



# DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 01/24/2023

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only complete the sections indicated for application type with N/A for those section items not applicable. Refer to "Specifications for Plan Submittal" by application type for information requirements for submittal. Select the application type and approval level in **SECTION A** and complete the sections specified.

**A APPLICATION TYPE AND APPROVAL LEVEL** *Select the application type from the list below and check the applicable type.*

<p><input type="checkbox"/> <b>LEVEL I</b> ADMINISTRATIVE REVIEW COMMITTEE (ADMIN)</p> <p>New nonresidential less than 5,000 square feet Change of use (same impact or less than existing use) Plat note/Nonvehicular access line amendment Administrative site plan Amendment to site plan* Property and right-of-way applications (MOTs, construction staging) Parking Agreements (separate from site plans)</p> <p><b>COMPLETE SECTIONS B, C, D, G</b></p>	<p><input type="checkbox"/> <b>LEVEL II</b> DEVELOPMENT REVIEW COMMITTEE (DRC)</p> <p>New Nonresidential 5,000 square feet or greater Residential 5 units or more Nonresidential use within 100 feet of residential property Redevelopment proposals Change in use (if great impact than existing use) Development in Regional Activity Centers (RAC)* Development in Uptown Project Area* Regional Activity Center Signage Design Review Team (DRT) Affordable Housing (≥10%)</p> <p><b>COMPLETE SECTIONS B, C, D, E, F</b></p>	<p><input type="checkbox"/> <b>LEVEL III</b> PLANNING AND ZONING BOARD (PZB)</p> <p>Conditional Use Parking Reduction Flex Allocation Cluster / Zero Lot Line Modification of Yards* Waterway Use Mixed Use Development Community Residences* Social Service Residential Facility (SSRF) Medical Cannabis Dispensing Facility* Community Business District for uses greater than 10,000 square feet</p> <p><b>COMPLETE SECTIONS B, C, D, E, F</b></p>	<p><input type="checkbox"/> <b>LEVEL IV</b> CITY COMMISSION (CC)</p> <p>Land Use Amendment Rezoning Plat Public Purpose Use Central Beach Development of Significant Impact* Vacation of Right-of-Way</p> <p>City Commission Review Only <i>(review not required by PZB)</i> Vacation of Easement*</p> <p><b>COMPLETE SECTIONS B, C, D, E, F</b></p>
<p><input type="checkbox"/> <b>EXTENSION</b></p> <p>Request to extend approval date for a previously approved application</p> <p><b>COMPLETE SECTIONS B, C, H</b></p>	<p><input type="checkbox"/> <b>DEFERRAL</b></p> <p>Request to defer after an application is scheduled for public hearing</p> <p><b>COMPLETE SECTIONS B, C, H</b></p>	<p><input type="checkbox"/> <b>APPEAL/DE NOVO</b></p> <p>Appeal decision by approving body De Novo hearing items</p> <p><b>COMPLETE SECTIONS B, C, H</b></p>	<p><input type="checkbox"/> <b>PROPERTY AND ROW ITEM</b></p> <p>Road closures Construction staging plan Revocable licenses</p> <p><b>COMPLETE SECTIONS B, C, E</b></p>

\*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

**B APPLICANT INFORMATION** *If applicant is the business operator, complete the agent column and provide property owner authorization.*

Applicant/Property Owner		Authorized Agent	
Address		Address	
City, State, Zip		City, State, Zip	
Phone		Phone	
Email		Email	
Proof of Ownership		Authorization Letter	
<b>Applicant Signature:</b>		<b>Agent Signature:</b>	<i>Jason S. Crush</i>

**C PARCEL INFORMATION** **D LAND USE INFORMATION**

Address/General Location		Existing Use	
Folio Number(s)		Land Use	
Legal Description <i>(Brief)</i>		Zoning	
City Commission District		Proposed <i>Applications requesting land use amendments and rezonings.</i>	
Civic Association		Proposed Land Use	
		Proposed Zoning	

**E PROJECT INFORMATION** *Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.*

Project Name														
Project Description <i>(Describe in detail)</i>														
Estimated Project Cost	\$	<i>(Estimated total project cost including land costs for all new development applications only)</i>												
Affordable Housing Number of Units		30%		50%		60%		80%		100%		120%		140%



<b>Waterway Use</b>					
<b>Flex Units Request</b>					
<b>Commercial Flex Acreage</b>					
<b>Residential Uses</b>					
Single Family					
Townhouses					
Multifamily					
Cluster/Zero Lot Line					
Other					
<b>Total (dwelling units)</b>					
<b>Unit Mix (dwelling units)</b>	<table border="1"> <tr> <td>Studio or Efficiency</td> <td>1- Bedroom</td> <td>2- Bedroom</td> <td>3+ Bedroom</td> </tr> </table>	Studio or Efficiency	1- Bedroom	2- Bedroom	3+ Bedroom
Studio or Efficiency	1- Bedroom	2- Bedroom	3+ Bedroom		

<b>Traffic Study Required</b>	
<b>Parking Reduction</b>	
<b>Public Participation</b>	
<b>Non-Residential Uses</b>	
Commercial	
Restaurant	
Office	
Industrial	
Other	
<b>Total (square feet)</b>	

**F PROJECT DIMENSIONAL STANDARDS** *Indicate all required and proposed standards for the project. Circle yes or no where indicated.*

	Required Per ULDR	Proposed	
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
SETBACKS (Indicate direction N,S,E,W)	Required Per ULDR	Proposed	
Front [ ]			
Side [ ]			
Corner / Side [ ]			
Rear [ ]			
<i>For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.</i>			
Tower Stepback	Required Per ULDR	Proposed	Deviation
Front / Primary Street [ ]			
Sides / Secondary Street [ ]			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			

**G AMENDED PROJECT INFORMATION** *Provide approved and proposed amendments for project. Circle yes or no where indicated.*

<b>Project Name</b>			
<b>Proposed Amendment Description</b> <i>(Describe in detail)</i>			
	Original Approval	Proposed Amendment	Amended
Residential Uses <i>(dwelling units)</i>			
Non-Residential Uses <i>(square feet)</i>			
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			

**H EXTENSION, DEFERRAL, APPEAL INFORMATION** *Provide information for specific request. Circle approving body and yes or no.*

<b>Project Name</b>						
<b>Request Description</b>						
EXTENSION REQUEST		DEFERRAL REQUEST		APPEAL REQUEST / DE NOVO HEARING		
Approving Body		Approving Body		Approving Body		
Original Approval Date		Scheduled Meeting Date		30 Days from Meeting <i>(Provide Date)</i>		
Expiration Date <i>(Permit Submittal Deadline)</i>		Requested Deferral Date		60 Days from Meeting <i>(Provide Date)</i>		
Expiration Date <i>(Permit Issuance Deadline)</i>		Previous Deferrals Granted		Appeal Request		



<b>Requested Extension</b> <i>(No more than 24 months)</i>		<b>Justification Letter Provided</b>		<b>Indicate Approving Body Appealing</b>	
<b>Code Enforcement</b> <i>(Applicant Obtain by Code Compliance Division)</i>				<b>De Novo Hearing Due to City Commission Call-Up</b>	

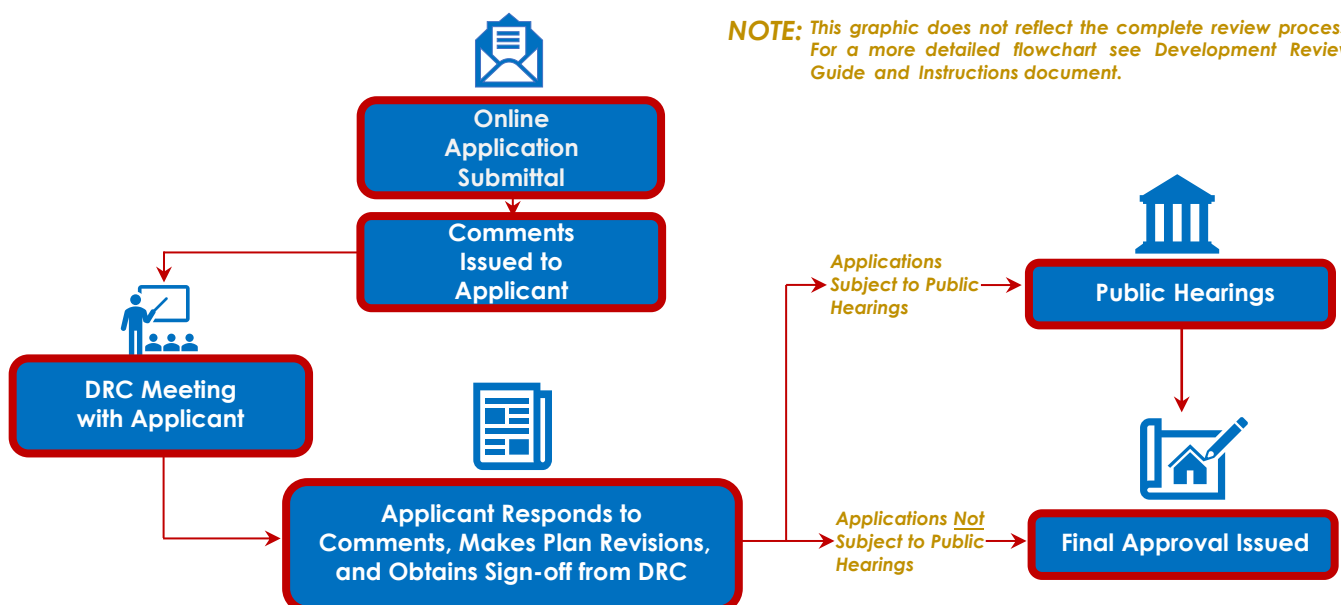
**CHECKLIST FOR SUBMITTAL AND COMPLETENESS:** The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

- Preliminary Development Meeting** completed on the following date: PROVIDE DATE
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** applicant contact David Goodrum at 954-828-5976 or [DGGoodrum@fortlauderdale.gov](mailto:DGGoodrum@fortlauderdale.gov)
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

**OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS:** Submittals must be conducted through the City's online citizen access portal [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delays in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.

**DRC PROCESS OVERVIEW:** The entire development review process flowchart can be found in the [Development Application Guide and Instructions](#) document. Below is a quick reference flowchart with key steps in the process to guide applicants.



**CONTACT INFORMATION:** Questions regarding the development process or LauderBuild, see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS	
Planning Counter 954-828-6520, Option 5 <a href="mailto:planning@fortlauderdale.gov">planning@fortlauderdale.gov</a>	

LAUDERBUILD ASSISTANCE AND QUESTIONS	
DSD Customer Service 954-828-6520, Option 1 <a href="mailto:lauderbuild@fortlauderdale.gov">lauderbuild@fortlauderdale.gov</a>	





SIGN PERMIT FOR:

# PARK PLAZA

600 SE 2nd. COURT, FORT LAUDERDALE, FLORIDA 33301



NOTE:  
SIGN PERMIT ONLY

OWNER:  
LAS OLAS COMPANY

### ARCHITECTURAL SIGN PERMIT SET

		ORIGINAL
CS-1	COVER SHEET & LOCATION MAP	1/25/2024
AS-1.0	ROOF / SITE KEY PLAN	1/25/2024
AS-2.0a	SIGN ELEVATIONS	1/25/2024
AS-2.0b	SIGN ELEVATIONS	1/25/2024
AS-2.1	SIGN 1 DETAILS	1/25/2024
AS-2.2	SIGN 2 DETAILS	1/25/2024
AS-2.3	SIGN 3 DETAILS	1/25/2024
AS-2.4	SIGN 4 DETAILS	1/25/2024

### ARCHITECT:

ARCHITECTURAL ALLIANCE  
612 S.W. 4th AVENUE  
FORT LAUDERDALE, FL. 33315

PROJECT MANAGER:  
MARCIO MAGDALENO  
PHONE (954) 764-8858 EXT. 19  
mmagdaleno@archall.net



**ARCHITECTURAL ALLIANCE**  
ARCHITECTURE  
ALLIANCE  
612 SW 4th AVENUE FORT LAUDERDALE  
FLORIDA 33301 (954) 764-8858  
WWW.ARCHITECTURALALLIANCE.COM

5601  
Pete M Eberole  
Pete Meador Eberole  
A R O 1 1 6 3 6  
revision dates

project name

P A R K P L A Z A

FOR :

P A R K P L A Z A

600 SE 2nd. COURT

FORT LAUDERDALE, FLORIDA 33301

SIGN PERMIT

FOR :

P A R K P L A Z A

600 SE 2nd. COURT

FORT LAUDERDALE, FLORIDA 33301

sheet description

COVER SHEET

release date

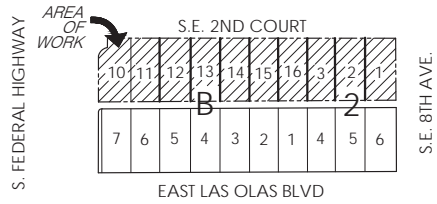
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drawing number

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### BLOCK PLAN

N.T.S.



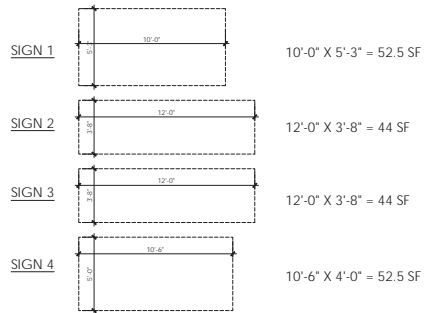
#### SIGNAGE AREA CALCULATION:

WEST ELEVATION AREA: 2,639.0 SF  
 SOUTH ELEVATION AREA: 2,484.0 SF  
 EAST ELEVATION AREA: 2,556.0 SF  
 NORTH ELEVATION AREA: 1,966.0 SF

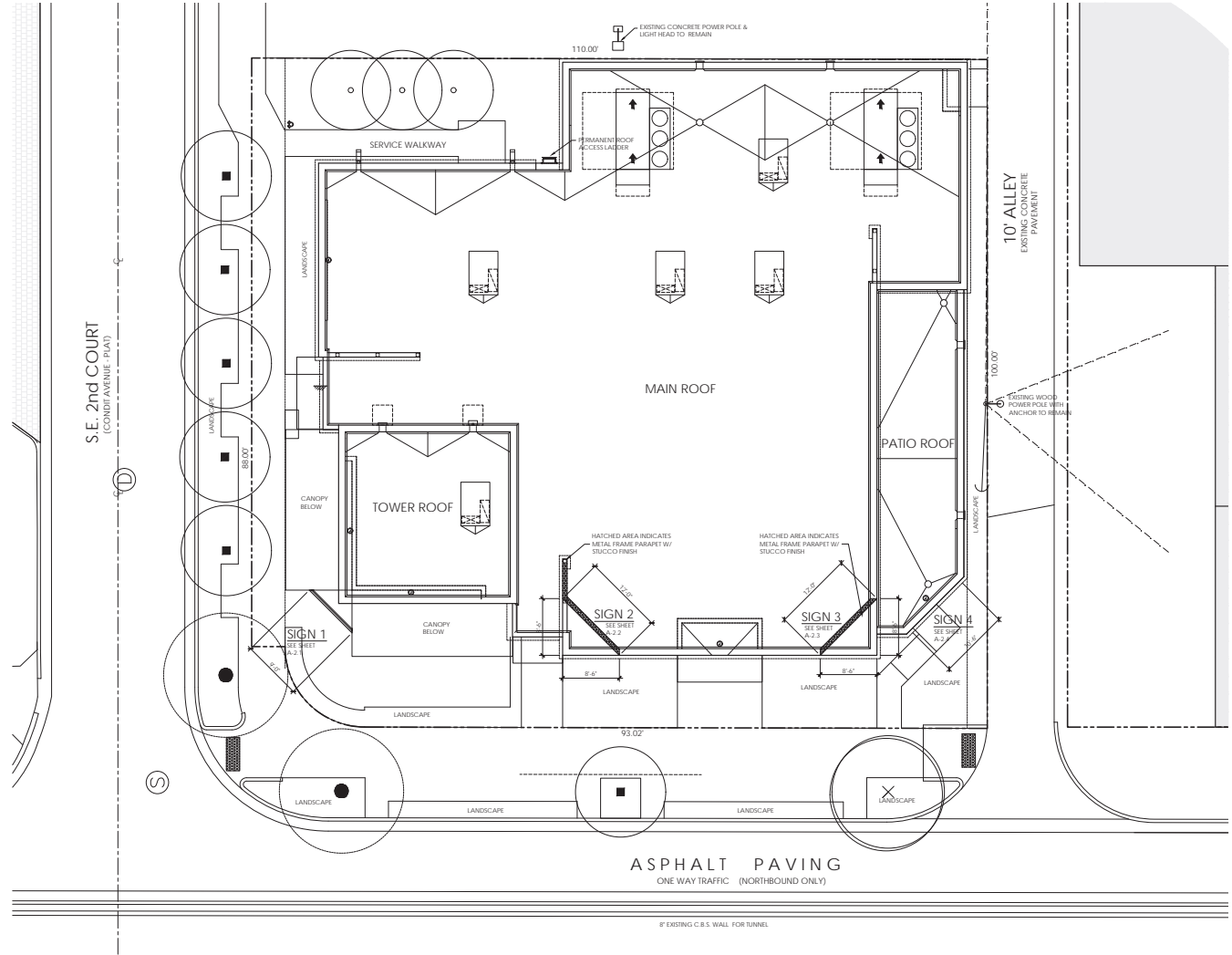
TOTAL AREAS: 9,645.0 SF

SIGNAGE TOTAL AREA ALLOWED = 9,645.0 SF X 10% = 964.5 SF

#### SIGNAGE AREA:



SIGNAGE TOTAL AREA PROVIDED = 193 SF



### ROOF / SITE KEY PLAN

SCALE: 1/8" = 1'-0"



**ARCHITECTURAL ALLIANCE**  
 ARCHITECTURE  
 412 SW 4th AVENUE FORT LAUDERDALE  
 FLORIDA 33301 PH: 954-777-2884  
 FAX: 954-777-2884 EMAIL: info@aafla.com

5601  
 Pete M. Eberhart

Pete Meador Eberhart  
 A R O O 1 1 6 3 6  
 revision dates

project name

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sheet description

ROOF / SITE KEY PLAN

release date

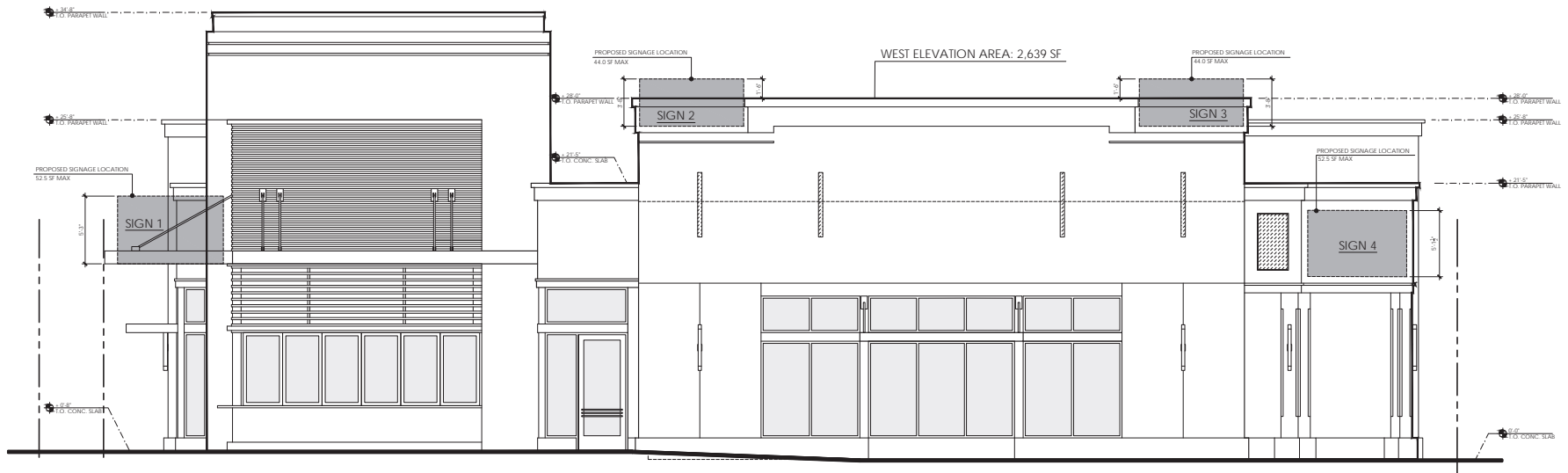
1-25-2024

project number

10106 L

drawing number

**AS-1.0**



WEST ELEVATION SIGNAGE AREA SCHEME

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION SIGNAGE AREAS SCHEME

SCALE: 1/4" = 1'-0"



**ARCHITECTURAL ALLIANCE**  
ARCHITECTURE  
A A 1 5 2 3 1 4 4

412 SW 4th AVENUE FORT LAUDERDALE  
FLORIDA 33301  
PHONE: 352-379-7000  
FAX: 352-379-7004  
WWW.AAARCHITECTURE.COM  
5601

Pete Meador Eberhart  
A R 0 0 1 1 6 3 6  
revision dates

project name

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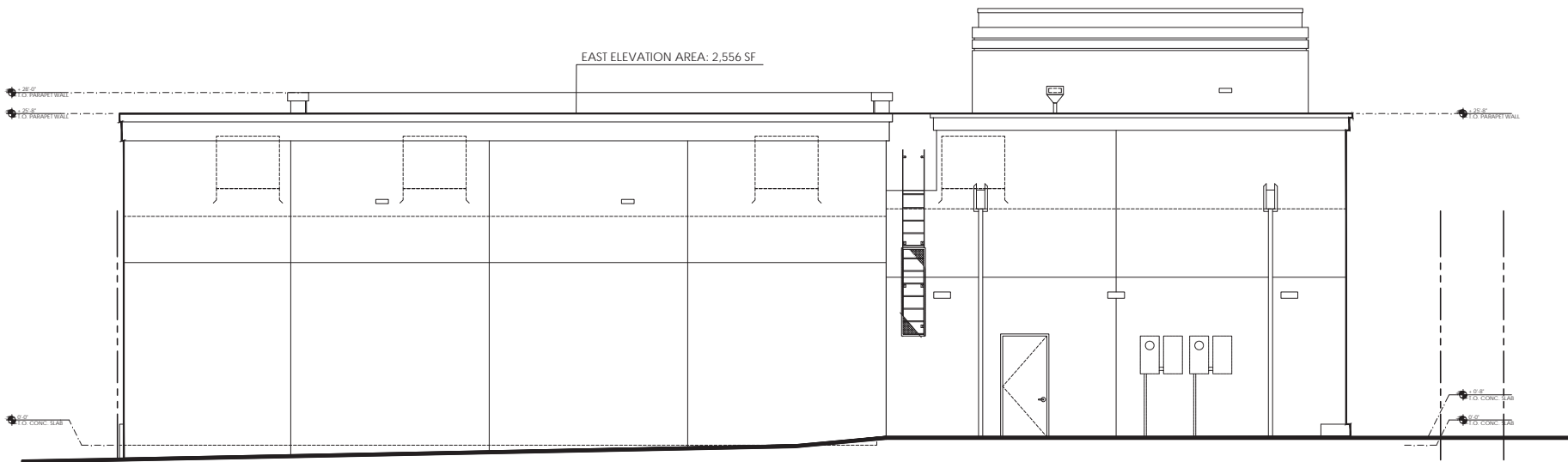
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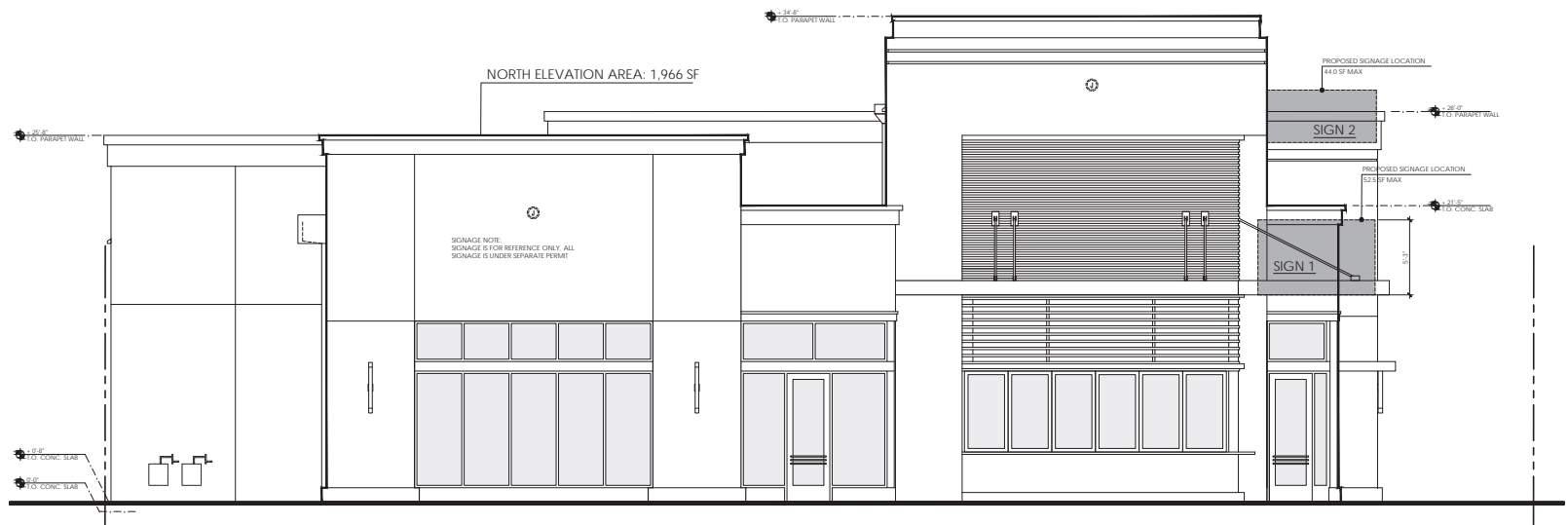
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AS-2.0



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



**ARCHITECTURAL ALLIANCE ARCHITECTURE**  
 412 SW 4th AVENUE FORT LAUDERDALE  
 FLORIDA 33301-7900 TEL: 784  
 624-1234 FAX: 784-624-1234



**Pete M. Eberole**  
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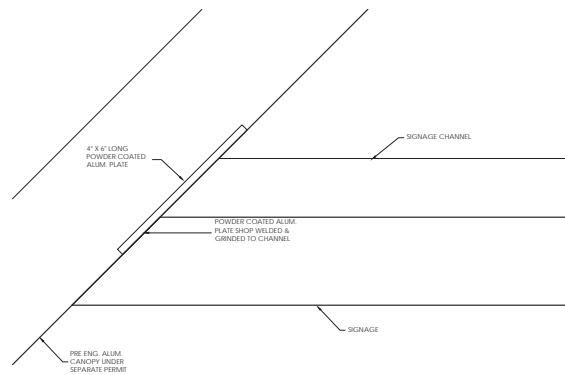
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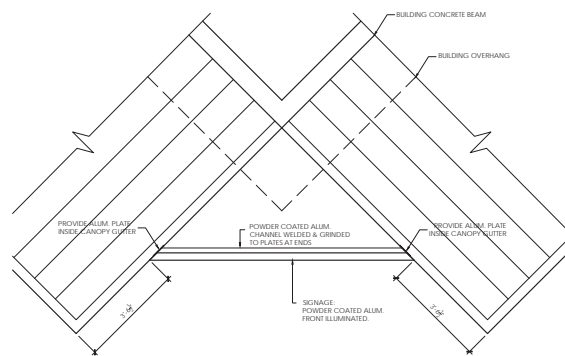
**AS-2.1**





**SIGN ATTACHMENT DETAIL**

SCALE: 6" = 1'-0"

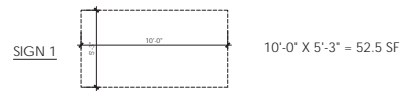


**SIGN-1 PLAN**

SCALE: 1/2" = 1'-0"

**SIGN-1 SPECIFICATIONS:**

- SIGNAGE SIZE: 9'-0" X 5'-0"  
SIGNAGE AREA: 45 S.F.  
COLOR: LETTERS: YELLOW - PANTONE 110 C  
BOXES: BLACK - PANTONE ALUMINUM & ACRYLIC  
MATERIALS: LED PANEL CUT TO LETTER SIZE  
LIGHTING DETAILS: SEE ATTACHED  
MOUNTING DETAILS:

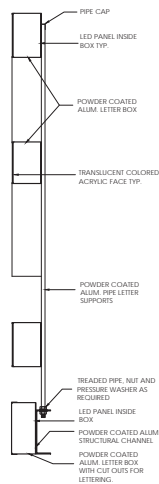


**SIGNAGE SIZE ALLOWED**



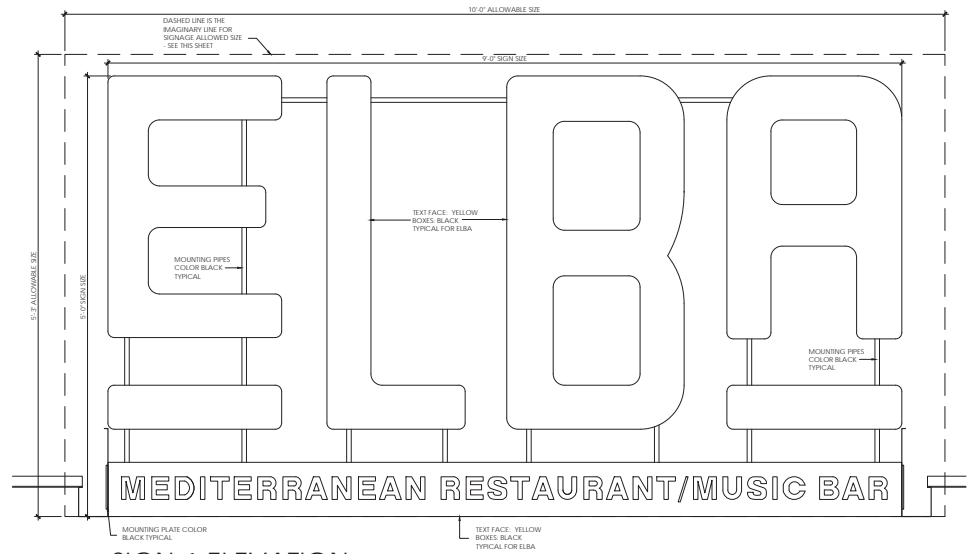
**NORTHWEST SIGN-1 ELEVATION**

SCALE: 1/4" = 1'-0"



**SIGN-1 SECTION 1**

SCALE: 1 1/2" = 1'-0"



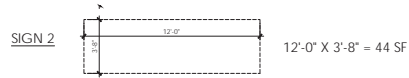
**SIGN-1 ELEVATION**

SCALE: 1 1/2" = 1'-0"

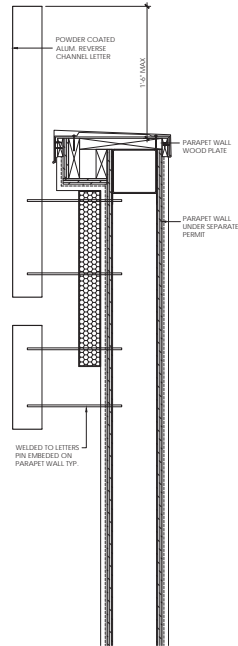
MEDITERRANEAN RESTAURANT/MUSIC BAR

**SIGN-2 SPECIFICATIONS:**

SIGNAGE SIZE: 7'-8" X 3'-8"  
 SIGNAGE AREA: 28.2 S.F.  
 COLOR: WOLF: ORANGE - PANTONE 138 C  
 LETTERS: WHITE - PANTONE  
 MATERIALS: ALUMINUM  
 LIGHTING DETAILS: SPOT LIGHT MOUNTED INSIDE FACE OF PARAPET WALL  
 MOUNTING DETAILS: WALL MOUNTED WITH STAND OFF PINS

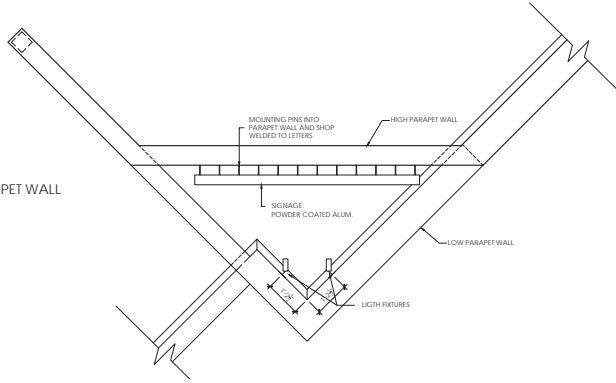


**SIGNAGE SIZE ALLOWED**



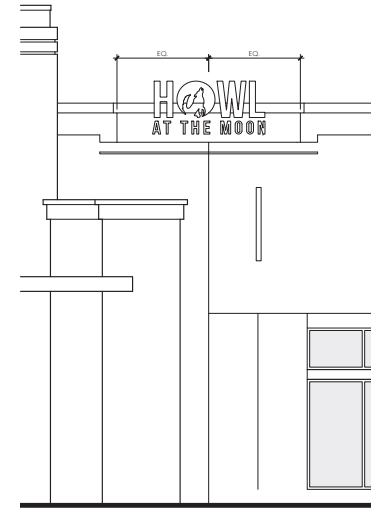
**SIGN-2 SECTION 1**

SCALE: 1 1/2" = 1'-0"



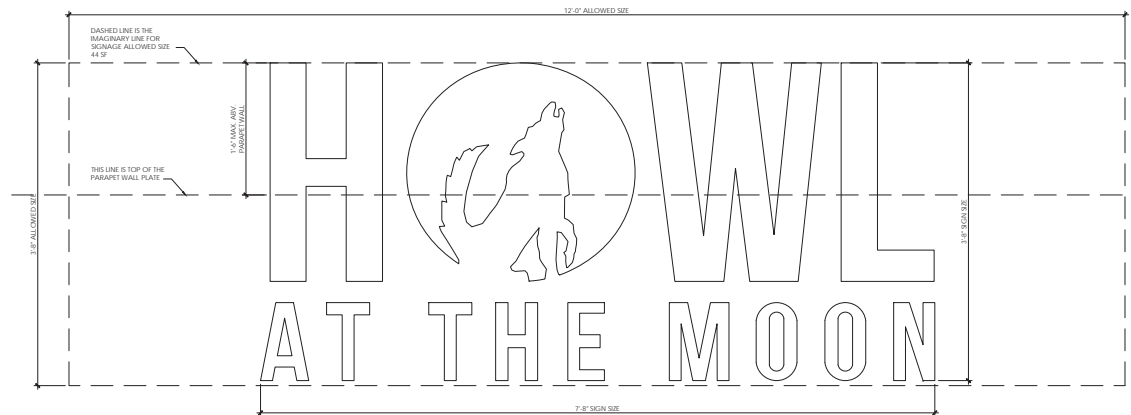
**SIGN-2 PLAN**

SCALE: 1/2" = 1'-0"



**NORTHWEST SIGN-2 ELEVATION**

SCALE: 1/4" = 1'-0"



**SIGN-2 ELEVATION**

SCALE: 1 1/2" = 1'-0"



**ARCHITECTURAL ALLIANCE ARCHITECTURE**  
 412 SW 4th AVENUE FORT LAUDERDALE FLORIDA 33301  
 954.353.1144



**Pete Meador Eberhart**  
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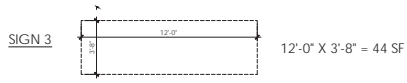
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FOR :  
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 FORT LAUDERDALE, FLORIDA 33301  
 sheet description  
 SIGN #2 DETAILS  
 release date  
 1-25-2024  
 project number  
 10106 L  
 drawing number

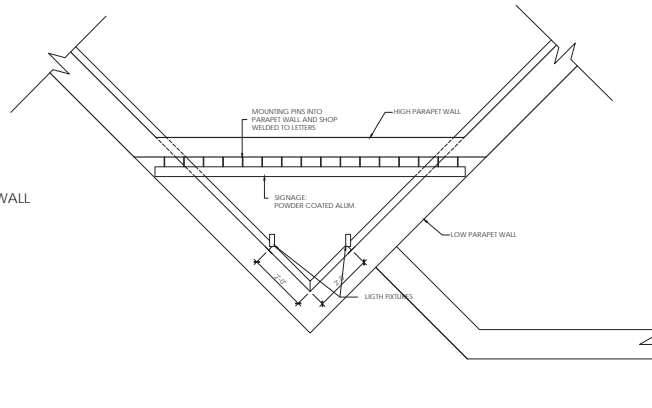
**AS-2.2**

**SIGN-3 SPECIFICATIONS:**

**SIGNAGE SIZE:** 10'-6" X 3'-8"  
**SIGNAGE AREA:** 38.5 S.F.  
**COLOR:** LETTERS: YELLOW - PANTONE 110 C  
 BOXES: BLACK - PANTONE  
**MATERIALS:** ALUMINUM  
**LIGHTING DETAILS:** SPOT LIGHT MOUNTED INSIDE FACE OF PARAPET WALL  
**MOUNTING DETAILS:** WALL MOUNTED WITH STAND OFF PINS

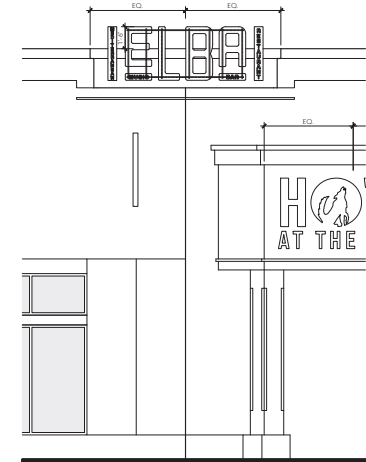


**SIGNAGE SIZE ALLOWED**



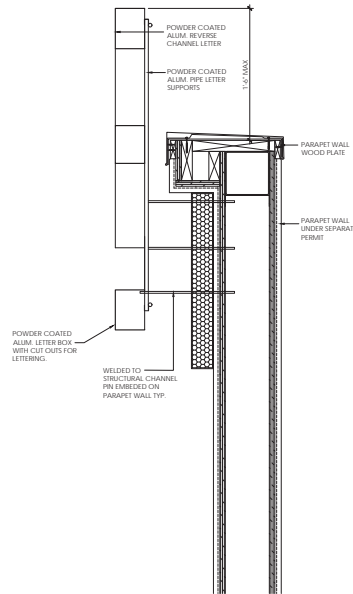
**SIGN-3 PLAN**

SCALE: 1/2" = 1'-0"



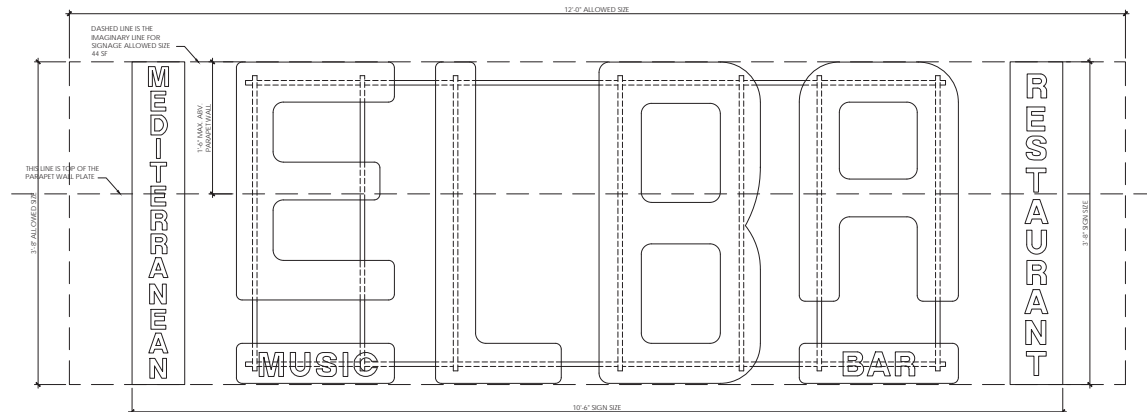
**SOUTHWEST SIGN-3 ELEVATION**

SCALE: 1/4" = 1'-0"



**SIGN-3 SECTION 1**

SCALE: 1 1/2" = 1'-0"



**SIGN-3 ELEVATION**

SCALE: 1 1/2" = 1'-0"



**ARCHITECTURAL ALLIANCE ARCHITECTURE**

412 SW 4th AVENUE FORT LAUDERDALE  
 FLORIDA 33301-7900 TEL: 754-288-  
 8141 FAX: 754-288-1431

5601



**Pete Meador Eberole**  
 A R O O 1 1 6 3 0 1  
 revision dates

project name

**S I G N P E R M I T F O R :**  
**P A R K P L A Z A**  
 6 0 0 S E 2 n d . C O U R T  
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sheet description

SIGN #3 DETAILS

release date

1-25-2024

project number

10106 L

drawing number

**AS-2.3**

**SIGN-4 SPECIFICATIONS:**

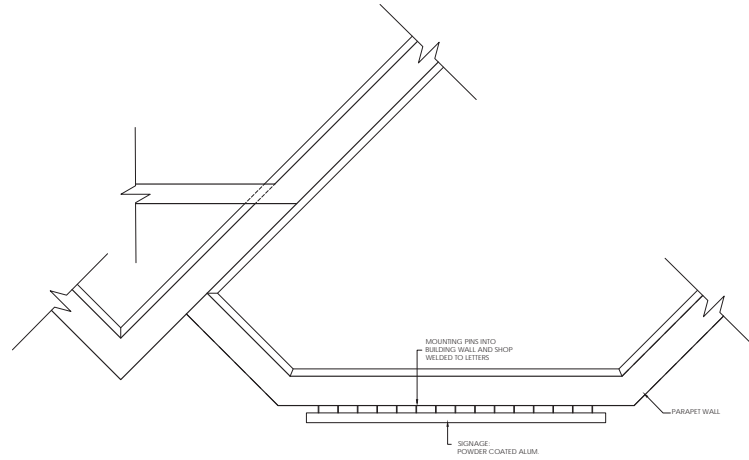
SIGNAGE SIZE: 10'-3" X 4'-10"  
 SIGNAGE AREA: 49.5 S.F.  
 COLOR: WOLF: ORANGE - PANTONE 138 C  
 LETTERS: WHITE - PANTONE  
 MATERIALS: ALUMINUM  
 LIGHTING DETAILS: LETTERS BACK LID  
 MOUNTING DETAILS: WALL MOUNTED WITH STAND OFF PINS

SIGN 4



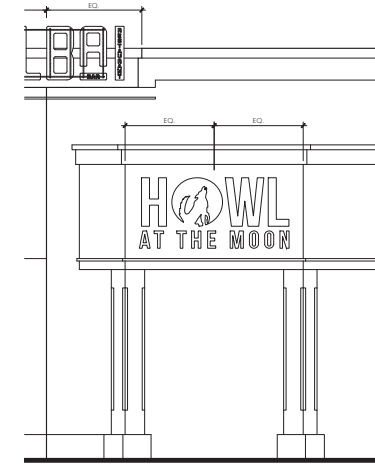
10'-6" X 4'-0" = 52.5 SF

**SIGNAGE SIZE ALLOWED**



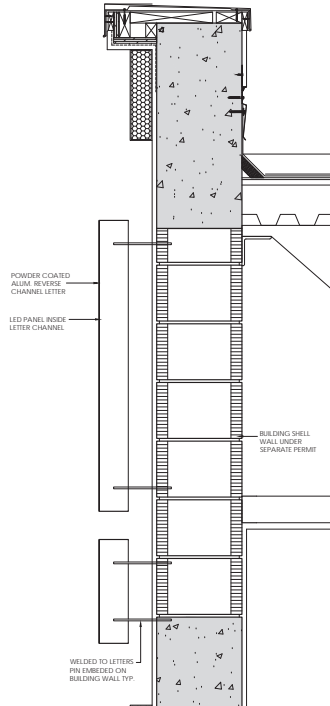
**SIGN-4 PLAN**

SCALE: 1/2" = 1'-0"



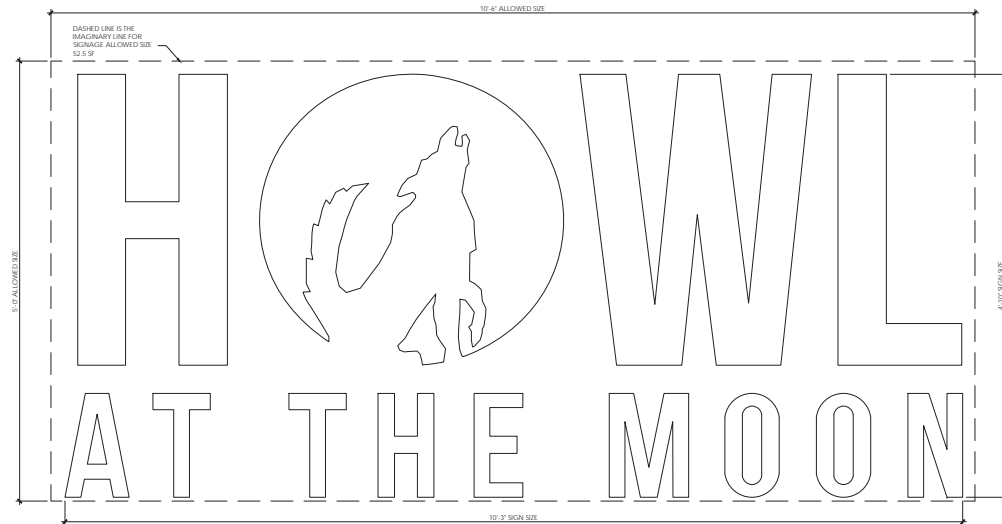
**SOUTHWEST SIGN-4 ELEVATION**

SCALE: 1/4" = 1'-0"



**SIGN-4 SECTION 1**

SCALE: 1 1/2" = 1'-0"



**SIGN-4 ELEVATION**

SCALE: 1 1/2" = 1'-0"



**ARCHITECTURAL ALLIANCE**  
 ARCHITECTURE  
 412 SW 4th AVENUE FORT LAUDERDALE  
 FLORIDA 33301-2900  
 PHONE: 954-371-2800  
 FAX: 954-371-2801  
 WWW: ARCHITECTURALALLIANCE.COM



Pete Meador Eberhart  
 A R O O 1 1 6 3 6  
 revision dates

project name

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**4**

FOR :  
 PERMIT  
 SIGNAGE  
 FORT LAUDERDALE, FLORIDA 33301

sheet description

SIGN #4 DETAILS

release date

1-25-2024

project number

10106 L

drawing number

**AS-2.4**

**Park Plaza Sign  
600 SE 2<sup>nd</sup> Court  
DRC Narrative**

The PAWACQCO Holdings, LLC, (the “Applicant”) proposes to install four signs along the newly developed Park Plaza building located at 600 SE 2<sup>nd</sup> Court (the “Property”), in the City of Fort Lauderdale (“City”). Park Plaza has a trafficway on four sides -- SE 6<sup>th</sup> Avenue, SE 2<sup>nd</sup> Court, an alleyway to the south, and its parking lot to the east. The Property is located in the RAC-EMU zoning district.

**Sec. 47-22.2.A.29 - Definitions.**

*Vehicle travelway: Any alley or parking space way twenty (20) feet or more in width.* Unified Land Development Regulations (“ULDR”) Section 47-13.20 allows signs in Downtown RAC districts pursuant to the requirements provided in Section 47-22.4.C.13.

The Property is located on four trafficways and therefore is permitted four signs. However, due to the proximity to the tunnel top park along SE 6<sup>th</sup> Avenue the Applicant is requesting to place two of the permitted four signs on and extending eighteen (18) inches above the parapet where the code requires no greater than eighteen (18) inches above the wall upon which it is placed – which the City has interpreted to mean the roof (Signs # 2 & #3 on Sheet AS-2.0).

Additionally, to place one of the three signs on top of the northwestern canopy where the code requires no greater than eighteen (18) inches above the wall upon which it is placed, and the top of the canopy is interpreted as the “roof” (Sign # 1 on Sheet AS-2.0) The fourth sign on the southwestern wall meets the ULDR sign code (Sign # 4 on Sheet AS-2.0). All of the proposed signs meet all other requirements of the ULDR sign code.

**Sec. 47-13.20. - Downtown RAC review process and special regulations.**

G. *Signs. Sign requirements are:*

1. *Downtown RAC district signs shall be as permitted in the central beach area zoning district pursuant to Section **47-22.4.C.13**, except that message center signs and time and temperature signs shall be permitted, as provided in Section 47-22, Sign Requirements.*

ULDR Section 47-22.4. provides the following:



**Sec. 47-22.4. - Maximum number of signs at one location and special requirements in zoning districts.**

Number of Streets or Vehicle Travelways	Maximum Number of Signs
Four (4) streets or one (1) travelways	Four (4) signs, no more than two (2) being freestanding signs

The Applicant is not requesting additional signage. The Applicant is proposing four unique and inviting signs, as permitted by code.

**Sec. 47-22.4.C. – Special regulations.**

.....

C. *Special regulations. The following special regulations shall apply in the zoning districts indicated and shall prevail over any conflicting regulations contained in the ULDR:*

13. *In the Central Beach Districts, as described in Section 47-12, and in the Regional Activity Center (RAC) Districts, as described in Section 47-13, all signs shall comply with the following:*

d. *Flat signs shall be permitted and shall be limited as follows:*

iv. *A flat sign is a painted sign or any sign erected flat against the face of, or not more than eighteen (18) inches from the face of the outside wall of any building and not extending more than eighteen (18) inches above the wall upon which it is placed and supported throughout its length by such wall. No protruding portion of such sign shall be nearer than nine (9) feet to a walk or any area where there is pedestrian traffic; nor shall it extend beyond the wall in a horizontal direction; provided, however, that a sign placed on a mansard fascia shall be permitted to be erected vertically if the bottom section of this sign does not extend more than eighteen (18) inches from the mansard fascia.*

Two of the four proposed signs for the commercial tenants – Howl at the Moon and Elba Mediterranean Restaurant – are proposed along the building’s parapet at the corner of the alley to the south and SE 6<sup>th</sup> and midblock along SE 6<sup>th</sup> Street. The placement for these signs provides visibility for pedestrians on Las Olas; from Tunnel Top Park; and from US-1. Since the two proposed signs are above eighteen (18) -

inches allowed to extend above the “roof”, those signs are classified as non-permitted signs and relief is sought. Additionally, Sign #1 proposed on the top of the canopy seeks relief from the requirements of the ULDR. Section 47-22.4.C.13.I provides for a DRC review process to evaluate the proposed sign for approval.

**Sec. 47-22.4.C.13.I. Site Plan Level II review.**

- I. When any sign is proposed to be constructed or erected which does not comply in all respects with the requirements for signs in the Central Beach Districts and in the Regional Activity Center (RAC) Districts, then such signs shall only be permitted when reviewed as a Site Plan Level II permit subject to a fifteen (15) day period for Commission Request for Review (CRR).*

Pursuant to Section 47-22.4.C.13.I, the Applicant seeks approval to provide two of the four permitted signs on the building parapet above the “eighteen 18-inch” interpreted requirement and one of the signs atop the canopy above the interpreted “roof” definition pursuant to ULDR Section Sec. 47-22.4.c.13.D.iv. As can be seen in the renderings, sign specifications; and placement diagrams, the proposed signs are not only welcoming and attractive, but appropriately designed for the commercial tenants to afford the necessary advertising of their businesses.

As such, the Applicant respectfully requests approval of the proposed signage on this new construction building.



# CITY OF FORT LAUDERDALE

DEPARTMENT OF SUSTAINABLE DEVELOPMENT • BUILDING SERVICES DIVISION

## ADDRESS VERIFICATION

CONTACT: Devon Anderson  
Phone: 954-828-5233  
Email: DAnderson@fortlauderdale.gov

PROJECT ADDRESS: 600 SE 2 CT, 33301

PREVIOUS ADDRESS: 600 SE 2 CT, 33301

NOTES: NEW RESTAURANT

ZONING: RAC-EMU

FOLIO #: 504210540350

LEGAL DESCRIPTION: MRS ELVA A TRUAX SUB BLK 49 FT LAUDERDALE 3-23 D  
LOTS 45 & 46 BLK 49

DRC #: \_\_\_\_\_

AUTHORIZED SIGNATURE:  \_\_\_\_\_

DATE: 06/23/2022



<b>Site Address</b>	<b>600 SE 2 COURT, FORT LAUDERDALE FL 33301</b>	<b>ID #</b>	5042 11 13 0060
<b>Property Owner</b>	PAWACQCO HOLDINGS 5 LLC	<b>Millage</b>	0312
<b>Mailing Address</b>	600 SAGAMORE RD FORT LAUDERDALE FL 33301	<b>Use</b>	18-01
<b>Abbr Legal Description</b>	EDGEWATER ADD CORR PLAT 2-73 D LOT 10 LESS ST & LOT 11, BLK B		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

\* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$763,630		\$763,630	\$763,630	
2023	\$763,630	\$2,907,360	\$3,670,990	\$3,670,990	\$73,364.41
2022	\$763,630	\$2,741,070	\$3,504,700	\$3,504,700	\$68,951.07

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$763,630	\$763,630	\$763,630	\$763,630
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$763,630	\$763,630	\$763,630	\$763,630
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$763,630	\$763,630	\$763,630	\$763,630

Sales History			
Date	Type	Price	Book/Page or CIN
10/26/2018	TD*-T		115500060
2/14/2013	D*-T	\$100	111335129
1/3/2008	SW*-D	\$3,800,000	45012 / 1219
1/27/2004	TD*	\$2,425,000	36854 / 2
1/27/2000	QC*	\$100	30237 / 564

Land Calculations		
Price	Factor	Type
\$70.00	10,909	SF
<b>Adj. Bldg. S.F.</b>		

\* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F2		
C								
10233						10909		