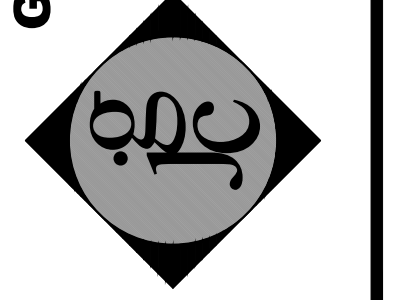
1 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

REVISION	

GUSTAVO J. CARBONELL, P.A.
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 1457 N.E. 4th AVE.
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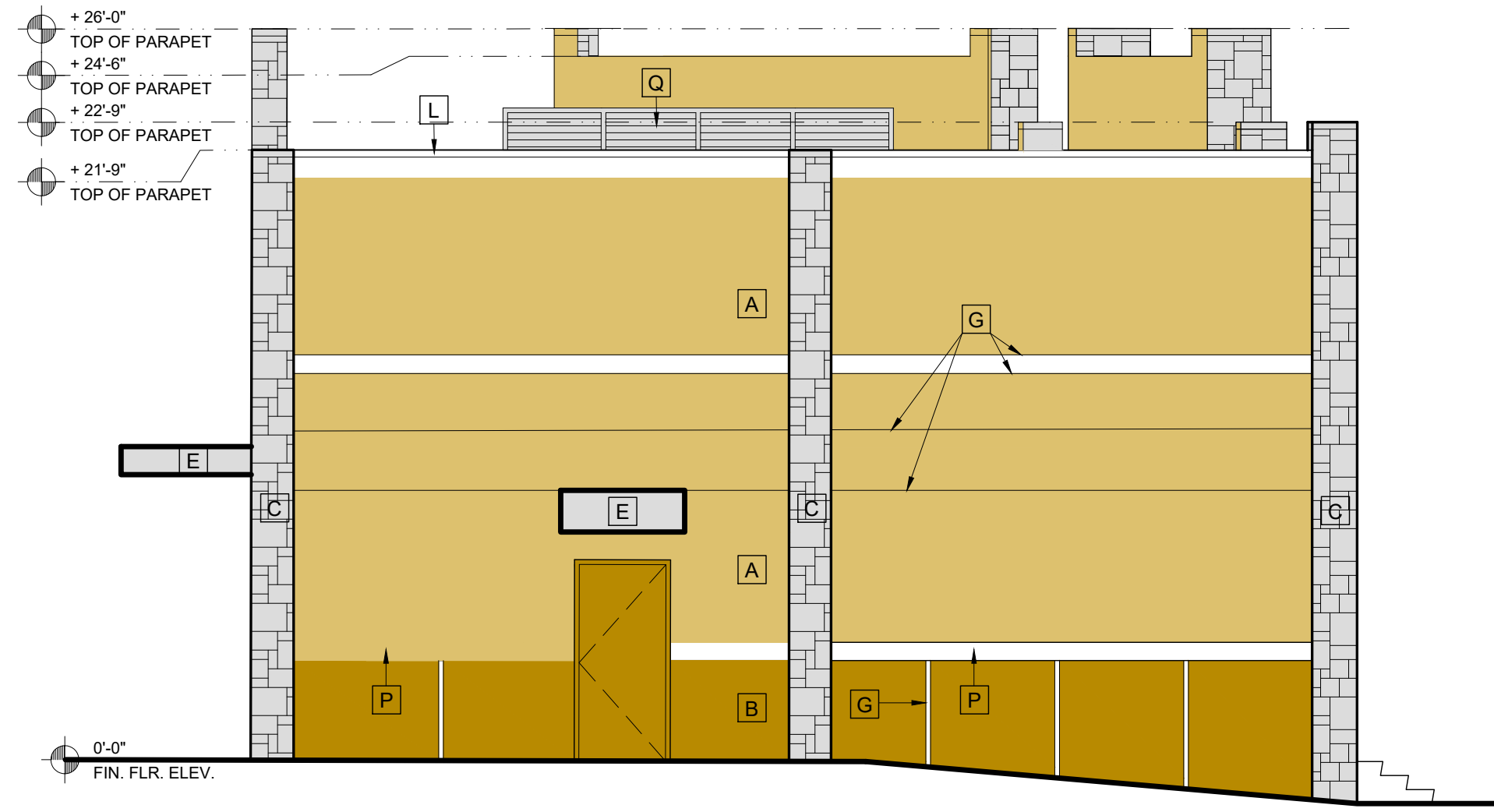


PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957
 AA26001131

DRAWN **DBK**
 CHECKED **GJC**
 DATE **11-1-23**
 SCALE **AS NOTED**
 JOB. NO. **22-063**
 SHEET

A-3
 OF SHEETS



MATERIAL AND COLOR KEY NOTE LEGEND							
MARK	DESCRIPTION	COLOR	SHERWIN WILLIAMS PAINT OR EQUAL	MARK	DESCRIPTION	COLOR	SHERWIN WILLIAMS PAINT OR EQUAL
A	WALLS - SMOOTH STUCCO			J	DOORS & WINDOWS - ALUM. IMPACT RATED		
B	WALLS - TEXTURED STUCCO			K	HOL. MTL. DOOR IMPACT RATED		
C	CONC. COLUMN - STONE			L	COPING CAP		
D	STONE VENEER			M	5' MTL. EQUIPMENT SCREEN		
E	METAL ROOF			N	U.L. LIGHT FIXTURE		
F	METAL COLUMN			P	STUCCO BANDING		
G	STUCCO REVEAL			Q	MTL. EQUIPMENT SCREEN		
H	METAL TRIM			R			

1 EAST ELEVATION

SCALE: 3/16" = 1'-0"



2 WEST ELEVATION

SCALE: 3/16" = 1'-0"

REVISION	

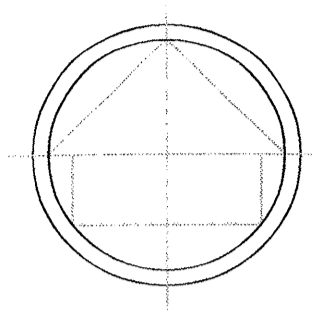
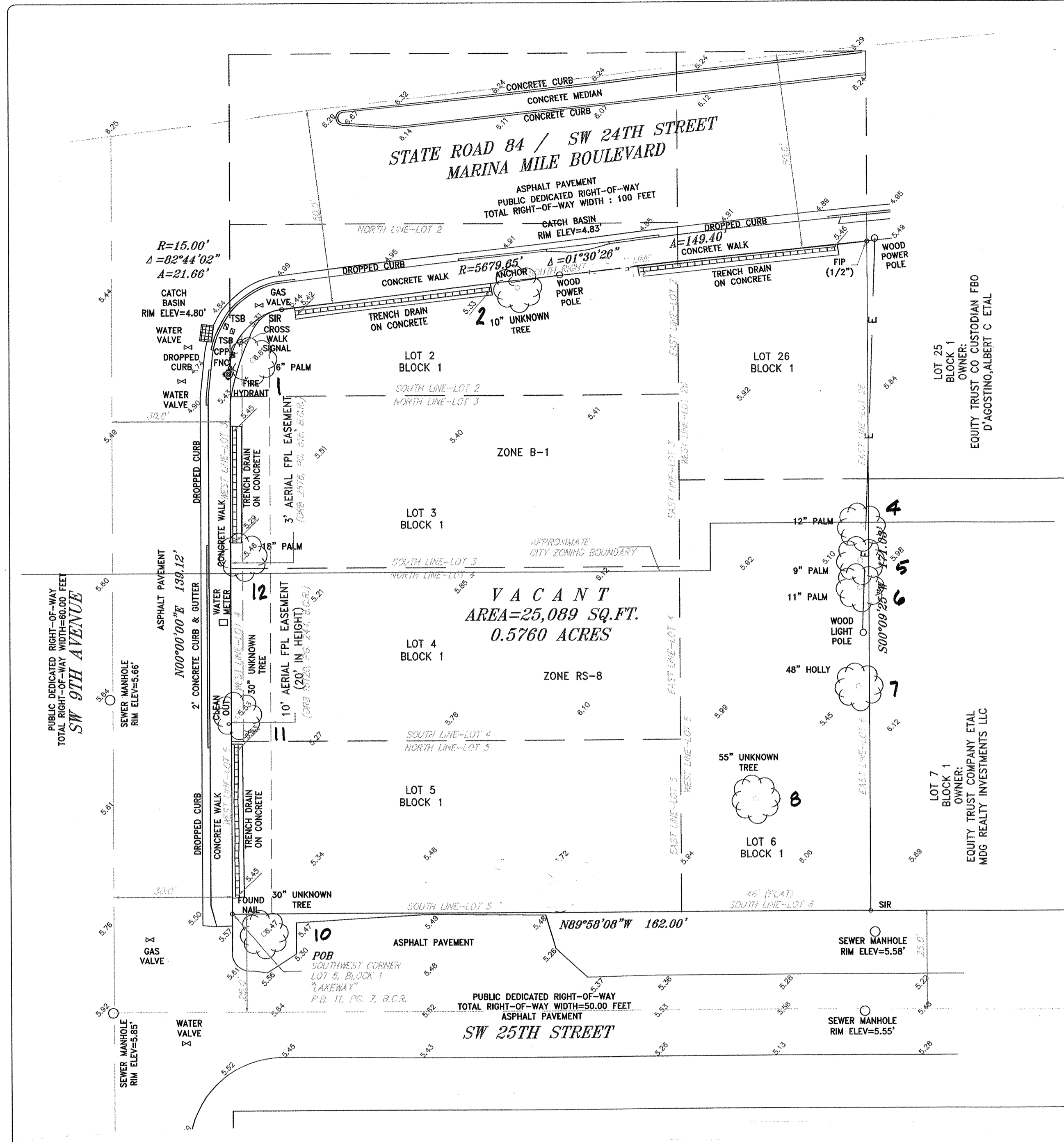
GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th AVE.
 Ft. Lauderdale, Florida, 33304
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PROPOSED DEVELOPMENT FOR:
NEW RESTAURANT BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957
 AA26001131

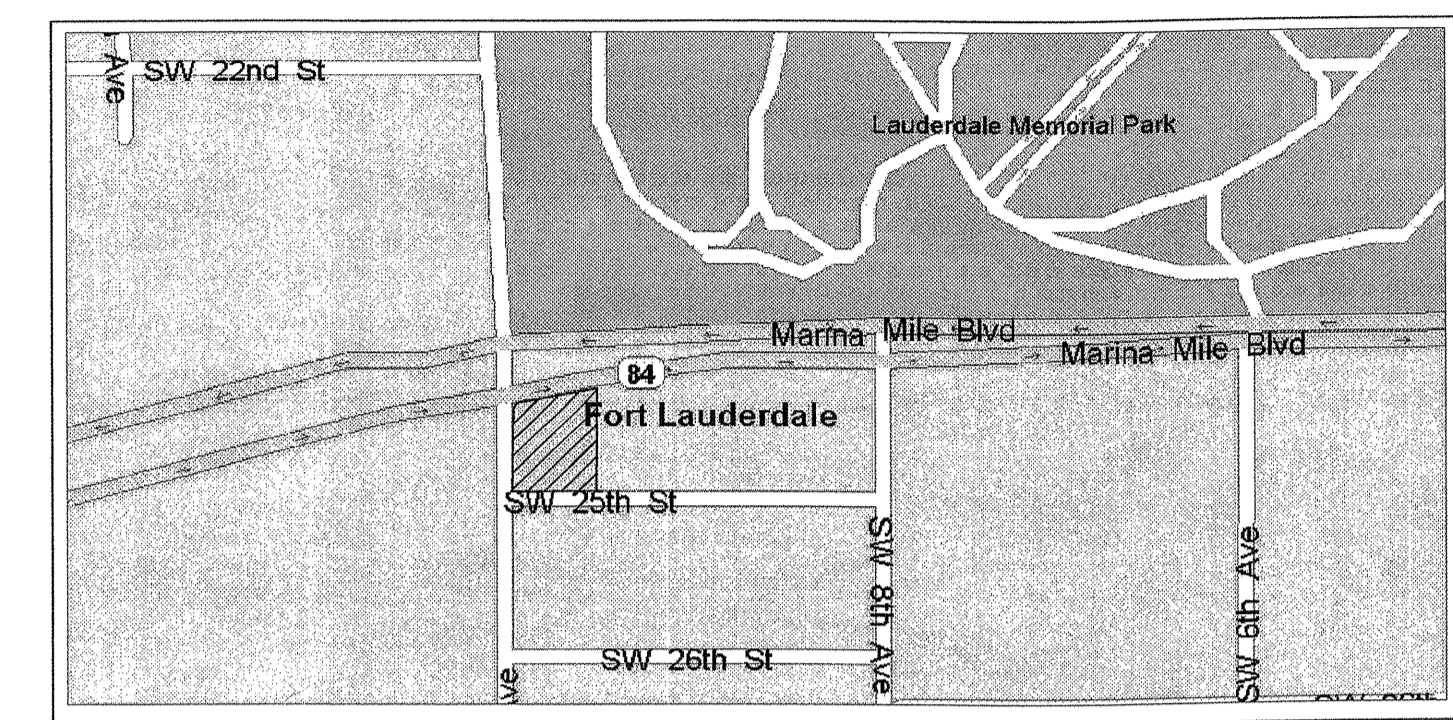
DRAWN **DBK**
 CHECKED **GJC**
 DATE **11-1-23**
 SCALE **AS NOTED**
 JOB. NO. **22-063**
 SHEET
A-4
 OF SHEETS

REVISION	BY:
6/22/17	
6/23/23	

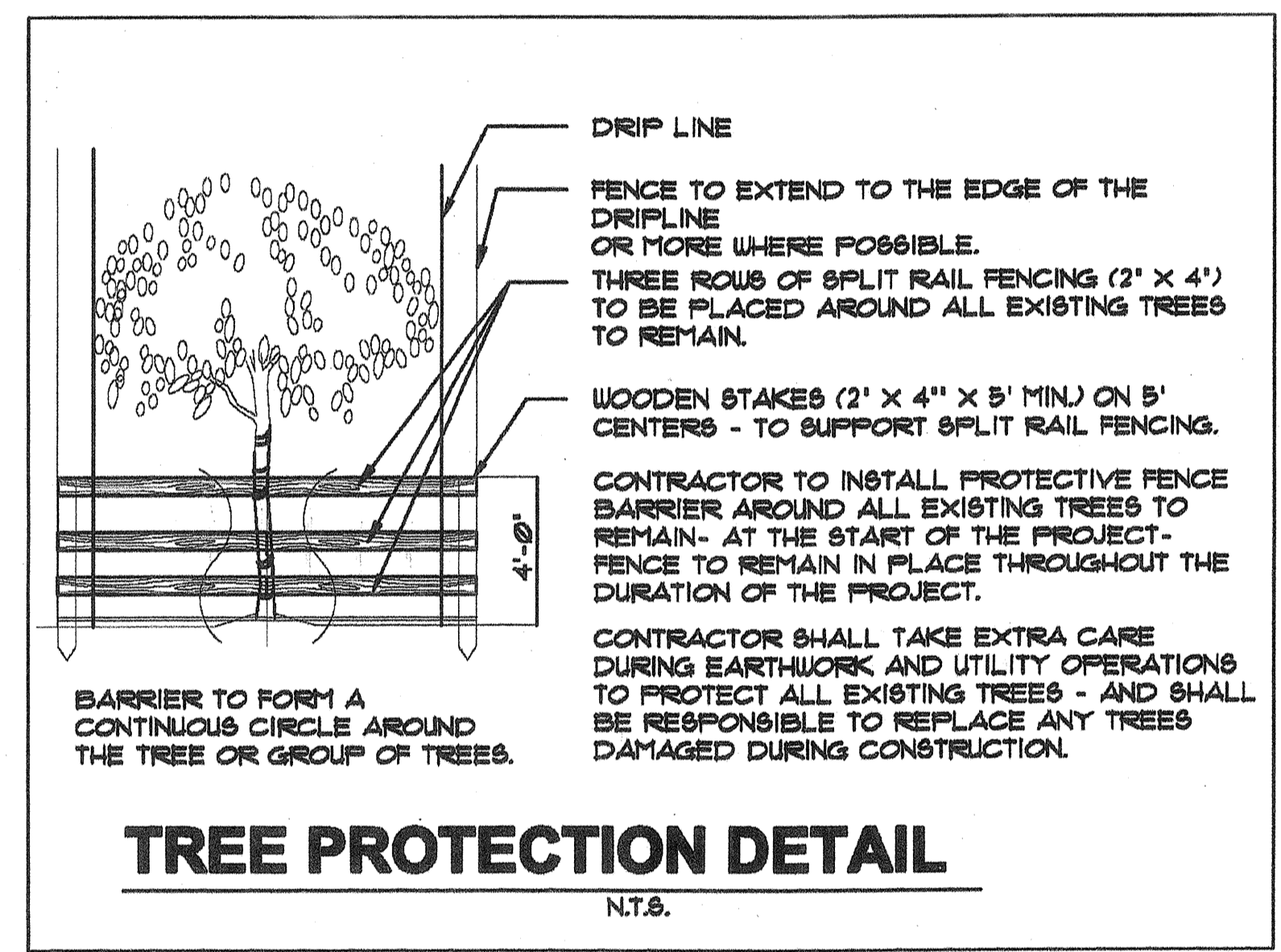


- LEGEND:**
- CBS CONCRETE BLOCK STRUCTURE
 - CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PAGE FIELD BOOK AND PAGE
 - CHAIN LINK FENCE/ WOOD FENCE
 - SET 5/8" IRON ROD AND CAP #6448
 - F.B. FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - A/C AIR CONDITIONER SLAB
 - P.B. PLAT BOOK
 - E- OVERHEAD WIRES
 - ALTA AMERICAN LAND TITLE ASSOCIATION
 - NSPS NATIONAL SOCIETY OF PROFESSIONAL SUR
 - ORB OFFICIAL RECORDS BOOK
 - BCR BROWARD COUNTY RECORDS
 - WM WATER METER
 - TSB TRAFFIC SIGNAL BOX
 - WPP WOOD POWER POLE
 - CPP CONCRETE POWER POLE

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)



Note: A tree removal permit is required by the City prior to the removal of any trees on site.

Existing Tree Disposition

Existing tree number	Botanical/ Common Name	Size	Condition* (Percentage)	Disposition	Mitigation
1	Phoenix roebelenii/ Pygmy Date Palm	6' CT	48	Remove	0
2	Tabebuia caribibea/ Yellow Tabebuia	11" cal	55	Remove	.80 x 11 x .55 = 4.8"
4	Sabal palmetto/ Sabal Palm	15' CT	50	Remove	1 palm
5	Sabal palmetto/ Sabal Palm	16' CT	50	Remove	1 palm
6	Sabal palmetto/ Sabal Palm	16' CT	50	Remove	1 palm
7	Schinus terebinthifolius/ Brazilian Pepper			Remove	0
8	Ficus aurea/ Strangler Fig	64" cal	40	Remove	64 x .40 = 25.6"
10	Conocarpus erectus/ Green Buttonwood	26" cal	48	Remove	26 x .48 = 12.48"
11	Conocarpus erectus/ Green Buttonwood	24" cal	43	Remove	24 x .43 = 10.32"
12	Sabal Palmetto/ Sabal Palm	3' CT	50	Remove	0

Total mitigation required = 3 palms + 53.2"
 Total mitigation provided = 64" (See sheet L-1)

*Note: Condition rating per James Legette Certified Arborist. Refer to full arborist report.

Tree Disposition Plan
 Scale 1" = 20' - 0"

GUSTAVO J. CARBONELL, P.A.
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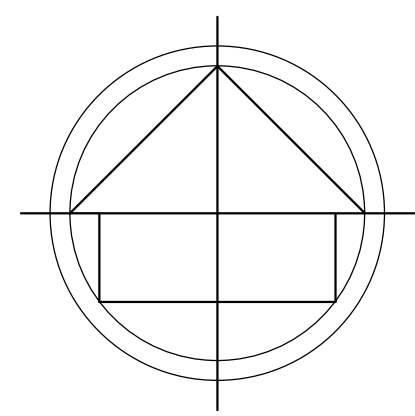
PROPOSED DEVELOPMENT FOR:
NEW RETAIL BUILDING
 840 WEST STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

Kimberly Moyer, RLA
 Landscape Architecture
 (954) 492-9609
 Lic. No. #LA0000952

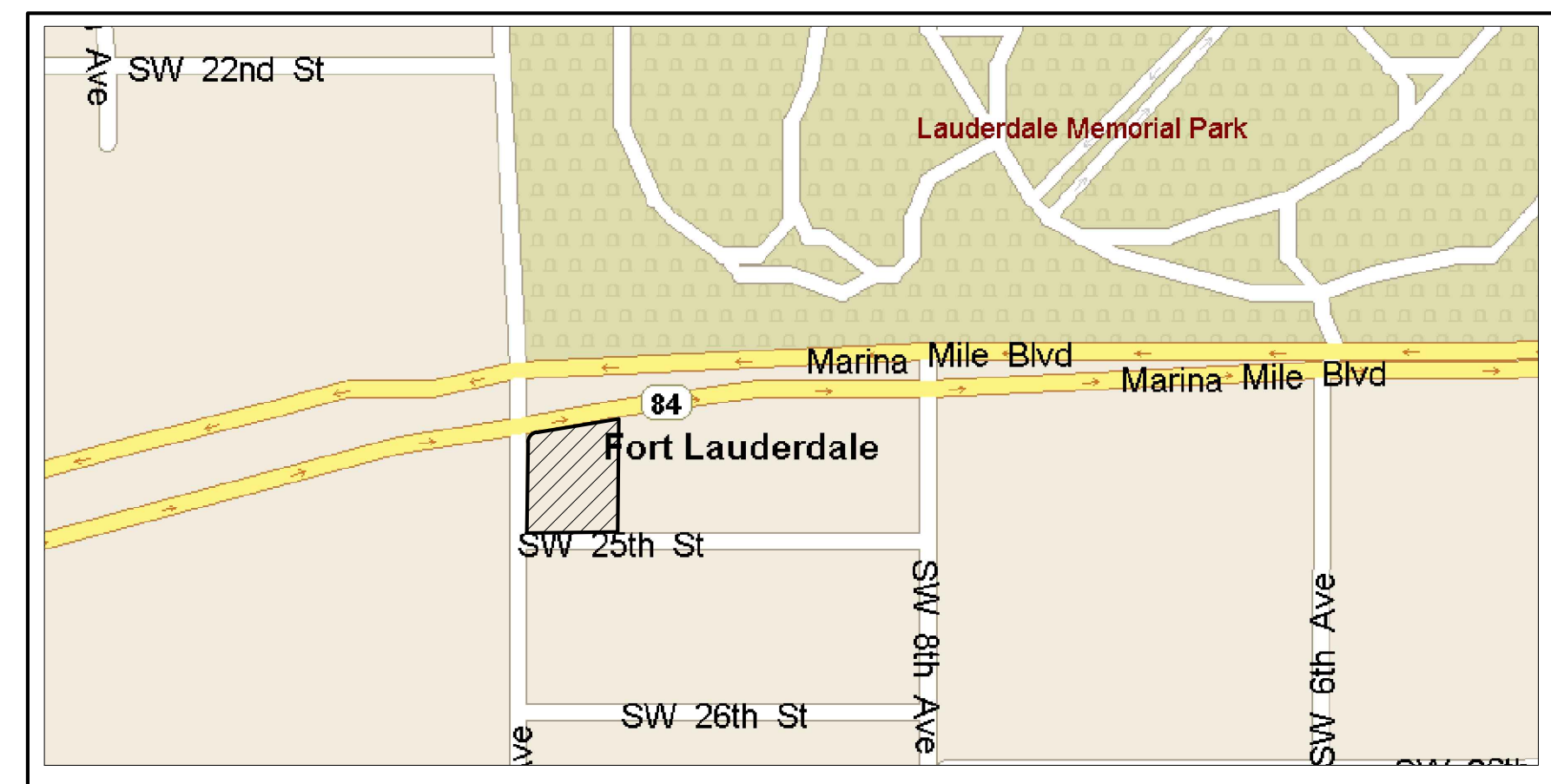
Digitally signed by Kimberly Moyer
 Date: 2023.07.21 12:17:33 -0400

DRAWN	K.M.
CHECKED	K.M.
DATE	3-10-17
SCALE	AS NOTED
JOB. NO.	16-046
SHEET	

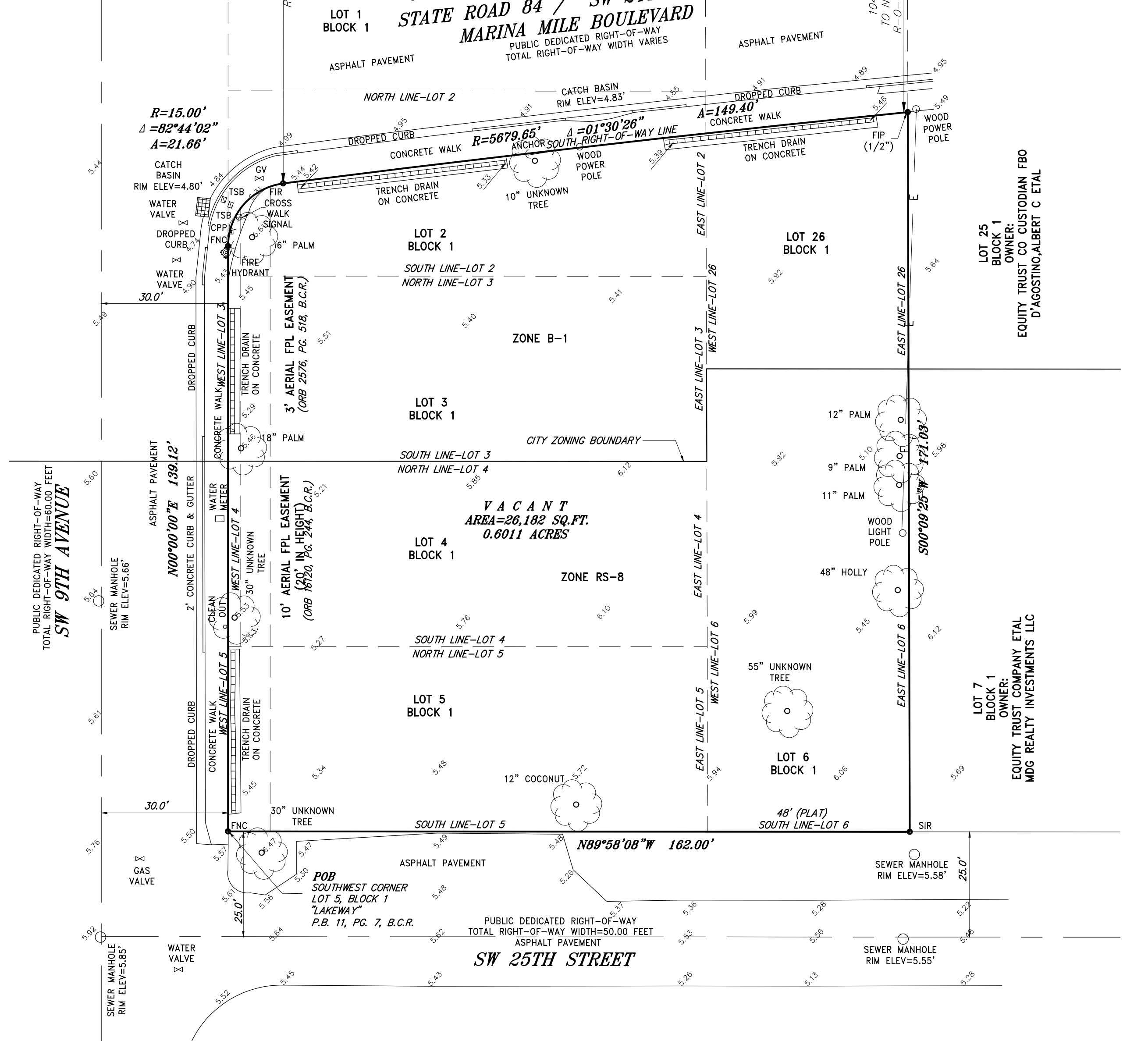
TD-1
 OF SHEETS



ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)



- LEGEND:**
- CBS CONCRETE BLOCK STRUCTURE
 - CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PG FIELD BOOK AND PAGE
 - X- CHAIN LINK FENCE/ WOOD FENCE
 - SIR SET 5/8" IRON ROD AND CAP #6448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - A/C AIR CONDITIONER SLAB
 - P.B. PLAT BOOK
 - E- OVERHEAD WIRES
 - ALTA AMERICAN LAND TITLE ASSOCIATION
 - NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
 - ORB OFFICIAL RECORDS BOOK
 - BCR BROWARD COUNTY RECORDS
 - WM WATER METER
 - TSB TRAFFIC SIGNAL BOX
 - WPP WOOD POWER POLE
 - CPP CONCRETE POWER POLE
 - CV GAS VALVE
 - R RADIUS
 - A ARC DISTANCE
 - Δ CENTRAL ANGLE
 - 5.69 ELEVATIONS

ZONING: B-1 - BOULEVARD BUSINESS
BUILDING SETBACK : FRONT 5 FEET
 CORNER 5 FEET
 SIDE ABUTTING RESIDENTIAL DISTRICT 10 FEET
 OTHER 0 FEET
 REAR ABUTTING RESIDENTIAL DISTRICT 15 FEET
 OTHER 0 FEET

MAXIMUM HEIGHT: 150 FEET
ZONING: RS-8 - RESIDENTIAL
BUILDING SETBACK : FRONT 25 FEET
 SIDE MINIMUM 5 FEET UP TO 22 FEET IN HEIGHT
 REAR 15 FEET

- NOTES :**
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 1226498 A1 WITH A 1. COMMITMENT DATE: APRIL 20, 2022 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 - BENCHMARK DESCRIPTION : BROWARD COUNTY BENCHMARK #2891 ELEVATION = 5.00' (NAVD88)
 - ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
 - THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
 - THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
 - THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
 - THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
 - THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
 - THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
 - NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

LAND DESCRIPTION:
 A PORTION OF LOTS 2, 3, 4, 5, 6 AND 26 IN BLOCK 1 OF "LAKEWAY", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SW CORNER OF SAID LOT 5; THENCE RUN NORTH 00°00'00" EAST ALONG THE WEST LINE OF SAID LOTS 5, 4, 3 AND 2 FOR A DISTANCE OF 139.12 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE, CONCAVE TO THE SOUTHEAST; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 82°44'02", FOR AN ARC DISTANCE OF 21.66 FEET TO A POINT OF COMPOUND CURVATURE; THENCE RUN EASTERLY ALONG THE ARC OF SAID COMPOUND CURVE (ALSO BEING THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 84), HAVING A RADIUS OF 5679.65 FEET, THROUGH A CENTRAL ANGLE OF 01°30'26", FOR AN ARC DISTANCE OF 149.40 FEET TO A POINT; THENCE RUN SOUTH 00°09'25" WEST ALONG THE EAST LINE OF SAID LOTS 26 AND 6 FOR A DISTANCE OF 171.03 FEET TO A SE CORNER OF SAID LOT 6; THENCE RUN NORTH 89°58'08" WEST ALONG THE SOUTH LINE OF SAID LOTS 6 AND 5 FOR A DISTANCE OF 162.00 FEET TO A POINT OF BEGINNING.

- TITLE EXCEPTIONS**
- ALL MATTERS CONTAINED ON THE PLAT OF LAKEWAY, AS RECORDED IN PLAT BOOK 11, PAGE 7, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
 - EASEMENT WITH FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 2576, PAGE 518, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
 - EASEMENT WITH FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 16120, PAGE 244, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
 - REVISED: RESERVATION OF MINERAL RIGHTS CONTAINED IN THE SPECIAL WARRANTY DEED RECORDED AT O.R. BOOK 28923 PAGE 118, O.R. BOOK 46289, PAGE 23 AND INSTRUMENT NUMBER 113982545, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125105
PANEL NUMBER	0559 H
ZONE	AH
BASE FLOOD ELEVATION	6
EFFECTIVE DATE	08/18/14

CERTIFIED TO:
 EL TAMARINDO 84, LLC,
 NESTOR A. AMAYA, RAFAEL A., AMAYA
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 ATTORNEYS' TITLE FUND SERVICES, LLC
 JOSEPH M. WEHBY, P.A.
 JOSEPH M. WEHBY, ESQUIRE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (A), (B), (NON SUPPLIED), 7 (A), (B) AND (C), 8, 9, 11, 13, 14, 16 AND 17 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON MAY 06, 2022.

FOR THE FIRM BY: _____
 RICHARD E. COUSINS
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.
 3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766

CLIENT :
 LAW OFFICES OF JOSEPH
 M. WEHBY, P.A.

840 W STATE ROAD 84
 FORT LAUDERDALE, FLORIDA

ALTA/NSPS LAND TITLE SURVEY

REVISIONS				
DATE	FB/PG	DWN	CKD	
12/12/16	DATA/COLL	AM	REC	
04/16/18	----	AM	REC	
06/05/20	----	JD	REC	
05/06/22	----	AM	REC	
05/24/22	----	AM	REC	
06/01/23	----	JD	REC	

PROJECT NUMBER : 8220-16
 SCALE : 1" = 20'
 SHEET 1 OF 1 SHEET



December 2, 2023

City of Ft. Lauderdale
Sustainable Development Department
Planning and Zoning 700 NW 19th Avenue
Fort Lauderdale, Florida 33311

Re, El Tamarindo 84 LLC
Site plan approval process for a parcel located at
840 W State Road 84, Fort Lauderdale, Florida 33315

Folio number 5042 22 14 0020

Project Description

Sir or madam.

The proposed development consists of a one story restaurant and bar.

The facility will provide a full service menu for 150 customers.

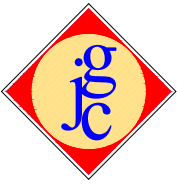
Tamarindo Restaurant, now located at 233 W State Road 84 for many years serving the community.

The restaurant will contain some outdoor seating as well as a takeout window at the corner to activate the pedestrian realm.

The design follows the guidelines of the State Road 84 corridor.

Sincerely.

Gustavo J. Carbonell, A.I.A.



December 2, 2023

City of Ft. Lauderdale
Sustainable Development Department
Planning and Zoning 700 NW 19th Avenue
Fort Lauderdale, Florida 33311

Re, El Tamarindo 84 LLC
Site plan approval process for a parcel located at
840 W State Road 84, Fort Lauderdale, Florida 33315

Folio number 5042 22 14 0020

ULDR Section 47-25.2. Adequacy Requirements:

Sir or Madam.

As per requirements of the City of Fort Lauderdale ULDR regulations please find narrative addressing Section 47-25.2, Adequacy Requirements below.

Sec. 47-25.2. Adequacy requirements.

A. *Applicability.* The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.

B. *Communications network.* Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.

This Development will not interfere with any of the city's communication network. The new building planned will be only 1 story in height and not taller than 35 feet.

C. *Drainage facilities.* Adequacy of storm water management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2 1/2) inches of runoff from the impervious surface whichever is greater.

Proper drainage will be provided by use of exfiltration trenches, and dry detention areas.

D. *Environmentally sensitive lands.*



1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an application for development shall be reviewed in accordance with the following Broward County Ordinances which address environmentally sensitive lands and wellfield protection which ordinances are incorporated herein by reference:
 - a. Broward County Ordinance No. 89-6.
 - b. Section 5-198(I), Chapter 5, Article IX of the Broward County Code of Ordinances.
 - c. Broward County Ordinance No. 84-60.
2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.

Site is not considered environmentally sensitive land, it is had been fully developed as a gasoline service station now demolished.

E. *Fire protection.* Fire protection service shall be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

Adequate water supply and fire hydrants exist.

F. *Parks and open space.*

1. For all residential plats, a minimum of three (3) acres property per anticipated one thousand (1,000) residents, or cash equivalent value, or combination thereof as determined by the department shall be provided by the applicant to meet the needs for additional parks. In addition, contribution to sub regional and regional parks in accordance with the Broward County Land Development Code is required, and an applicant shall provide documentation to the department that such contribution has been satisfied.

Not applicable. Parcel is already plated. Commercial development.

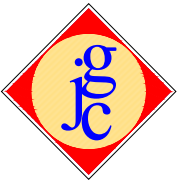
2. If there is adequate acreage available to service the proposed residential development, the city shall reserve the capacity necessary to serve the development.

Not applicable. Parcel is already plated. Commercial development.

3. Open space requirements provided in the ULDR shall be in addition to and shall not replace the park and open space required by this subsection F.

Not applicable. Parcel is already plated. Commercial development.

G. *Police protection.* Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention Through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.



This development will have adequate police protection using proper site lighting for the occupants, all new glazing and doors will be impact resistant, facility is wired for an automatic alarm system.

H. *Potable water.*

1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.

2. *Potable water facilities.*

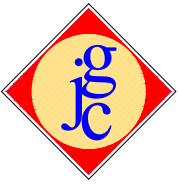
- a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
- b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.
- c. Where the county is the projected service provider, a similar written assurance will be required.

Adequate potable water facilities to serve the development exist.

I. *Sanitary sewer.*

1. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
2. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the proposed development
3. Where the county is the projected service provider, a written assurance will be required.
4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.

Adequate sanitary sewer facilities exist.



J. *Schools.* For all residential plats, the applicant shall contribute to school facilities in accordance with the Broward County Land Development Code and shall provide documentation to the city that such contribution has been satisfied.

Parcel already plated.

K. *Solid waste.*

1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements.
2. *Solid waste facilities.* Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.

Solid waste and recycling will be provided by a private hauler, with pick up on site at the dumpster.

L. *Storm water.* Adequate storm water facilities and systems shall be provided so that the removal of storm water will not adversely affect adjacent streets and properties or the public storm water facilities and systems in accordance with the Florida Building Code, city engineering standards and other accepted applicable engineering standards.

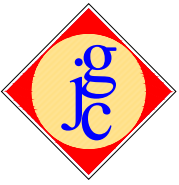
Storm water disposal to be provided to meet code with use of exfiltration trenches and dry detention areas.

M. *Transportation facilities.*

1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.

Site is not located within a Compact Deferral Area.

2. *Regional transportation network.* The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the



county, and Florida Department of Transportation traffic engineering standards and plans as applicable.

Bus routes serve development. Nearest route along the site frontage.

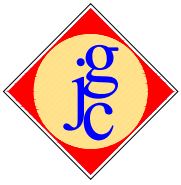
The existing road infrastructure is adequate.

3. *Local streets.* Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.

Right of way dedications are proposed along both street frontages.

4. *Traffic impact studies.*

- a. When the proposed development may generate over one thousand (1,000) daily trips; or
- b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half (1/2) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half (1/2) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in trafficways impact analysis which shall:
 - i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.
 - ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed trafficways.
 - iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local trafficways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.
 - iv. A further detailed analysis and any other information that the review committee considers relevant.
 - v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study



supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.

vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

A traffic generation statement is provided.

5. *Dedication of rights-of-way.* Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Traffic ways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

Dedications to FDOT will be as fee simple dedication, and dedication along SW 9th Avenue as an easement.

6. *Pedestrian facilities.* Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.

Adequate pedestrian facility will be provided for the development. Safe pedestrian circulation can be accomplished using walkways on site.

The walkways will also connect to the city sidewalk.

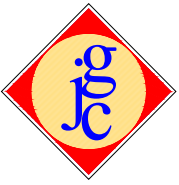
7. *Primary arterial street frontage.* Where a proposed development abuts a primary arterial street either existing or proposed in the traffic ways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a no access reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.

Development is located abutting an arterial street. Preliminary meetings have occurred with FDOT.

8. *Other roadway improvements.* Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.

Will be provided only if needed.

9. *Street trees.* In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may



be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.

Street trees will be provided and will comply with the City of Ft. Lauderdale's landscape ordinance.

N. *Wastewater.*

1. *Wastewater.* Adequate wastewater services shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.

Waste water service to the site exists.

O. *Trash management requirements.* A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.

Not applicable. Not a convenience store.

P. *Historic and archaeological resources.*

1. If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.

Not a historic site.



Q. *Hurricane evacuation.* If a structure or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.

Noted. Will comply.

Gustavo J carbonell

Gustavo J. Carbonell, A.I.A.



December 2, 2023

City of Ft. Lauderdale
Sustainable Development Department
Planning and Zoning 700 NW 19th Avenue
Fort Lauderdale, Florida 33311

Re, El Tamarindo 84 LLC
Site plan approval process for a parcel located at
840 W State Road 84, Fort Lauderdale, Florida 33315

Folio number 5042 22 14 0020

ULDR Section. 47-25.3. Neighborhood Compatibility Requirements:

Sir or madam.

As per requirements of the City of Fort Lauderdale ULDR regulations please find narrative addressing Section 47-25.3, Neighborhood Compatibility Requirements below to obtain necessary approvals for an 11 unit fee simple townhouse development.

A. The neighborhood compatibility requirements are as follows:

1. *Adequacy requirements.* See Sec. 47-25.2.

See attached adequacy requirements report as a separate document.

2. *Smoke, odor, emissions of particulate matter and noise.*

This development consists of a one story restaurant.

The development will not produce noise, smoke, odors, or emissions. Improvements are in an infill parcel with a use that is compatible with the uses surrounding the site. The site is very close to major transportation routes, downtown and residential areas, with similar uses.

a. Documentation from the Broward County Department of Natural Resource Protection (DNRP) or a report by a certified engineer, licensed in the State of Florida, that the proposed development will not exceed the maximum levels of smoke, odor, emissions of particulate matter and noise as regulated by Chapter 27, Pollution Control, of the Code of Broward County, and that a DNRP permit for such facility is not required.

This development will not produce noise, smoke, odors, or emissions.



b. Where a DNRP license is required in accordance with Chapter 27, Pollution Control, of the Code of Broward County, all supporting documentation and information to obtain such permit shall be submitted to the DRC as part of a site plan review.

Proper applications will be submitted.

c. Such DNRP licenses shall be required to be issued and copies provided to the city prior to the issuance of a building permit for the proposed development.

Will comply.

3. *Design and performance standards.*

a. *Lighting.* No lighting shall be directed from a use which is subject to the requirements of this Sec. 47-25.3 in a manner which illuminates abutting residential property and no source of incandescent or mercury vapor illumination shall be directly visible from any abutting residential property. No neon lights inside or outside structures shall be visible from any abutting residential property.

The site illumination is designed to not overspill onto adjacent properties. Pole mounted fixtures that shield light overspill onto adjacent properties or right of ways.

i. Glare. Any nonresidential operation or activity producing glare shall be conducted so that direct or indirect illumination of light shall not cause illumination in excess of one (1) foot-candle on any abutting residential property except as provided in subsection iii. of this subsection a.

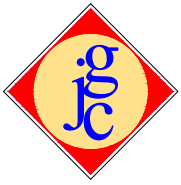
Item addressed above.

ii. Control of effects of lights from automobiles or other sources. Where the site plan indicates potential adverse effects of parking or of other sources on the lot on which the nonresidential use is to be located, such effects shall be eliminated or at a minimum prevented so that lights do not illuminate adjacent residential property below a height of five (5) feet at the residential lot line, or from shining into any residential window if there is to be nonresidential parking on the premises after dark.

Item addressed above. All the vehicular use areas are located internally within the development.

iii. In addition to the above, parking lots and garages will be subject to the provisions of Sections 47-20.14 and if in conflict with the provisions of this section, the more restrictive provisions shall apply.

This development will follow the city of Ft Lauderdale's lighting standards.



b. *Control of appearance.* The following design standards are provided to protect the character of abutting residential areas from the visual impact which may result from a use which is subject to the requirements of this Sec. 47-25.3.

i. *Architectural features.* The facade of any side of a nonresidential building facing the residential property shall be constructed to compliment a residential structure and shall include the following:

a) Fenestration such as windows, doors and openings in the building wall; and
b) Shall contain a minimum of one (1) feature from each of the following architectural feature groups with a total of four (4) architectural features from the following list:

1. Detail and embellishments:

- a. Balconies,
- b. Color and material banding,
- c. Decorative metal grates over windows,
- d. Uniform cornice heights,
- e. Awnings.

2. Form and mass:

- a. Building mass changes including projection and recession,
- b. Multiple types and angles of roofline, or any combination thereof.
- c) The above required facade treatment shall be required to continue around the corner onto the adjoining wall for a distance of twenty (20) feet.

The project does not abut residential properties.

ii. *Loading facilities.* Loading and service facilities shall be screened so as not to be visible from abutting residential uses or vacant residential zoned property.

Loading zones are not required.

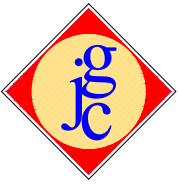
iii. *Screening of rooftop mechanical equipment.* All rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and/or adequately screened so that they are not visible from abutting residential uses or vacant residential zoned property.

All mechanical equipment proposed and will not be located on the roofs and screened.

c. *Setback regulations.* When a nonresidential use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, there shall be an additional setback required for any yard of that use which is contiguous to the residential property, as follows:

i. When any side of a structure greater in height than forty (40) feet is contiguous to residential property, that portion of the structure shall be set back one (1) foot for each one (1) foot of building height over forty (40) feet up to a maximum width equal to one-half (1/2) the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.

This project is not contiguous to residential projects. N.A.



d. *Buffer yard requirements.* When a use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, the property where the use is located shall be required to have a landscaped strip area and a physical barrier between it and the residential property. Such landscape strip shall meet the following requirements:

This project is not contiguous to residential project.

i. *Landscape strip requirements.* A ten (10) foot landscape strip shall be required to be located along all property lines which are adjacent to residential property. Such landscape strip shall include trees, shrubs and ground cover as provided in the landscape provisions of Section 47-21, Landscape and Tree Preservation Requirements. The width of the landscape area shall extend to the property line. All required landscaping shall be protected from vehicular encroachment. When walls are required on nonresidential property abutting an alley, required shrubbery shall be installed and located within the landscape area on the exterior of the wall.

N.A.

ii. *Parking restrictions.* No parking shall be located within twelve (12) feet of the property line, within the yard area required by the district in which the proposed nonresidential use is located, when such yard is contiguous to residential property.

N.A.

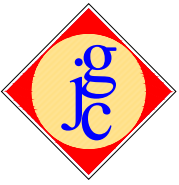
iii. *Dumpster regulations.* All solid waste refuse containers (dumpsters) shall be set back a minimum of twelve (12) feet from any property line which is contiguous to residential property, and shall be screened in accordance with the Dumpster requirements, as provided in Section 47-19, Accessory Uses, Buildings and Structures.

Solid waste to be placed at a dumpster.

A private hauler will provide the service.

iv. *Wall requirements.* A wall shall be required on the nonresidential property, a minimum of five (5) feet in height, constructed in accordance with Section 47-19.5 and subject to the following:

- a) Decorative features shall be incorporated on the residential side of such wall according to the requirements of Section 47-19.5,
- b) Shall be located within, and along the length of the property line which abuts the residential property,
- c) When the nonresidential property is located adjacent to an alley such wall shall be located at least five (5) feet from the right-of-way line located closest to the nonresidential property,
- d) When a utility, or other public purpose easement, on the nonresidential property precludes the construction of a wall, then an opaque fence, constructed in accordance with the standards described in Section 47-19.5, may be erected in lieu of the wall required by subsection iv. above.



The use of an opaque fence as a physical barrier between nonresidential and residential property shall be reviewed and recommended by the city engineer.

N.A.

v. *Application to existing uses.* Within five (5) years from the effective date of subsections A.3.c and d (effective date: September 19, 1989), all nonconforming uses of land which were in existence prior to such date shall comply with the requirements of subsections A.3.c and d unless compliance would cause one (1) or more of the following to occur:

- a) Demolition of any load-bearing portion of a building as it exists on September 19, 1989, the effective date of subsections A.3.c and d;
- b) Reduction of required parking spaces;
- c) A reduction in the number of parking spaces provided for use of a parcel which would be required if based on the parking requirements of Section 47-20, Parking and Loading Requirements in effect on and applicable to such use on March 6, 1990;
- d) Relocation of an existing wall which complied with the Code prior to September 19, 1989, the effective date of subsections A.3.c and d;
- e) Access to the land would be substantially impaired;
- f) Installation of the wall as provided in subsection iv. would require a modification of the existing vehicular use area, which would impair traffic circulation on the site and a minimum five (5) foot high hedge, fence or other physical barrier is in place along the length of the nonresidential property line which abuts the residential property;
- g) In such cases, the use shall otherwise comply with the requirements of this section to the maximum possible extent; however, the requirement of subsections A.3.d.i to install a landscape strip shall be met if an abutting residential property owner agrees in writing that the landscape strip may be placed on his or her property. An agreement in form provided by the department must be executed by the applicant and the abutting property owner. If the abutting property owner removes the landscape strip after it has been installed, there shall be no further requirement to install another landscape strip on the abutting property in connection with the commercial use which existed at the time of the initial installation.

The proposed project complies. New construction.

e. *Neighborhood compatibility and preservation.* In addition to the review requirements provided in subsections A.1, A.2 and A.3.a, b, c, and d, the following review criteria shall also apply as provided below:

- i. All developments subject to this Sec. 47-25.3 shall comply with the following:
 - a) Development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to



control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

b) Consideration shall be given to the recommendations of the adopted neighborhood master plan in which the proposed development is to be located, or which it abuts, although such neighborhood master plan shall not be considered to have the force and effect of law. When recommended improvements for the mitigation of impacts to any neighborhood, conflicts with any applicable ULDR provision, then the provisions of the ULDR shall prevail. In order to ensure that a development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, buffer yards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

Development is a typical use and like other redevelopment uses in the surrounding area.

ii. All development within the RAC-TMU (RAC-EMU, RAC-SMU and RAC-WMU) district that is greater in density than twenty-five (25) dwelling units per net acre:

Section does not apply. Development not located within the RAC listed or residential use.

Gustavo J. Carbonell

Gustavo J. Carbonell, A.I.A.

End of narrative.



December 2, 2023

City of Ft. Lauderdale
Sustainable Development Department
Planning and Zoning 700 NW 19th Avenue
Fort Lauderdale, Florida 33311

Re, El Tamarindo 84 LLC
Site plan approval process for a parcel located at
840 W State Road 84, Fort Lauderdale, Florida 33315

Folio number 5042 22 14 0020

Sec. 47-23.9. - Interdistrict corridor requirements.

- B. The following shall apply to development on property abutting State Road 84 lying between the west line of Federal Highway and the east line of Interstate 95.
1. *Definitions.* For the purpose of this section, the following terms and words shall have the meanings herein prescribed unless the context clearly requires otherwise:
 - a. *Building line.* Shall mean a line along the face of the building wall closest to and facing State Road 84 and extending to the side property lines.
 - b. *Curb line.* Shall mean a line on the edge of a curb closest to the roadway pavement or where no curb exists, from the edge of the roadway pavement closest to the development site.
 2. *Requirements:*
 - a. *Build-to line.* A minimum of seventy-five percent (75%) of the linear frontage of a development site along State Road 84 shall be occupied by a ground floor building wall located twenty (20) feet from the curb line. The department can approve a modification to the seventy-five percent (75%) requirement to permit one (1) two-way drive aisle with a single row of parking perpendicular to State Road 84, the parking to be at least twenty (20) feet from curblines; the dimension of such parking spaces to be no greater than those specified in the Table of Parking Geometrics listed in Section 47-20.11.A.
The development is located 20 feet from the curb line. Also, maximum possible building length is built to line. A single loaded driveway modification is utilized to allow an ingress driveway.
 - b. *First floor transparency.* A minimum of thirty-five percent (35%) of the first floor facade of a building facing State Road 84 shall utilize transparent elements such as windows, doors and other fenestration.
The façade facing State Rd 84 exceeds 35% percent transparency area with continuous windows and glass doors.
 - c. *Awnings, canopies, arcades.* Awnings, canopies or arcades shall be provided over all doors, windows and other transparent elements required pursuant to subsection b. of this section.
The main entrance is recessed. Metal canopies provided.



Sidewalk. A minimum five-foot wide unobstructed sidewalk shall be installed between the curb line and building line at least four (4) feet from the curblines. The sidewalk shall run parallel to State Road 84, along the entire length of the development site and connect to an existing sidewalk, if any, on the abutting properties. If a sidewalk exists that meets all the requirements provided herein except the width requirement or is located closer than four (4) feet from the curblines, it may be used to meet the requirements of this section provided it is in good condition as determined by the city engineer.

The sidewalk provided exceeds the width, the sidewalk is away from the curb line to allow for street trees if allowed by FDOT.

- e. *Pedestrian connection.* Pedestrian access shall be provided between the principal entrance of a building and the sidewalk required pursuant to subsection d. of this subsection B.2. of a type and location approved by the department.

The pedestrian connection is provided to all the entrances.

- f. *Fencing.* A fence may be located between a building line and State Road 84 but shall not exceed a maximum of six (6) feet, six (6) inches in height, at least seventy-five percent (75%) of the fence shall be non-opaque and shall be subject to all other requirements of Section 47-19.5, Fences, walls and hedges. A wall shall not be permitted between the building line and State Road 84.

No fences along the frontage. N.A.

- g. *Street trees.* Street trees as defined by Section 47-21.2, Landscaping and tree preservation, shall be provided along the development site fronting on State Road 84 in accordance with the following:

- i. Shade or flowering canopy trees shall be installed to create a continuous canopy at maturity, spaced at intervals approved by the landscape plans examiner based upon the species so that normal growth and aesthetic appearance shall not be impaired. At the time of installation shade or flowering canopy trees shall be at least fourteen (14) feet in height, have an eight-foot spread and a minimum six-foot ground clearance and installed, within twelve (12) feet from the curblines fronting State Road 84 or as otherwise directed by FDOT and in accordance with Section 47-21.6. If existing or proposed physical conditions such as existing overhead power lines could impair the proper growth of the shade tree or canopy as determined by the landscape plans examiner, non-shade or ornamental trees may be planted in accordance with the provisions herein.
- ii. If non-shade or ornamental trees are permitted to be planted as approved by the landscape plans examiner the trees shall be spaced at twenty-five-foot intervals. At the time of installation, non-shade or ornamental trees shall be at least ten (10) feet in height, have a six-foot spread and a minimum of six-foot ground clearance and installed twelve (12) feet from the curb line fronting State Road 84, or as otherwise directed by FDOT and in accordance with Section 47-21.6.
- iii. The location of the trees may be modified by the landscape plans examiner based on the location and size of an existing sidewalk that is not required to be replaced as described in subsection d.

Street trees provided.



- h. *Landscaping.* Landscaping consisting of a combination of hedges and groundcover of varying species shall be provided in front of all opaque building wall sections of the first floor facade facing State Road 84.

The landscape plans indicate bushes in front of building at opaque walls.

- i. *VUA.* No parking or vehicular use area except driveways providing access to a right-of-way shall be permitted on the development site within twenty (20) feet of the curb line.

No driveways proposed in front.

3. *Exception to State Road 84 Interdistrict Corridor requirements.*

- a. Development sites located on State Road 84 proposed to be developed with the front of a building facing and having access onto Federal Highway are exempt from the requirements of subsection B.2.a, b, c and e. The landscape plans examiner may modify the requirements of B.2.g to permit non-shade trees in certain locations to maintain visibility and promote safety.

N.A.

- b. Double-fronted, triangular shaped parcels located on State Road 84 are exempt from B.2.a, b, c and i, but must provide the following:
 - i. A minimum average fifteen-foot wide landscape area no less than three-foot wide at any one point shall be installed along the entire State Road 84 street frontage between the building line and the sidewalk required pursuant to B.2.d consisting of a variety of planting materials; and
 - ii. In addition to the street trees required as provided in B.2.g., an additional row of trees shall be installed and evenly distributed in the landscape area required in subsection B.3.b.i. so that the trees are installed on both sides of the sidewalk. When the site plan configuration, FDOT standards or other regulations preclude these trees from being located entirely along State Road 84, they shall be located around the perimeter of the development site, with the maximum number of trees possible located along State Road 84, as determined by the department.

N.A.

- c. Developments located on State Road 84 west of S.W. 9th Avenue shall have an option to meet the following requirements in lieu of B.2.a, b and c:
 - i. A minimum average fifteen-foot wide landscape area no less than three-foot wide at any one point shall be installed along the State Road 84 street frontage between the building and sidewalk required pursuant to B.2.d. consisting of a variety of planting materials; and
 - ii. In addition to the street trees required as provided in B-2.g., an additional row of trees shall be installed and evenly distributed in the landscape area required in subsection B.3.c.ii. so that the trees are installed on both sides of the sidewalk. When the site plan configuration, FDOT standards or other regulations preclude these trees from being located entirely along State Road 84, they shall be located around the perimeter of the development site, with



the maximum number of trees possible located along State Road 84, as determined by the department; and

- iii. An additional minimum three-foot wide meandering pedestrian pathway shall be provided in the landscaped area pursuant to B.3.c.i.

N.A.

- 4. *Non-conforming structure.* If a structure on a development site is non-conforming based solely on the regulations provided in this Section 47-23.9., notwithstanding the provisions of Section 47-3.5, Change in use, the use of such structure may be changed to a use that has a greater operational activity or requires greater parking requirements if such use is permitted within the zoning district where the property is located and otherwise meets all other ULDR requirements, subject to applicant complying with the regulations provided herein to the greatest extent possible without requiring structural alteration to the principal structure. The regulations provided in this subsection 47-23.9.B. shall be applied to the development site in the following order of priority; street trees, sidewalk improvements, landscape area and architectural elements. Approval of the changed use as described in this subsection 4 shall be subject to a site plan level I review.

N.A.

(Ord. No. C-97-19, § 1(47-23.9), 6-18-97; Ord. No. C-02-32, § 1, 10-15-02; Ord. No. C-14-21, § 1, 5-6-14)

Sincerely;

Gustavo J. Carbonell. A.I.A.



December 2, 2023

City of Ft. Lauderdale
Sustainable Development Department
Planning and Zoning 700 NW 19th Avenue
Fort Lauderdale, Florida 33311

Re, El Tamarindo 84 LLC
Site plan approval process for a parcel located at
840 W State Road 84, Fort Lauderdale, Florida 33315

Folio number 5042 22 14 0020

Sir or Madam;

I, RAFAEL ANTONIO AMAJA, owner of the referenced property, EL TAMARINDO 84 LLC, authorize my architect, Gustavo J. Carbonell, to act as my agent for any submissions and site plan approval processes regarding the referenced restaurant.

Nelly Pfenniger

Notary public signature

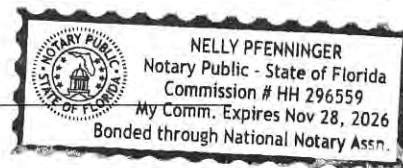
NELLY PFENNINGER

Notary public printed name

Signed and notarized before me this 5th day of DECEMBER 2023

Identification produced FLDL

My commission expires on. 11/28/2026



JOHN B. SMITH ENGINEERS, INC.

**1457 N.E. 4TH AVENUE
FORT LAUDERDALE, FL 33304
E-Mail JOHNBSMITH@ATT.NET**

December 4, 2023

City of Ft. Lauderdale
Engineering Department
100 North Andrews Avenue
Ft. Lauderdale, FL 33301

**RE: TAMARINDO
840 W. STATE ROAD 84
DRC CASE# TBD**

To Whom it May Concern:

Attached you will find a PDF copy of the proposed Civil plan for the above referenced project located at the southeast corner of State Road 84 and S.W. 9th Street. This project is the construction of an approximate 3500 SF restaurant. This project will require approximately 8.733 ERC's (3500 sf X 2.495 ERC/1000 SF (C09)) in water demand.

This project will be reviewed by the DRC and it's a requirement to verify there will be sufficient water and sewer capacities to accommodate the development and to also verify whether there are water and sewer mains to service the new development. Please provide a letter confirming the above so we can provide to the DRC.

Thank you for your cooperation and if any additional information is required, please do not hesitate to contact our office.

Very truly yours,

JOHN B. SMITH ENGINEERS, INC.

Robert C Smith

Robert C. Smith, P.E.

RCS/db

COFLCAPACITY-TAMARINDO.doc

Water and Wastewater Capacity Availability Request Form

From: fortlauderdale@enotify.visioninternet.com

To: johnbsmith@att.net

Date: Monday, December 4, 2023 at 11:21 AM EST

A new entry to a form/survey has been submitted.

Form Name: Water and Wastewater Capacity Availability Request Form
Date & Time: December 04, 2023 11:21 AM
Response #: 450
Submitter ID: 77007
IP address: 104.128.161.127
Time to complete: 5 min. , 8 sec.

Survey Details

Page 1

CONTACT INFORMATION

(o) Agent

Name ROBERT C SMITH, PE
Email johnbsmith@att.net
Phone (954) 494-0599

PROJECT INFORMATION

Project Name TAMARINDO
Project Folio Number 5042 22 14 0020
Project Address 840 W STATE ROAD 84
Development Review Committee (DRC) Case Number TBD
Area/Zone for Pump Station Not answered
Provide a brief project description
3500 SF RESTAURANT

ATTACHMENTS

Site plan showing all connections to water and sewer utilities.

[STRD84\(TAMARINDO\)C1.pdf](#)

ERC Calculations based on City of Fort Lauderdale "Guidelines for Calculation of Sanitary Sewer Connection Fees".

[COFL.CAPACITY.TAMARINDO.pdf](#)



Florida Department of Transportation

RICK SCOTT
GOVERNOR

3400 West Commercial Blvd.
Fort Lauderdale, FL 33309

MICHAEL DEW
SECRETARY

June 9, 2017

THIS PRE-APPLICATION LETTER IS VALID UNTIL – **June 9, 2018**
THIS LETTER IS NOT A PERMIT APPROVAL

Robert C Smith
John B Smith Engineers
441 S State Road 7, Suite 19D
Margate, FL 33068

Dear Robert C Smith:

RE: **June 9, 2018** - Pre-application Meeting for **Category C Driveway**, Date of Pre-application Meeting: **May 11, 2017**
Broward County - City of Fort Lauderdale, Urban; SR 84; Sec. # 86080; MP: 18.750
Access Class - 05; Posted Speed - 40 mph; SIS - Influence Area; Ref. Project: FM 440085.1
Request: Right-in access driveway on SR 84 located adjacent to eastern property line.

SITE SPECIFIC INFORMATION
Project Name & Address: **ST RD 84 Retail - 840 W 24 Street, Fort Lauderdale, FL 33311**
Applicant/Property Owner: **840 SW 24 Street LLC-2321 E Las Olas Blvd., Fort Lauderdale/840 SW 24 Street LLC**
Parcel Size: **0.57 Acres** Max. Sq.ft./Proposed LU: **6,950 S.F.Retail**

WE APPROVE YOUR REQUEST

This decision is based on your presentation of the facts, site plan and survey - please see the **conditions** and **comments** below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

Conditions:

- **A minimum driveway length of 25 feet, as measured from the ultimate right-of-way line to the first conflict point shall be provided. If a guard gate is installed a minimum driveway length of 100 feet is required.**
- **The proposed driveway shall be channelized to discourage outbound traffic and shall have a maximum width of 16 feet.**
- **Drive-thru service is not allowed. Two existing driveways along the frontage of the site on SR 84 shall be closed and curb restored.**

Comments:

- **The latest version of the Traffic Analysis shall be provided to the Planning Office by the time of Permit.**
- Drainage mitigation is required for any impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). A Storm Water Pollution Prevention Plan must be submitted with the application for more than one acre of "disturbed area" as defined by the Florida Department of Environmental Protection (FDEP).
- The applicant shall donate the right-of-way to the Department if right-of-way dedication is required to implement the improvements,
- All driveways not approved in this letter must be fully removed and the area restored.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway system and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department's personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. **Note, this letter does not guarantee permit approval.** The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://gis.dot.state.fl.us/OneStopPermitting>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact Geysa Sosa, P.E. at the District Permits Office with any questions regarding permits – Tel. # 954-777-4377, or e-mail: geysa.sosa@dot.state.fl.us.

Sincerely,

Dalila Fernandez, P.E.
District Access Management Manager

cc: Roger Lenteux
File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2017-05-11\1. 86110 MP 7.100 SR 84_SR 84 Retail\86110 MP 7.100 SR 84_SR 84 Retail.docx

April 1, 2023

Mr. Alex Amaya
El Tamarindo 84 LLC
233 State Road 84
Fort Lauderdale, Florida 33315

Re: El Tamarindo Latin Cafe – Trip Generation Memorandum

Dear Alex:

Traf Tech Engineering, Inc. has prepared a trip generation analysis in connection with a proposed 3,750 square-foot restaurant planned to be located at 840 West State Road 84 in the City of Fort Lauderdale, Florida. The trip generation analysis was performed for the site using the trip generation equations published in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (11th Edition)*. The trip generation analyses were undertaken for daily, AM peak hour, and PM peak hour conditions.

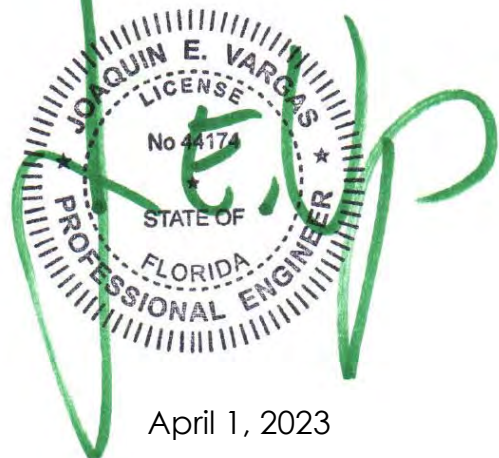
The results of the trip generation analysis are documented in Table 1. As shown in the table, the 3,750 square-foot restaurant is projected to generate approximately 402 daily trips, approximately 36 AM peak hour trips (20 inbound and 16 outbound) and approximately 34 trips during the typical afternoon peak hour (21 inbound and 13 outbound).

Please give me a call if you have any questions.

Sincerely,

TRAF TECH ENGINEERING, INC.

Joaquin E. Vargas, P.E.
Senior Transportation Engineer



April 1, 2023

TABLE 1
Trip Generation Summary
El Tamarindo Latin Café

Land Use	Size	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total Trips	Inbound	Outbound	Total Trips	Inbound	Outbound
Restaurant - High Turnover (LUC 932)	3750 sf	402	36	20	16	34	21	13
Net External Trips		402	36	20	16	34	21	13

Source: ITE Trip Generation Manual (11th Edition)

ITE Land Use Code 932 - Restaurant (High Turnover)

Daily Trips: T = 107.20 (X), X = 1,000 square feet

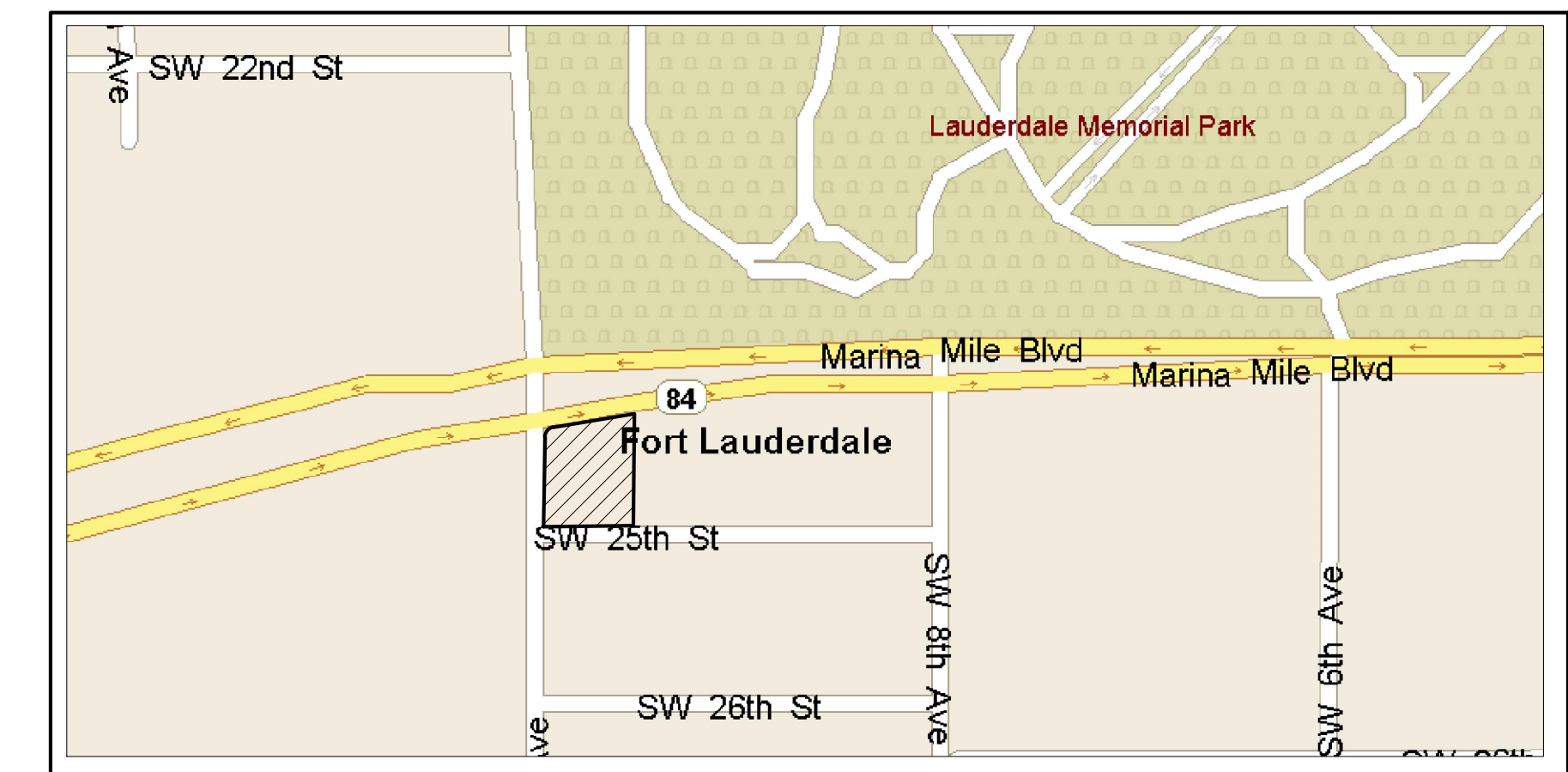
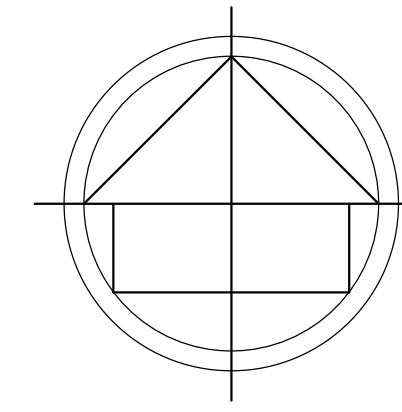
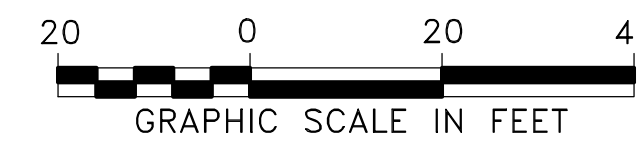
AM Peak: T = 9.57 (X) (55% inbound and 45% outbound), X = 1,000 square feet

PM Peak: T = 9.05 (X) (61% inbound and 39% outbound), X = 1,000 square feet

ATTACHMENT A

**Survey and Site Plan
El Tamarindo Latin Care**

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)

NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 1226498 A1 WITH A 1. COMMITMENT DATE: APRIL 20, 2022 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- BENCHMARK DESCRIPTION : BROWARD COUNTY BENCHMARK #2891 ELEVATION = 5.00' (NAVD88)
- ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

LEGEND:

CBS	CONCRETE BLOCK STRUCTURE
CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
X	CHAIN LINK FENCE/ WOOD FENCE
SIR	SET 5/8" IRON ROD AND CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL AND CAP
A/C	AIR CONDITIONER SLAB
P.B.	PLAT BOOK
-E-	OVERHEAD WIRES
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
ORB	OFFICIAL RECORDS BOOK
BCR	BROWARD COUNTY RECORDS
WM	WATER METER
TSB	TRAFFIC SIGNAL BOX
WPP	WOOD POWER POLE
CPP	CONCRETE POWER POLE
GV	GAS VALVE
R	RADIUS
A	ARC DISTANCE
Δ	CENTRAL ANGLE
5.69	ELEVATIONS

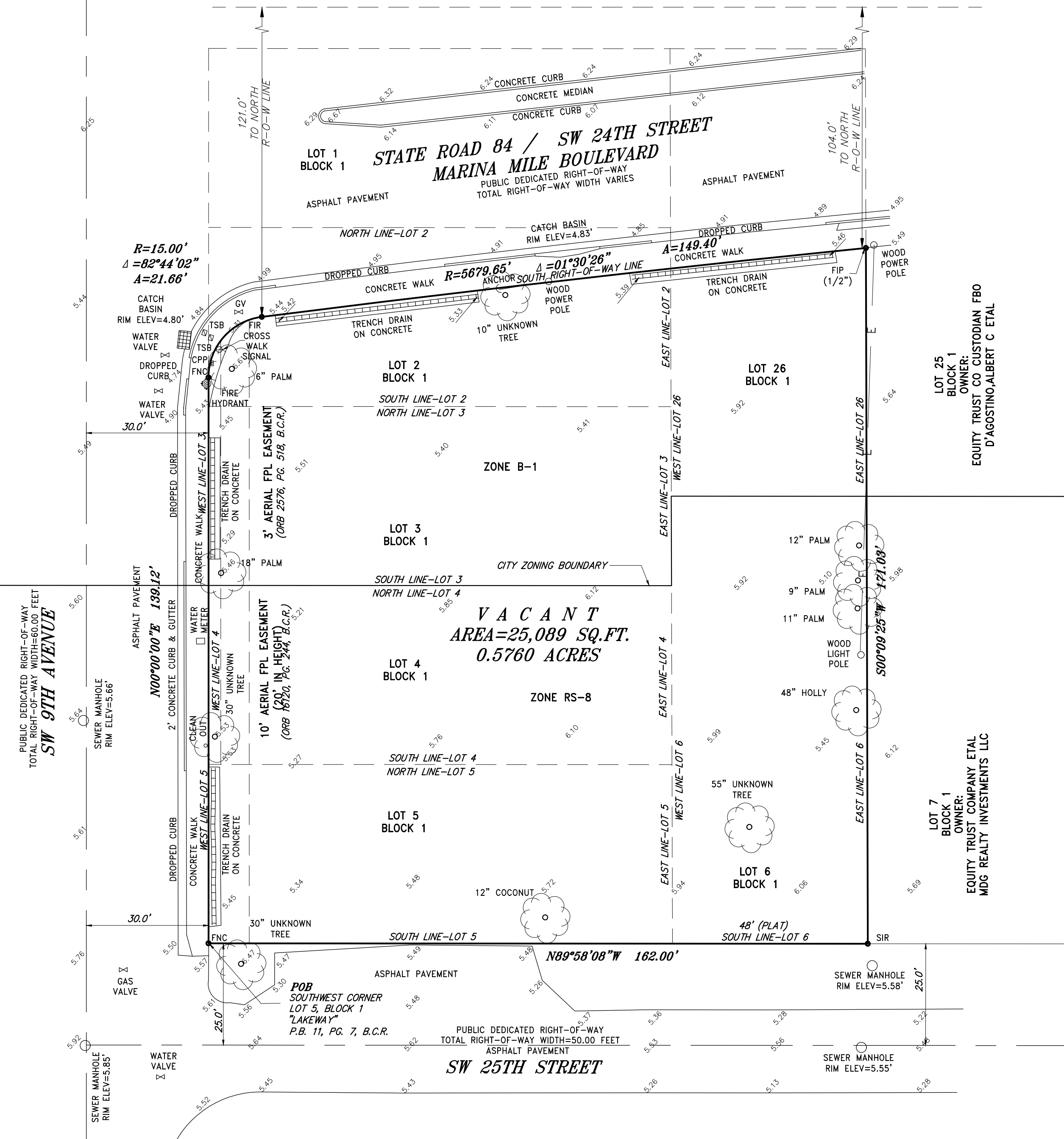
ZONING: B-1 - BOULEVARD BUSINESS

BUILDING SETBACK :	FRONT	5 FEET
	CORNER	5 FEET
	SIDE	ABUTTING RESIDENTIAL DISTRICT 10 FEET
		OTHER 0 FEET
	REAR	ABUTTING RESIDENTIAL DISTRICT 15 FEET
		OTHER 0 FEET

MAXIMUM HEIGHT: 150 FEET

ZONING: RS-8 - RESIDENTIAL

BUILDING SETBACK :	FRONT	25 FEET
	SIDE	MINIMUM 5 FEET UP TO 22 FEET IN HEIGHT
	REAR	15 FEET



LAND DESCRIPTION:

A PORTION OF LOTS 2, 3, 4, 5, 6 AND 26 IN BLOCK 1 OF "LAKEWAY", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SW CORNER OF SAID LOT 5; THENCE RUN NORTH 00°00'00" EAST ALONG THE WEST LINE OF SAID LOTS 5, 4, 3 AND 2 FOR A DISTANCE OF 139.12 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE, CONCAVE TO THE SOUTHEAST; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 82°44'02". FOR AN ARC DISTANCE OF 21.66 FEET TO A POINT OF COMPOUND CURVATURE; THENCE RUN EASTERLY ALONG THE ARC OF SAID COMPOUND CURVE (ALSO BEING THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 84), HAVING A RADIUS OF 5679.65 FEET, THROUGH A CENTRAL ANGLE OF 01°30'26", FOR AN ARC DISTANCE OF 149.40 FEET TO A POINT; THENCE RUN SOUTH 00°09'25" WEST ALONG THE EAST LINE OF SAID LOTS 26 AND 6 FOR A DISTANCE OF 171.03 FEET TO A SE CORNER OF SAID LOT 6; THENCE RUN NORTH 89°58'08" WEST ALONG THE SOUTH LINE OF SAID LOTS 6 AND 5 FOR A DISTANCE OF 162.00 FEET TO A POINT OF BEGINNING.

TITLE EXCEPTIONS

- ALL MATTERS CONTAINED ON THE PLAT OF LAKEWAY, AS RECORDED IN PLAT BOOK 11, PAGE 7, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- EASEMENT WITH FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 2576, PAGE 518, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- EASEMENT WITH FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 16120, PAGE 244, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- REVISED: RESERVATION OF MINERAL RIGHTS CONTAINED IN THE SPECIAL WARRANTY DEED RECORDED AT O.R. BOOK 28923 PAGE 118, O.R. BOOK 46289, PAGE 23 AND INSTRUMENT NUMBER 113982545, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

FLOOD ZONE INFORMATION

COMMUNITY NUMBER	125105
PANEL NUMBER	0559 H
ZONE	AH
BASE FLOOD ELEVATION	6
EFFECTIVE DATE	08/18/14

CERTIFIED TO:

EL TAMARINDO 84, LLC,
NESTOR A. AMAYA, RAFAEL A., AMAYA
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
ATTORNEYS' TITLE FUND SERVICES, LLC
JOSEPH M. WEHBY, P.A.
JOSEPH M. WEHBY, ESQUIRE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (A), (B), (NON SUPPLIED), 7 (A), (B) AND (C), 8, 9, 11, 13, 14, 16 AND 17 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON MAY 06, 2022.

FOR THE FIRM BY: RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766

CLIENT :

LAW OFFICES OF JOSEPH
M. WEHBY, P.A.

840 W STATE ROAD 84
FORT LAUDERDALE, FLORIDA

ALTA/NSPS LAND TITLE SURVEY

REVISIONS				
ALTA/NSPS LAND TITLE SURVEY	DATE	FB/PG	DWN	CKD
REVIEW OF EXAMINATION OF TITLE	04/16/18	----	AM	REC
UPDATE SURVEY	06/06/20	----	JD	REC
UPDATE SURVEY	05/06/22	----	AM	REC
UPDATE PER NEW TITLE COMMITMENT	05/24/22	----	AM	REC

PROJECT NUMBER : 8220-16

SCALE : 1" = 20'

SHEET
1
OF
1
SHEET



Site Address	840 W STATE ROAD 84, FORT LAUDERDALE FL 33315	ID #	5042 22 14 0020
Property Owner	EL TAMARINDO 84 LLC	Millage	0312
Mailing Address	233 STATE ROAD 84 FORT LAUDERDALE FL 33315	Use	10-01
Abbr Legal Description	LAKEWAY 11-7 B PORTION OF LOTS 2 THRU 6 AND 26, BLK 1 DESC AS: BEG SW COR LOT 5, N ALG W/L 139.12 TO P/C, NELY 21.66 TO P/C/C, ELY 149.40, S ALG E/L OF LOTS 26 AND 6 171.03, W 162 TO POB		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2023 values are considered "working values" and are subject to change.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$1,046,640		\$1,046,640	\$1,046,640	
2022	\$627,980		\$627,980	\$627,980	\$12,293.86
2021	\$627,980		\$627,980	\$627,980	\$11,988.24

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,046,640	\$1,046,640	\$1,046,640	\$1,046,640
Portability	0	0	0	0
Assessed/SOH	\$1,046,640	\$1,046,640	\$1,046,640	\$1,046,640
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$1,046,640	\$1,046,640	\$1,046,640	\$1,046,640

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
6/15/2022	WD-Q	\$1,300,000	118220408	\$40.00	26,166	SF
10/5/2016	SWD-D	\$1,050,000	113982545			
5/27/2009	SW*-T	\$100	46289 / 23			
9/4/1998	SW*	\$24,783,450	28923 / 118			
10/28/1994	WD*	\$350,000	23059 / 593			
				Adj. Bldg. S.F.		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						26166		



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
EL TAMARINDO 84, LLC

Filing Information

Document Number	L22000054919
FEI/EIN Number	APPLIED FOR
Date Filed	02/01/2022
Effective Date	01/30/2022
State	FL
Status	ACTIVE

Principal Address

233 STATE ROAD 84
FORT LAUDERDALE, FL 33315

Mailing Address

233 STATE ROAD 84
FORT LAUDERDALE, FL 33315

Registered Agent Name & Address

AMAYA, NESTOR A
233 STATE ROAD 84
FORT LAUDERDALE, FL 33315

Authorized Person(s) Detail**Name & Address**

Title AMBR

AMAYA, NESTOR A
233 STATE ROAD 84
FORT LAUDERDALE, FL 33331

Title AMBR

AMAYA, RAFAEL A
233 STATE ROAD 84
FORT LAUDERDALE, FL 33331

Annual Reports

Report Year	Filed Date
2023	04/12/2023

Document Images

[04/12/2023 -- ANNUAL REPORT](#)

[View image in PDF format](#)

[02/01/2022 -- Florida Limited Liability](#)

[View image in PDF format](#)



Florida Department of State, Division of Corporations