

CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE



CASE COMMENT REPORT

CASE NO. UDP-S24006



CITY OF FORT LAUDERDALE



CASE INFORMATION

CASE:	UDP-S24006
MEETING DATE:	February 27, 2024
REQUEST:	Site Plan Level II Review: Mixed-Use Development with 36 Multifamily Residential Units and 1,164 Square-Feet of Commercial Use in Northwest Regional Activity Center
APPLICANT:	Fort Lauderdale Community Redevelopment Agency
AGENT:	Andrew Schein, Lochrie & Chakas, P.A.
PROJECT NAME:	The Laramore
PROPERTY ADDRESS:	1620 NW 6th Court
ZONING DISTRICT:	Northwest Regional Activity Center-Mixed Use west (NWRAC-MUw)
LAND USE:	Northwest Regional Activity Center
COMMISSION DISTRICT:	3 - Pamela Beasley-Pittman
NEIGHBORHOOD ASSOCIATION:	Durrs Community Association
CASE PLANNER:	Adam Schnell

RESUBMITTAL INFORMATION

- Applicants must provide written responses to all DRC comments contained herein.
- Written responses must specify revisions made to the plans and indicate the sheet.
- Resubmitted plan sets must be accompanied by responses to be accepted.
- Any additional documentation must be provided at time of resubmittal.
- Resubmittals must be conducted through the City’s online citizen’s portal LauderBuild.
- Questions can be directed to the Case Planner assigned to the case.



Case Number: UDP-S24006

CASE COMMENTS:

Please provide a response to the following:

1. Show provisions for either open or closed interior parking per sections 406.5 or 406.6 of the 2023 FBC.
2. Show allowable height, allowable number of stories, and allowable area compliance per Chapter 5 of the 2023 FBC.
3. Specify fire-resistance rating requirements based on building separation and construction type per Table 601 and 602 of the 2023 FBC.
4. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2023 FBC.
5. Designate Fair Housing Provisions per 2023 FBC Accessibility volume.
6. Dimension accessibility requirements to site per FBC Accessibility Code
7. Show that exits stairways discharge directly to the exterior of the building leading to the public way FBC 1028.
8. Provide accessible route connecting handicap parking spaces to accessible building entrances per FBC Accessibility volume.
9. Show that the openings in the exterior walls adjacent to the west property line meet the requirements of Table 705.8 of the 2023 FBC.

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at:

- a. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



Case Number: UDP-S24006 (The Laramore – 1620 NW 6th Court)

CASE COMMENTS:

Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:

1. Provide 10' permanent Right-of-Way Easement or dedication along East side of NW 17th Ave. to complete half of 50' Right-of-Way section. Show / label delineation in the plans.
2. Provide 10' permanent Right-of-Way Easement or dedication along South side of NW 6th Court, to complete half of 50' Right-of-Way section. Show / label delineation in the plans.
3. Provide permanent Sidewalk Easement as appropriate along East side of NW 17th Ave to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication (per Northwest RAC Master Plan guidelines as appropriate); show / label delineation in the plans.
4. Provide permanent Sidewalk Easement as appropriate along South side of NW 6th Court to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication (per Northwest RAC Master Plan guidelines as appropriate); show / label delineation in the plans.
5. Provide permanent Sidewalk Easement as appropriate along North side of Sistrunk Boulevard/NW 6th Street to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication (per Northwest RAC Master Plan guidelines as appropriate); show / label delineation in the plans.
6. Provide 10' x 15' (min.) permanent water Easement for any 4 Inch or larger water meter located within the proposed development (for City Maintenance access); show / label delineation in the plans as appropriate.
7. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>
8. Provide a current signed and sealed boundary and topographic survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must



have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. If any encumbrances are found in the property, provide a copy of the recorded documents accordingly (i.e. easements, dedications, agreements, vacations, etc.). Please provide.

- a. The survey provided does not match the proposed development location.
9. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
- a. Please clarify were the existing Fire hydrant located at the Northwest corner of the property will be relocated.
 - b. Propose tapping sleeve at 6" fire service line.
 - c. Proposed clean outs shall be placed within the City's Right of Way.
10. Proposed structures shall not be constructed within existing or proposed right of way/ easements.
- a. Encroachments within utility easement will require non-objection letters from utility agencies.
11. Spot elevations/grades shown in proposed development plans shall be per North American Vertical Datum of 1988 (NAVD 88), instead of National Geodetic Vertical Datum of 1929 (NGVD 29).
12. Clearly indicate on plans the limits of construction and how the proposed improvements will transition into the existing (on-site and off-site) as applicable.
- a. The proposed curb ramp at the Northwest corner of the property shall be removed and the sidewalk shall wrap around the property.
 - b. The proposed curbing gutter along Northwest 6 Court shall extend to the Eastern property line and transition from 6" to 0.
 - c. The existing catch basin shall be relocated to the [proposed valley gutter along NW 6 Court.
 - d. Landscaping plans shall be coordinated with the civil plans.
13. Depict/ label existing/ proposed stop sign/ bar on right of way adjacent to the site. *Shown on sheet C1.*
- a. The existing double yellow stripes and stop bar at the North End of Northwest 17 Avenue shall be properly restored.
14. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans.
15. Clearly depict trash enclosure on site plan.
- a. Show truck turning movements in and out the proposed dumpster enclosure/ building as applicable.



- b. Ensure sufficient height clearance is provided within the garage for truck access.
 - c. Per ULDR Section 47-19.4.D.6, all dumpster enclosures and adjacent service access drive shall be placed on poured concrete, solid or perforated interlocking concrete block paving (ICB), or any existing hardened paving system. A concrete apron shall also be placed entirely on private property.
16. Building Elevations (Sheet A301/A302): Show and label existing Right-of-Way, proposed Right-of-Way and/or Easement boundaries, and horizontal building clearances on all building elevation / section details, as appropriate. Label vertical clearance above public access as applicable, if any building overhang is proposed; public access sidewalk located along Street/avenue should match corresponding Site Plan, with respect to Right-of-Way boundaries.
17. Provide and label typical roadway cross-sections for the proposed development side of NW 17th Avenue (driveway approach) and Sistrunk Boulevard: at driveway access points, at on-street parallel parking lanes, and at landscape swale areas (i.e. between travel lane and sidewalk) as appropriate. Cross-sections should show existing right of way and proposed Right of Way and/or Easement boundaries.
- a. Proposed elevations at property lines shall not be higher than existing crown of road elevations.
18. The existing public sidewalks adjacent to the proposed development (to remain) must be inspected by the Engineer of Record to ensure existing sidewalks meet ADA standards and are in good condition. A signed and sealed assessment must be provided indicating sidewalks were inspected and any sidewalk replacement requirements. Plans shall reflect the extent of sidewalk replacement accordingly.
19. Label on Site Plan Data Table the required and proposed type of loading zone(s) required, per ULDR Section 47-20.2 Table 2 and Section 47-20.6; also label location of ADA van-accessible parking stalls. If applicable, show truck turning template circulation (label typical minimum centerline turning radius) entering and exiting the site as required for the proposed development. Turning geometries and loading zone design shall be in accordance with ULDR Section 47-20.6.
- a. Per ULDR Section 47-20.2 Table 2: 1 Type II loading is required.
20. Sheet C0: Show and label dimensions for dead-end parking spaces as appropriate for vehicular turnaround. Per ULDR Section 47-20.5.C.4, dead-end parking areas shall be prohibited, except where the number of parking spaces in the dead end area is less than 21 and a turnaround area is provided which will accommodate a 2-point turn around by a standard passenger car (AASHTO "P" Design Vehicle) or where the number of parking spaces in the dead end is 10 or less.
21. Provide sufficient existing and proposed grades and information on conceptual Paving, Grading, and Drainage Plan and details to demonstrate how stormwater runoff will remain onsite.
- a. Please revise proposed grading at driveway. Stormwater generated onsite shall be conveyed to the proposed drainage system onsite and not runoff to the City Right of Way.
22. Depict proposed building doors and provide sufficient grades/details on conceptual paving, grading and drainage plans to verify ADA accessibility design for the site, especially ground floor access to the new building, as well as crossing proposed driveways and connecting to existing sidewalks (at



intersections and with adjacent property) as appropriate; coordinate proposed site grading and 1st Level Finished Floor Elevations to meet ADA accessibility requirements.

23. Drainage mitigation is required for any impacts within adjacent City of Fort Lauderdale Right-of-Way, such as increased runoff, additional impervious areas, and reduction of existing storage or treatment (i.e. swale areas). Engineer of Record (EOR) shall evaluate the adjacent City roadway system capacity and demonstrate that the proposed improvements will not negatively impact the City's existing drainage system and provide recommendations in compliance with the City's Comprehensive Plan (i.e. meets or exceeds the 5-year/1-day storm event drainage criteria).
24. Please provide reasonable assurances that the drainage system will be able to be effectively operated and maintained. Response shall include the following at a minimum:
 - a. Provide plans demonstrating how the drainage structures will be accessible by equipment required to maintain the system and or replaced the system in the event of failure.
25. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflict, (per City Utility Atlas Maps). A min. 5 feet and 10 feet horizontal clearance horizontal separation is required between city utilities infrastructure and proposed small and large trees, respectively (including proposed water and sewer services to the development). Any new trees (located within or adjacent to City Right-of-Way) should be placed with sufficient horizontal and vertical distances (per City, County, and State guidelines) to / from City's public infrastructure, including stormwater assets, to allow for continued Public Works maintenance without obstruction. If this cannot be accommodated due to field conditions, then the developer shall relocate the existing City's public infrastructure to resolve the conflict(s) and to comply with City's, County's & State's engineering standards/permits/policies. Ensure separation is provided and include a note regarding horizontal clearance requirement on the landscape plans.
26. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present.
27. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Label all proposed improvements, including asphalt and other specialty paving, specialty sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements.
28. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles, construction fence gates shall not swing into the public Right-of-Way
29. Proposed public and private improvements shall consider the construction limitation per Code of Ordinance Section 25-7 on all street and sidewalks which are under the jurisdiction of the city, as these may be closed for construction for a period not to exceed seventy-two (72) hours.
30. Comply with all the General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>
31. Advisory: If dewatering activities are anticipated, a notarized City dewatering affidavit shall be filed at City's building department when submitting a demolition or foundation permit along with any applicable dewatering permit form regulatory agencies such as the South Florida Water Management District or Broward County Department of Environmental Protection.



For Engineering General Advisory DRC Information, please visit our website at
<https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



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CASE COMMENTS:

Please provide a response to the following:

1. 2014 FEMA FIRM is AH 6. Minimum FFE is required at 7.4 ft NAVD.
2. Variations in ground floor elevation have not been provided in detail.
Provide elevation of utility rooms and retail areas. The minimum required lowest floor and machinery elevation is BFE +1.4' NAVD. EXCEPTION: If the exact site specific BFE is provided based on the Flood Insurance Study, the exact site specific BFE +1' may be used. The BFE provided in the FIS will always be reviewed in conjunction with the FIRM. The BFE will not be allowed to be less than what is presented on the FIRM.
3. If you choose to provide floodproofing, details of the method being utilized are required.

GENERAL COMMENTS

The following comments are for informational purposes.

1. Refer to the following:
 - FEMA P-348 -Protecting Building Utility Systems from Flood Damage
 - Technical Bulletin 3- Requirements for the Design and Certification of Dry Floodproofed Non-Residential and Mixed-Use Buildings
 - Technical Bulletin 2- Flood Damage-Resistant Material Requirements
2. Additional comments may follow pending submission of the complete plan set.

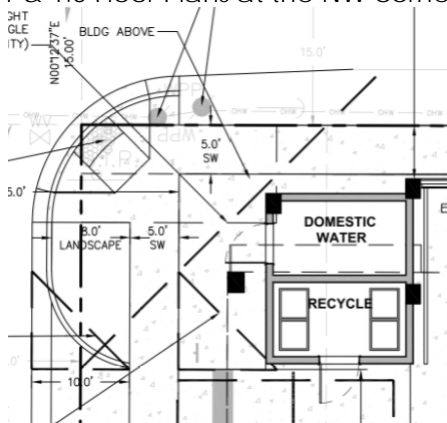


Case Number: UDP-S24006

CASE COMMENTS:

Please provide a response to the following.

1. Sheet LAPL-0 Tree Disposition Plan proposes the removal of existing trees #5,6,7&8, whereas Sheet LAPL-1 Planting Details shows the four existing Live Oak street trees to remain. Please revise for consistency.
2. Sheet LAPL-1 Planting Details site plan does not match Sheet C-0 Site Plan and Sheet A101 Overall Levels 1 & 1.5 Floor Plans at the NW corner of the proposed building. Please revise for consistency.



3. Within the RAC districts, when overhead utilities exist, required street trees may be small maturing trees provided at a minimum of a ratio of one street tree per twenty feet frontage or greater fraction thereof not subtracting ingress and egress dimensions. A minimum of 50% of the required street trees must be canopy trees. Consider that, in order to maximize the shade for a positive pedestrian experience, the city prefers continuous canopy coverage with 100% canopy trees in these areas. Small maturing trees require a minimum 6 feet canopy clearance and a canopy (60%) to trunk (40%) minimum ratio.
4. Follow FPL Right Tree Right Place guidelines for tree selection and placement under overhead utilities. *Ilex cassine* is considered a medium shade tree and should have a 20' setback from overhead utilities. Please revise.
5. Small trees and palms must be located a minimum of seven and one-half feet away from structures. Palms may be planted closer to each other to form clusters.
6. A 25 feet sight triangle is required at the intersection of two streets, measured from the intersection point of extended property lines at a street and a street. This area must be clear of obstructions between 2.5 feet and 8 feet above elevation of adjoining pavement, per ULDR 47-2.2. Q.3 and ULDR 47-35. Illustrate and label this triangle on landscape plan, and confirm landscaping is installed outside of sight triangles.
7. Tree canopy within a sight triangle requires a clearance of 8 feet. Please maintain tree canopy 60% to tree clear trunk 40% ratio heights adjust overall height of trees in sight triangles.
8. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans.



The structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.

- a) Demonstrate hashing on landscape, site, and civil plans as to the extent of use of the Structural Soil.
 - b) Provide Structural Soil Detail and composition.
9. A suspension modular paving system product may be used in place of CU Structural Soil. Please look into the use of the Green Blue Urban soil cell, Silva cell or like product for this and all future site developments. Provide a detail of product of use for root development under paved areas.
10. Utilities and site amenities such as walkways, flagpoles, transformers, fire hydrants, sewer and water supply lines, trash enclosures, and similar items located on the site shall not be placed adjacent to, in, or under required tree planting areas, as per ULDR Section 47-21.12. Confirm with civil, site and life safety plans that utilities and site amenities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility and/or site amenities.
11. Illustrate and label the horizontal clearance from tree trunk to edge of utility on the landscape plan. Landscaping must provide a minimum horizontal clearance of 5 feet for small trees and palms, and a minimum of 10 feet for large trees and palms from underground utilities. Please revise if in conflict.
12. Utilities must be protected using a root barrier fabric wrap or equivalent. Landscape Plans must illustrate and label existing and proposed utilities in the right-of-way to confirm no utility conflicts exist, and illustrate the above setback and wrap requirement if applicable.
13. Additional comments may be forthcoming after next review of new plans and written comment responses.

GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.
2. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.
3. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
4. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.



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CASE COMMENTS:

Please provide a response to the following:

1. Residential entry doors should be impact resistant glass or metal and should be equipped with a 180-degree view peephole if it is a solid door or does not have a sidelight panel area as defined in Section 768.0706(2)(a)(7) FSS.
2. All dwelling entry doors should be equipped with at least a one-inch deadbolt as defined in Section 768.0706(2)(a)(4) FSS.
3. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
4. Residential units should be pre-wired for an alarm system.
5. A video surveillance system (VSS) should be employed throughout the property with a focus on entry/exit points, elevators, parking garage, hallways, and common areas. It should be capable of retrieving an identifiable image of a person and video retention should be a minimum of 30 days as defined in Section 768.0706(2)(a)(1) FSS.
6. All Lighting should conform to IES and CPTED standards and illumination requirements as defined by Section 768.0706(2)(a)(2) FSS. The parking area should be illuminated at an intensity of at least an average of 1.8 fc per square foot at 18 inches above the surface from dusk until dawn or controlled by a photocell or similar electronic device that provided light from dusk until dawn.
7. Lighting in walkways, laundry rooms, common areas, and porches. Such lighting must be illuminated from dusk until dawn or controlled by a photocell or similar electronic device that provided light from dusk until dawn as defined in Section 768.0706(2)(a)(3) FSS.
8. Consideration should be given to placing emergency communication devices in the parking garage and common areas. These should be easily identifiable and accessible.
9. Light reflecting paint should be used in the parking garage to increase visibility and safety.
10. The parking garage entry should be equipped with high-speed gates or crossbars, or in-ground spike to prevent unauthorized intrusion or "piggy-backing".
11. Stairs should be egress-only at the ground level to avoid unauthorized intrusion.
12. Fort Lauderdale Police/Fire Dispatch should be notified of access for first responders.

GENERAL COMMENTS

It is highly recommended that the managing company make arrangements for private security during construction.

Please submit responses in writing prior to DRC sign off.



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CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be included in the monthly maintenance fee as prescribed in owner's association documents (multi-family).
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
6. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
8. Commercial – Strip stores shall share bulk container to avoid each tenant having a dumpster.
9. Solid Waste transport to trash rooms or to primary waste container shall be performed inside building using interior service corridor (Retail, Office, Condo, Hotel).
10. Containers: must comply with 47-19.4
11. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
12. Provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building. If you have a trash chute please answer comment 12,13,14.
13. Recommend trash chute accommodate recycling.
14. Draw equipment on the plan to show it will fit in trash room.
15. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
16. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - ***This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to Gwoolweaver@fortlauderdale.gov . The letter***



should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.

- *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



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CASE COMMENTS:

1. Please provide the correct survey of this site with the plan set.
2. According to Broward County Property appraiser website there is only 30 feet of right of way on NW 17th Avenue and NW 6th Court adjacent to this site. To complete the minimum right of way of 50 feet the city requires, this development shall dedicate 10 feet of the property on both NW 17th Avenue and NW 6th Court.
3. Provide a minimum of 7.5 feet wide on **NW 17th Avenue and NW 6th Court**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width. The back of sidewalk shall be placed on the new property/right of way line.
4. Add parallel on street parking to NW 6th Court.
5. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. Please note that if there is a proposed gate at the ingress and egress points for this development, the gate will be considered the first conflict point.
 - a. The minimum inbound and outbound stacking requirements is one (1) space off NW 17th Avenue, the stacking measurement starts at the back of proposed sidewalk and measured into the site.
6. For a development which generates less than five hundred (500) trips per day, a lesser number of stacking spaces may be authorized by the reviewing authority based on a traffic impact statement prepared by a licensed engineer which indicates that characteristics of the proposed use or abutting right-of-way support a determination that the need for stacking spaces is less than that required by the ULDR. These characteristics may include, but are not limited to, the following:
 - a. A deceleration lane will be located at the driveway, or
 - b. The peak hour directional traffic volumes on the abutting right-of-way do not coincide or conflict with peak hour usage on the site, or
 - c. Characteristics of the proposed use such as low traffic generation or low turnover of parking spaces support a finding that the number of stacking spaces provided will be sufficient to protect the safety of those traveling on and off site.
7. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
8. Provide a 10' X 10' sight triangle at the proposed driveways starting at the back of sidewalk and driveway through lanes intersection points, no structures or obstructions shall be placed in this sight



triangle. This sight triangle is required to provide clear visibility of the drivers exiting the driveway being able to see the pedestrians walking on the sidewalk against the building.

9. For handicapped parking stalls, pursuant to Florida Statute 553.5041, each parking space must be at least 12 feet wide. Parking access aisles must be at least 5 feet wide and must be part of an accessible route to the building or facility entrance. The access aisle must be striped diagonally to designate it as a no-parking zone. Handicap Parking spaces shall be level, no more than a 2% slope. Handicap people shall not be directed to travel behind parked vehicles to access the building. Adjust the proposed Handicap parking to meet the criteria listed above.
10. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
11. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
12. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
13. Additional comments may be provided upon further review.

GENERAL COMMENTS

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.



Case Number: UDP-S24006

CASE COMMENTS:

Please provide a response to the following:

- 1) Pursuant to the State Statute 166.033(1) applications must be deemed approved, approved with conditions, or denied within 120 days, which falls on June 05, 2024, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension will result in the application being denied by the City and the applicant will be required to refile a new application and fees to proceed.
- 2) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: <https://www.fortlauderdale.gov/departments/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov>. Please provide acknowledgement and/or documentation of any public outreach.
- 3) The site is designated Northwest Regional Activity Center (NWRAC) on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
- 4) The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the Platting Determination Submittal Requirements or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: Administrative Review Application.
- 5) Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: <https://www.fortlauderdale.gov/government/departments-a-h/development-services/dsd-fee-schedules/park-impact-fee-calculator>
- 6) Please be advised that development applications requesting residential dwelling units in the Northwest Regional Activity Center (NWRAC) are subject to RAC availability at the time of site plan approval on a first come, first served basis. Staff will advise the applicant on the status of these units during the DRC approval process.
- 7) The proposed development application is subject to a 30-day review period by the City Commission. The applicant will be required to submit a separate application if the



project is placed on the City Commission agenda and the applicant is responsible for all public notice requirements. Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. Power Point, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information (954-828-4798).

- 8) This project is subject to the requirements of Broward County Public School Concurrency. The applicant will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied. The City cannot accept a building permit application, nor issue a building permit, for new or additional residential units, unless the applicant presents evidence from Broward County that the impact of the proposed development on public educational sites and facilities has been mitigated by payment of school impact fees.
- 9) Per ULDR Section 47-23.16, Affordable Housing Regulations, applicants seeking additional height under Section 47-13.52. NWRAC-MU regulations, shall provide an Affordable Housing Development Plan, as outlined in Section 47-23.16.D.1., to be reviewed and approved by staff during the Development Review Committee (DRC) process. Additionally, the applicant shall provide an Affordable Housing Development Agreement, per Section 47-23.16.D.2, Affordable Housing Development Agreement and Deed Restriction, to be recorded prior to the issuance of building permits.
- 10) Provide a survey based off an opinion of title that is for the correct parcel.
- 11) The project does not meet certain Northwest Regional Activity Center – Illustrations of Design Standards (NWRAC-MU Design Standards) per ULDR Section 47-13.52, NWRAC-MU Regulations. Staff has commented below under the applicable category of the Design Review Team (DRT) comment checklist.

Street Design Standards

- a. S5- On-street parking on N.W. 6th Court has not been provided.
- b. S7- Provide Curb radii on Civil Plans
- c. S9- Explain how the relocated overhead utility lines onto the north side of NW 6th Court will not conflict with the existing tree canopy.
- d. S10- Provide measurements between trees on the landscape plans; provide a minimum 20 feet separation for palms/ornamentals and 30feet for shade trees.

Building Design Standards

- e. B2- The northern frontage does not integrate into the existing built environment. The single level parking garage visually reads as two stories based on the secondary story screening.



- f. B3- NW 6th Court lacks street activation due to the ground level garage.
 - g. B4- The sidewalk along Sistrunk Boulevard is labeled as open space. Staff only count onsite sidewalks as open space when streetscape requirements require sidewalks to be placed within the subject property. Update plan sheet labeled Open Space Exhibit, Sheet-X4 to remove open space square footage from the open space calculations for any portion of the sidewalk onsite that is not required to meet the 10-foot, 6-inch sidewalk requirement. B5- Based on the 10-foot dedication requirements to complete the ROW widths of NW 17th Avenue and NW 6th Court, the building and its programming will have to be shifted and modified.
 - h. B8- Provide addition articulation at the lower levels of the building below the residential units to break up the flat frontage along the pedestrian realm.
 - i. B9d- The first floor is 12 feet in height and is required to be 15 feet in height.
 - j. B14- First floor street activation and garage screening need additional architectural design changes.
 - k. B15- Provide additional diversification in façade materials, specifically at the ground level.
 - l. B16- Reference Comment B-2
 - m. B17- Reference Comment B-15
 - n. B18- Provide first floor percentage of clear glazing and increase first floor height to 15 feet.
 - o. B21- Incorporate first floor shading devices along Sistrunk Boulevard.
 - p. B22- Reference Comment B-2
 - q. B25- Rooftop screening material does not adequately screen the proposed rooftop mechanical equipment. Change the proposed picketed design to appropriately screen the mechanical equipment.
- 12) Provide the following changes on the site plan:
- a. Update the site data table on sheet titled Site Plan, Sheet CO, to provide both the proposed building height and adjusted height based on base flood elevation.
 - b. The proposed second level does not constitute a mezzanine. A mezzanine floor is an intermediate floor between the main floors of a building. The current design functions as an independent floor abutting double high ceilings. The mezzanine will be counted as a floor and therefore needs to be labeled as such throughout the site plan set.
 - c. Provide the required 10-foot right-of-way dedications on NW 17th Avenue and NW 6th Court and incorporate into the site plan.
 - d. Update the streetscape requirements on NW 17th Avenue and NW 6th Court to meet the NWRAC-MU Design Standards. Both ROWs require a two-foot gutter, eight-foot-wide parking space, six-inch curb, seven and a half-foot landscaped swale and seven and a half-foot sidewalk. If on-street parking spaces cannot be constructed due to vehicular distance requirements or site lines, etc., landscaping shall replace the parking stall.
 - e. Update sheet titled Site Plan, Sheet-CO, to show all proposed pedestrian easements.
 - f. A pedestrian easement shall be extended onsite along NW 6th Street to complete the required 10-foot and 6-inch sidewalk.
 - g. Provide lane width measurements for NW 6th Court and NW 17th and NW 6th Street.



h. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from FPL indicating such.

13) Provide the changes on the elevations:

- a. Provide streetscape cross sections of each ROW.
- b. Consider activating the east and west façade with the inclusion of balconies.
- c. The second floor contains double height ceilings, hallways, and building amenity space along NW 6th Street, but the exterior design consists of metal screening. Replace the proposed metal screening with windows to enhance the building's presence, provide additional light into the building's interior, and ensure compliance with the 15- floor first floor requirements.



d. The parking garage should be linked with habitable spaces such as walk up units. Where liner uses are not possible, ensure screening is made of high-quality, durable materials. Update the frontage of NW 6th Court to promote pedestrian interaction and street presence by better integrating the first-floor garage. The massing of the garage



needs to be broken up via design, articulation, and material diversification.

- e. Update material numbering on elevation sheet South & West Elevations, Sheet A201, so the numbers link to the correct material.
- f. Provide dimensioned street sections for each ROW.

14) Pursuant to ULDR Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structures. Provide the following:



- a. Roof plan indicating the location of all mechanical equipment with spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
 - b. Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
 - c. Rooftop screening material does not adequately screen the proposed rooftop mechanical equipment. Change the proposed picketed design to appropriately screen the mechanical equipment.
- 15) Indicate lighting poles and landscape plan and clarify height. Be aware that lighting fixtures greater than 10 feet in height are used, they shall be located a minimum of 15 feet away from shade trees (ULDR Section 47-20.14).
- 16) Pursuant to Section 47-22.4.C.8 provide a master sign plan detailing the following:
- a. Location and orientation of all proposed signage;
 - b. Dimensions of each proposed sign (height, width, depth, etc.);
 - c. Proposed sign copy; and,
 - d. Proposed color and materials
 - e. Please note any proposed signs will require a separate permit application.
- 17) Provide a construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process.
- 18) The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels, and green roofs.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final Development Review Committee:

- 19) An additional follow-up coordination meeting may be required to review project changes necessitated by the Development Review Committee comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner Adam Schnell (954-828-4798) to review project revisions and/or to obtain a signature routing stamp.
- 20) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 21) Provide a written response to all Development Review Committee comments.



22) Additional comments may be forthcoming at the Development Review Committee meeting.



DESIGN REVIEW TEAM (DRT) COMMENTS

Planning Area: NWRAC-MU Illustrations of Design Standards | Rev. 3/22/2021

BACKGROUND INFORMATION: The intent of the Design Review Team (DRT) is to assist applicants by identifying compliance with the applicable master plan design requirements in the form of a checklist. The checklist should be used as a guide in generating formal development applications for site plan submittal. Applicant should provide responses to each item in the DRT checklist upon submittal of formal development applications.

CASE NUMBER:	UDP-DRT24002	NOTES: <ul style="list-style-type: none"> Principles in bold are dimensional standards required by Code (ULDR) Section 47-13.20. Principles marked "yes" / "no" indicate if project meets intent of guideline N/A = Not applicable; more information needed means there is insufficient information to review.
PROJECT NAME:	The Laramore	
PROJECT ADDRESS:	1620 NW 6 th Street	
REVIEW DATE:	02/14/2024	
CASE PLANNER:	Adam Schnell	
CONTACT INFORMATION:	954-828-4798	

INSTRUCTIONS: Mark applicable column with "X". Add comments / design intent under Principle title.

STREET DESIGN STANDARDS: NWRAC-MU		YES	NO	N/A	MORE INFORMATION NEEDED
S-1	A fine-grained street grid is maintained, and right-of-ways are vacated only for strategic public planning purposes.	X			
S-2	Development above right-of-ways (air rights) does not occur.			X	
S-3	Streets have reduced lane widths.			X	
S-4	Traffic calming is utilized rather than barricading streets.			X	
S-5	On-street parking is maximized on all streets. Parking on N.W. 6th Court has not been provided.		X		
S-6	Adequate bike lanes are provided where appropriate, subject to a planned bicycle network.			X	
S-7	Curb radii are reduced at street intersections to a preferred maximum of 15-feet or a maximum of 20-feet at major arterial roadways. Provide Curb Radii on Civil Plans				X
S-8	County "Corner Cord" requirements are eliminated to the greatest extent possible.			X	
S-9	All utility lines (electrical, telephone, cable, etc.) are buried in locations allowing for tree planning and proper root growth. Explain how the overhead utility lines will be located on the north side of the ROW without conflicting with existing tree canopy.				X
S-10	Shade trees are maximized on all right-of-ways, located between the sidewalk and the street, with palms or ornamental trees providing a visual marker for intersections (spacing 20-feet for palms/ornamentals & 30-feet for shade trees). Provide distance measurements between trees along the ROW, and provide palms or ornamental trees at the intersections.		X		
S-11	Landscaping (other than street trees) plays a supporting, rather than dominant role in the overall street design.	X			
S-12	Numerous and wide curb cuts are avoided to the greatest extent possible.	X			



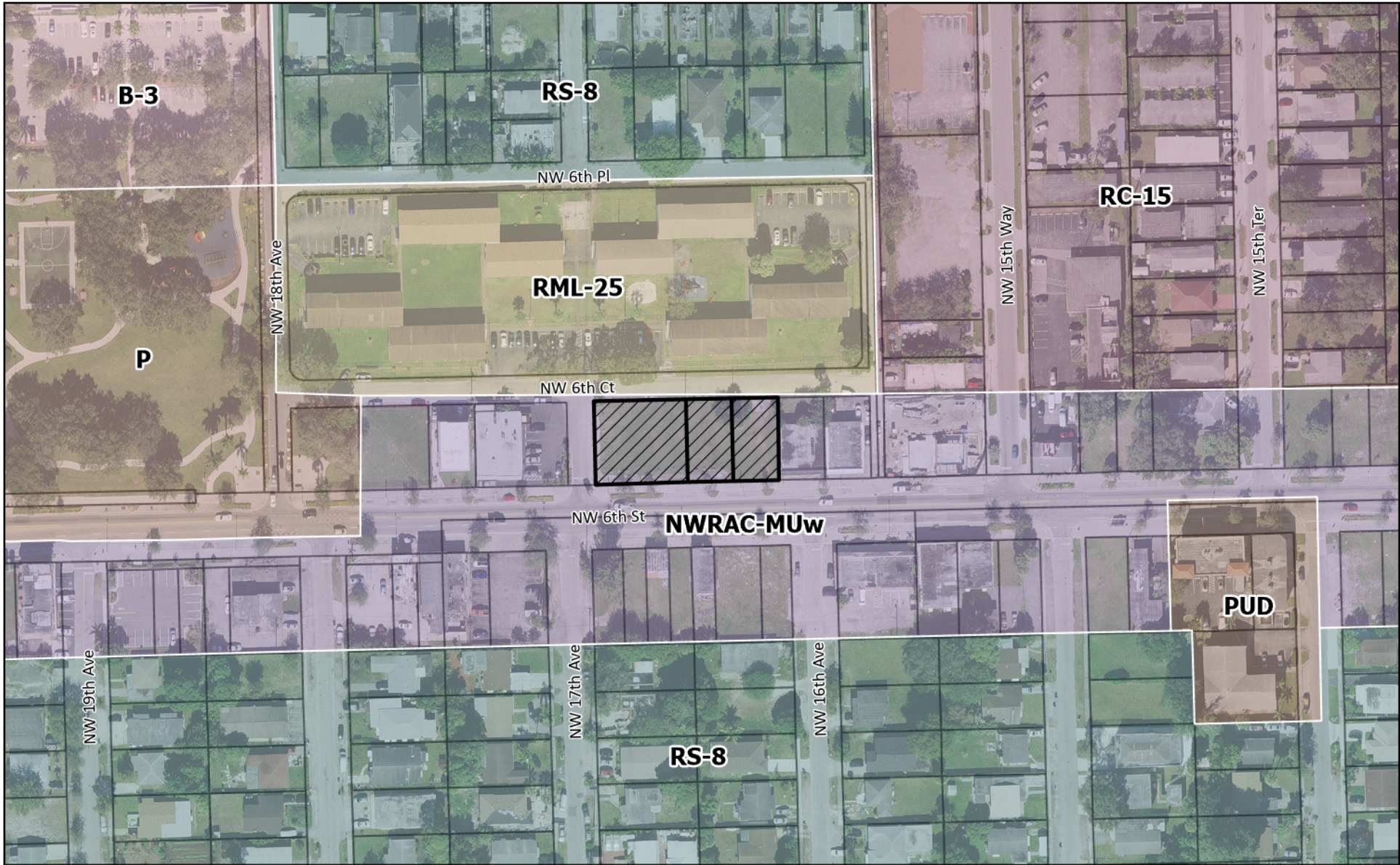
S-13	Drive-thrus are avoided in most cases.			X	
BUILDING DESIGN STANDARDS: NWRAC-MU		YES	NO	N/A	MORE INFORMATION NEEDED
B-1	Surface parking facilities are secondary to the pedestrian public realm experience with vehicular access provided from the secondary street or alley where possible.			X	
B-2	Structured parking design is well integrated into the overall building design. The northern frontage does not integrate into the existing built environment. The single level parking garage visually reads as two stories based on the secondary story screening. Further discussion is needed on how to improve the current design.		X		
B-3	To create an interesting, active, street environment, main pedestrian entrances are oriented toward the street. N.W. 6th Court lacks street activation due to the ground level garage.		X		
B-4	Framing the street: Site open space, as required, is aggregated as usable pedestrian-oriented public space instead of a leftover "green" perimeter. Courtyards and Plazas that are part of the development site are lined with active uses. The sidewalk along Sistrunk Blvd. is labeled as open space. Staff only counts onsite sidewalks as open space. Update plan sheet labeled Open Space Exhibit, Sheet-X4 to remove the open space square footage offsite in the right-of-way from the open space calculations along the southern frontage.		X		
B-5	Framing the street: Buildings meet the front and corner build-to-lines to maintain a consistent streetwall. <i>Primary Street: The building frontage abutting a Primary Street should be built to the property line.</i> <i>Secondary Street: The building frontage abutting a Secondary Street should be built to a zone consisting of 5 to 10 feet from the property line.</i> Based on the 10-foot dedication requirements to complete the ROW widths of NW 7th Avenue and NW 6th Court, the building and its programming will have to be shifted and modified.		X		
B-6	Framing the street: Buildings meet the side yard setback to maintain a consistent streetwall. <i>Side / Rear Yard Setbacks: 0 feet*</i> <i>*15 feet when abutting existing residential</i>			X	
B-7	Framing the street: Building streetwalls meet minimum and maximum shoulder heights. <i>Two stories or 25-feet minimum</i> <i>Five stories or 65-feet maximum</i>		X		
B-8	Framing the street: Buildings exceeding a maximum streetwall length of 150-feet provide variation in the physical design and articulation of the streetwall. The building length is 189.5 feet in length and does not provide articulation at the lower levels.		X		
B-9a	Buildings do not exceed maximum height dimensions. <i>NWRAC-MU and those properties that are located east of NW 2nd Avenue within the NWRAC-MU</i> <i>Permitted Maximum Height up to, but no higher than 120 ft.</i>	X			



BUILDING DESIGN STANDARDS: NWRAC-MU		YES	NO	N/A	MORE INFORMATION NEEDED
	<p><u>NWRAC-MUe west of NW 2nd Avenue</u> Permitted Height up to, but no higher than 65 ft. Max Height up to, but no higher than 110 ft *</p> <p><u>NWRAC-MUw</u> Permitted Height up to, but no higher than 45 ft. Max Height up to, but no higher than 65 ft*</p> <p>* Structures exceeding the permitted height threshold of the NWRAC-MUe, and NWRAC-MUw shall be reviewed subject to the process for a Site Plan Level II permit, with City Commission review and approval in accordance with the performance standards in the Unified and Land Development Regulations (ULDR), Section 47-13.52.B</p>				
B-9b	<p><u>Maximum Floorplate:</u> Commercial 32,000 square feet Residential 12,000 square feet</p>			X	
B-9c	<p><u>Minimum Tower Separation:</u> 40 feet (depending on floorplate)</p>			X	
B-9d	<p><u>Minimum First Floor Height:</u> Fifteen (15) feet</p> <p>The first floor is 12 feet in height and is required to be 15 feet in height.</p>		X		
B-10	<p>Towers do not exceed minimum stepback dimensions and maximum floorplate area.</p> <p>Minimum Tower Stepback Front Corner Side Rear Primary Street: 12 feet* 12 feet* Side and Rear are dependent on floorplate Secondary Street: 15 feet 15 feet [Dependent on floorplate]</p> <p>Maximum Floorplate / Minimum Tower Stepback</p> <p><u>Commercial</u> 32,000 square feet / 30 feet side and rear stepback 20,000 square feet / 25 feet side and rear stepback 16,000 square feet / 20 feet side and rear stepback</p> <p><u>Residential</u> 12,000 square feet / 30 feet side and rear stepback 10,000 square feet / 25 feet side and rear stepback 8,000 square feet / 20 feet side and rear stepback</p>			X	
B-11	<p>Where buildings abut existing residential development a transition zone shall be established.</p> <p><u>Minimum Yard Setback:</u> 15-feet <u>Maximum Shoulder Height:</u> 45-feet <u>Minimum Tower Stepback:</u> 15-feet</p>			X	
B-12	<p>Where buildings with towers are located with frontages on multiple streets, the towers are oriented towards the "Primary Street".</p>			X	
B-13	<p>Towers contribute to the overall skyline composition.</p>			X	
B-14	<p>Original and self-confident design: A range of architectural styles exist, each having a strong identity, and striving for the highest quality expression of its chosen architectural style.</p> <p>First floor street activation and garage screening need additional architectural design changes.</p>		X		



BUILDING DESIGN STANDARDS: NWRAC-MU		YES	NO	N/A	MORE INFORMATION NEEDED
B-15	Buildings are of high-quality design and construction with an emphasis on durable materials, well thought-out details, and careful workmanship. Provide additional diversification in façade materials, specifically at the ground level.		X		
B-16	Buildings are site responsive, reflect local character, and have architectural features and patterns that provide visual interest from the perspective of the pedestrian. Reference Comment B-2		X		
B-17	Creative façade composition: A rich layering of architectural elements are provided throughout the building, with special attention to details below the shoulder level. Reference Comment B-15		X		
B-18	The first floor of nonresidential buildings are flush with the adjacent sidewalk, have a minimum height of fifteen (15) feet, and a high percentage of clear glazing <i>Primary Streets – minimum 60%</i> <i>Secondary Streets – minimum 50%</i> Provide first floor percentage of clear glazing and increase first floor height to 15 feet.		X		
B-19	Buildings with historic value are preserved and utilized for Adaptive Reuse.			X	
B-20	Environmental Architectural Design that responds to the unique nature of the South Florida environment.			X	
B-21	Pedestrian shading devices, of various types, are provided along the façade of buildings. Incorporate first floor shading devices along Sistrunk Boulevard.		X		
B-22	Active and ‘extroverted’ ground floors with retail are located in strategic locations. Reference Comment B-2				
B-23	In residential buildings, ground floor units have individual entrances.			X	
B-24	Balconies and bay windows animate residential building façades	X			
B-25	The ‘Fifth Façade’ of a building is treated as part of the total design. Rooftop screening material does not adequately screen the proposed rooftop mechanical equipment. Change the proposed picketed design to a material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structures.		X		
B-26	Lighting is utilized to enhance safety without contributing to excessive light pollution or glare.	X			
B-27	Noise pollution as a result of building design is mitigated.			X	



UDP-S24006 - 1620 NW 6 CT.



0 150 300 US Feet