



DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 01/24/2023

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only complete the sections indicated for application type with N/A for those section items not applicable. Refer to "Specifications for Plan Submittal" by application type for information requirements for submittal. Select the application type and approval level in **SECTION A** and complete the sections specified.

A APPLICATION TYPE AND APPROVAL LEVEL

<input type="checkbox"/> LEVEL I ADMINISTRATIVE REVIEW COMMITTEE (ADMIN) New nonresidential less than 5,000 square feet Change of use (same impact or less than existing use) Plat note/Nonvehicular access line amendment Administrative site plan Amendment to site plan* Property and right-of-way applications (MOIs, construction staging) Parking Agreements (separate from site plans)	<input type="checkbox"/> LEVEL II DEVELOPMENT REVIEW COMMITTEE (DRC) New Nonresidential 5,000 square feet or greater Residential 5 units or more Nonresidential use within 100 feet of residential property Redevelopment proposals Change in use (if great impact than existing use) Development in Regional Activity Centers (RAC)* Development in Uptown Project Area* Regional Activity Center Signage Design Review Team (DRT) Affordable Housing (≥10%)	<input type="checkbox"/> LEVEL III PLANNING AND ZONING BOARD (PZB) Conditional Use Parking Reduction Flex Allocation Cluster / Zero Lot Line Modification of Yards* Waterway Use Mixed Use Development Community Residences* Social Service Residential Facility (SSRF) Medical Cannabis Dispensing Facility* Community Business District for uses greater than 10,000 square feet	<input checked="" type="checkbox"/> LEVEL IV CITY COMMISSION (CC) Land Use Amendment Rezoning * Plat Public Purpose Use Central Beach Development of Significant Impact* Vacation of Right-of-Way City Commission Review Only (review not required by PZB) Vacation of Easement*
COMPLETE SECTIONS B, C, D, G	COMPLETE SECTIONS B, C, D, E, F	COMPLETE SECTIONS B, C, D, E, F	COMPLETE SECTIONS B, C, D, E, F
<input type="checkbox"/> EXTENSION Request to extend approval date for a previously approved application	<input type="checkbox"/> DEFERRAL Request to defer after an application is scheduled for public hearing	<input type="checkbox"/> APPEAL/DE NOVO Appeal decision by approving body De Novo hearing items	<input type="checkbox"/> PROPERTY AND ROW ITEM Road closures Construction staging plan Revocable licenses
COMPLETE SECTIONS B, C, H	COMPLETE SECTIONS B, C, H	COMPLETE SECTIONS B, C, H	COMPLETE SECTIONS B, C, E

*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

B APPLICANT INFORMATION

Applicant/Property Owner Address City, State, Zip Phone Email Proof of Ownership	Harvest Square Partners LP 3101 N. Federal Highway Oakland Park, FL 33306 480-800-9916 Josh@Brickbox.net Warranty Deed	Authorized Agent Address City, State, Zip Phone Email Authorization Letter	PULICE LAND SURVEYORS, INC 5381 Nob Hill Road Sunrise, FL 33351 (954) 572-1777 elizabeth@pulicelandsurveyors.com Letter Attached
Applicant Signature:		Agent Signature:	

C PARCEL INFORMATION

Address/General Location	945-951 W. Sunrise Boulevard
Folio Number(s)	494233210020
Legal Description	PORTION OF TRACT B LAUDERDALE MANORS ADDITION (PB 30-10) IN 33-49-42 AND 4-50-42
City Commission District	Three
Civic Association	Lauderdale Manors HOA

D LAND USE INFORMATION

Existing Use	Commercial
Land Use	C - Commercial
Zoning	B-1 (Boulevard Business)
Proposed	
Proposed Land Use	SAME
Proposed Zoning	SAME

E PROJECT INFORMATION

Project Name	TACO BELL FORT LAUDERDALE						
Project Description	Proposed plat includes existing use and a proposed drive-thru/pick-up only fast food restaurant						
Estimated Project Cost	\$	(Estimated total project cost including land costs for all new development applications only)					
Affordable Housing Number of Units (AMI)	30%	50%	60%	80%	100%	120%	140%
Affordable Housing Number of Units (MFI)	30%	50%	60%	80%	100%	120%	140%



Waterway Use	No	Traffic Study Required	
Flex Units Request	No	Parking Reduction	
Commercial Acreage	flex	Public Participation	
Residential Uses		Non-Residential Uses	16,000 sq.ft. existing 1,640 sq.ft. proposed
<ul style="list-style-type: none"> Single Family Townhouses Multifamily Cluster/Zero Lot Line Other 			
Total		Total	17,640 sq.ft. commercial use
Unit Mix			

F PROJECT DIMENSIONAL STANDARDS

	Required Per ULDR	Proposed	
Lot Size		1.596 acres	
Lot Density			
Lot Width			
Building Height			
Structure Length			
Floor Area Ratio			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
SETRACKS			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate			
Residential Unit Size			

G AMENDED PROJECT INFORMATION

	Original Approval	Proposed Amendment	Amended
Project Name			
Proposed Amendment Description			
Residential Uses			
Non-Residential Uses			
Lot Size			
Lot Density			
Lot Width			
Building Height			
Structure Length			
Floor Area Ratio			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate			
Residential Unit Size			

Does this amendment require a revision to the traffic statement or traffic study completed for the project?
 Does this amendment require a revised water sewer capacity letter?

H EXTENSION, DEFERRAL, APPEAL INFORMATION

EXTENSION REQUEST	DEFERRAL REQUEST	APPEAL REQUEST / DE NOVO HEARING
Project Name	Approving Body	Approving Body
Request Description	Scheduled Meeting	30 Days from Meeting
	Date	(Provide Date)
	Requested Deferral	60 Days from Meeting
	Date	(Provide Date)
	Previous Deferrals Granted	Appeal Request

LETTER OF AUTHORIZATION

THIS IS TO CERTIFY that I represent the owner of the lands described in a petition for approval of a PLAT named **TACO BELL FORT LAUDERDALE**, proposed for new development on property located at 945-951 W. Sunrise Boulevard, in Fort Lauderdale, and further identified by Folio No. 494233210020. As such, I have authorized the firm of **Pulice Land Surveyors, Inc.** to act as the Agent in all matters concerning said application process involving the subject property.

On behalf of HARVEST SQUARE PARTNERS LP:

[Handwritten Signature]

Signature

DANIEL DEITCHMAN

PRINT NAME

3201 N. FEDERAL HWY FORT LAUDERDALE FL 33306

Mailing Address, City, State, Zip

(450) 800-9916

Telephone

State of: Florida

County of: Broward

Sworn to and subscribed before me Daniel Deitchman,
this 22nd day of February, 2024, who is personally known to me

OR produced identification []: _____

[Handwritten Signature]
Notary Public

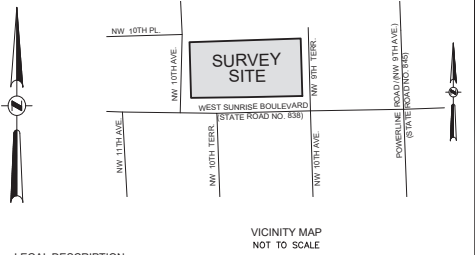
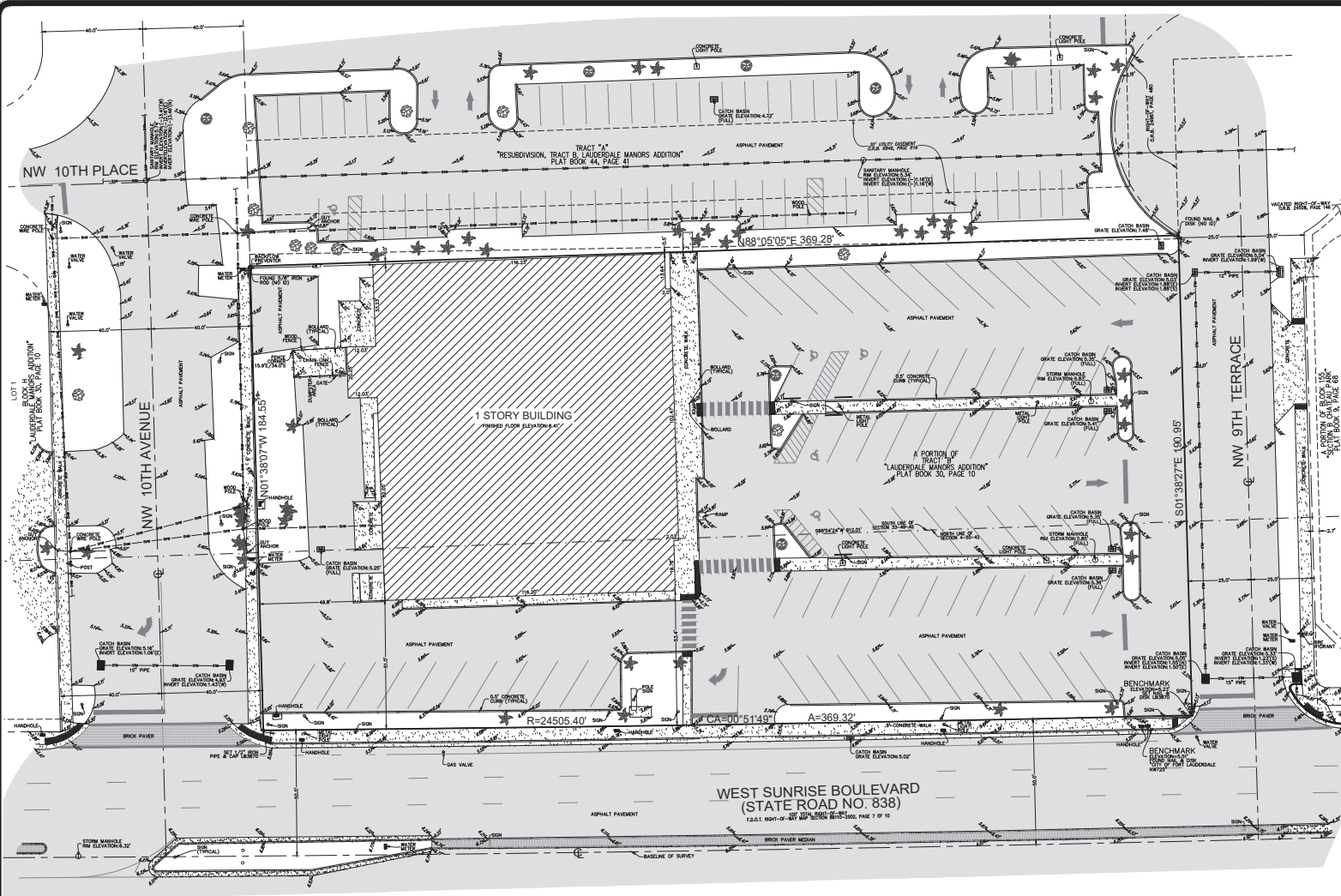
Megan Robertson
Print name

My Commission expires: 11/14/26

SEAL:



MEGAN D. ROBERTSON
Commission # HH 331881
Expires November 14, 2026



LEGAL DESCRIPTION:
 ALL THAT PART OF TRACT "B" OF "LAUDERDALE MANORS ADDITION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 30 AT PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY LYING SOUTH OF A LINE DRAWN FROM A POINT BEING THE POINT OF INTERSECTION OF THE NORTH AND WEST BOUNDARIES EXTENDED OF BLOCK 155 OF CHATEAU PARK SECTION 15", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 9 AT PAGE 68 OF THE PUBLIC RECORDS OF BROWARD COUNTY; AND RUN WESTERLY TO A POINT BEING THE POINT OF INTERSECTION OF THE NORTH AND EAST BOUNDARIES EXTENDED OF BLOCK "H" OF "LAUDERDALE MANORS ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 30 AT PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAD LANDS LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, AND CONTAINING 69,503 SQUARE FEET (1.596 ACRES), MORE OR LESS.

- NOTES:**
1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK NW752, ELEVATION: 5.51 FEET.
 3. FLOOD ZONE: X(0.25); BASE FLOOD ELEVATION: NONE; PANEL #1201100369H; COMMUNITY #125105; MAP DATE: 8/15/14.
 4. THIS SITE LIES IN SECTION 33, TOWNSHIP 49 SOUTH, RANGE 42 EAST, AND SECTION 4, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
 5. GRID BEARINGS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT; FL-E ZONE, WITH THE NORTH LINE OF TRACT "B" BEING N88°05'05".
 6. REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
 7. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
 8. THIS SITE CONTAINS 131 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (126 REGULAR & 5 DISABLED).
 9. THIS SURVEY WAS PREPARED WITHOUT IDENTIFY A COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.
 10. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS, UNLESS OTHERWISE NOTED.

CERTIFICATION:
 TO CKE GROUP, INC:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, & 9 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 9/18/23.
 DATE OF PLAT OR MAP: 9/18/23

Digitally signed by
John F Pulice
 Date: 2024.02.23
 34 514 105 000

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290

- LEGEND & ABBREVIATIONS**
- CONCRETE
 - ASPHALT PAVEMENT
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - CENTERLINE
 - R= RADIUS
 - CA= CENTRAL ANGLE
 - A= ARC LENGTH
 - FPL FLORIDA POWER & LIGHT COMPANY
 - LB LICENSED BUSINESS
 - O.R.B. OFFICIAL RECORDS BOOK
 - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - PALM TREE
 - OAK TREE
 - UNIDENTIFIED TREE



NO.		REVISIONS		BY

TACO BELL - FORT LAUDERDALE
 945-851 WEST SUNRISE BOULEVARD
 FORT LAUDERDALE, FLORIDA 33311
 (CITY OF FORT LAUDERDALE, BROWARD COUNTY)

**BOUNDARY AND TOPOGRAPHIC SURVEY
 ALTA/NSPS LAND TITLE SURVEY**

PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 TELEPHONE: (954) 572-1777
 FAX: (954) 572-1778
 E-MAIL: survey@pulicelandsurveyors.com
 WEBSITE: www.pulicelandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: A.R. SCALE: 1" = 20' CLIENT: CKE GROUP, INC.
 CHECKED BY: J.F.P. SURVEY DATE: 9/18/23 ORDER NO.: 71862

TACO BELL - FORT LAUDERDALE

A PORTION OF TRACT "B", "LAUDERDALE MANORS ADDITION" (P.B. 30, PG. 10) IN SECTION 33,
TOWNSHIP 49 SOUTH, RANGE 42 EAST, AND SECTION 4, TOWNSHIP 50 SOUTH, RANGE 42 EAST
CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

PREPARED BY
PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777

FEBRUARY 2024

LEGAL DESCRIPTION:

ALL THAT PART OF TRACT "B" OF "LAUDERDALE MANORS ADDITION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 30 AT PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY LYING SOUTH OF A LINE DRAWN FROM A POINT BEING THE POINT OF INTERSECTION OF THE NORTH AND WEST BOUNDARIES EXTENDED OF BLOCK 155 OF CHATEAU PARK SECTION "B", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 9 AT PAGE 68 OF THE PUBLIC RECORDS OF BROWARD COUNTY, AND RUN WESTERLY TO A POINT BEING THE POINT OF INTERSECTION OF THE NORTH AND EAST BOUNDARIES EXTENDED OF BLOCK "H" OF "LAUDERDALE MANORS ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 30 AT PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, AND CONTAINING 1.596 ACRES, MORE OR LESS.

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: HARVEST SQUARE PARTNERS LP, A PENNSYLVANIA LIMITED PARTNERSHIP, OWNER OF THE LANDS DESCRIBED HEREON, HAS CAUSED SAID LANDS TO BE PLATTED AS SHOWN HEREON AND TO BE KNOWN AS "TACO BELL FORT LAUDERDALE".

- TRACT RW AS SHOWN HEREON IS HEREBY DEDICATED AND GRANTED IN FEE SIMPLE TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION FOR THE PERPETUAL USE OF THE PUBLIC FOR ROADWAY PURPOSES.

IN WITNESS WHEREOF: HARVEST SQUARE PARTNERS LP, A PENNSYLVANIA LIMITED PARTNERSHIP, HAS CAUSED THESE PRESENTS TO BE SIGNED FOR AND ON ITS BEHALF BY _____, ITS _____, IN THE PRESENCE OF THESE TWO WITNESSES, THIS _____ DAY OF _____, 202__.

WITNESS: _____ HARVEST SQUARE PARTNERS LP
A PENNSYLVANIA LIMITED PARTNERSHIP
PRINT NAME: _____
WITNESS: _____
BY: _____
NAME: _____
TITLE: _____
PRINT NAME: _____

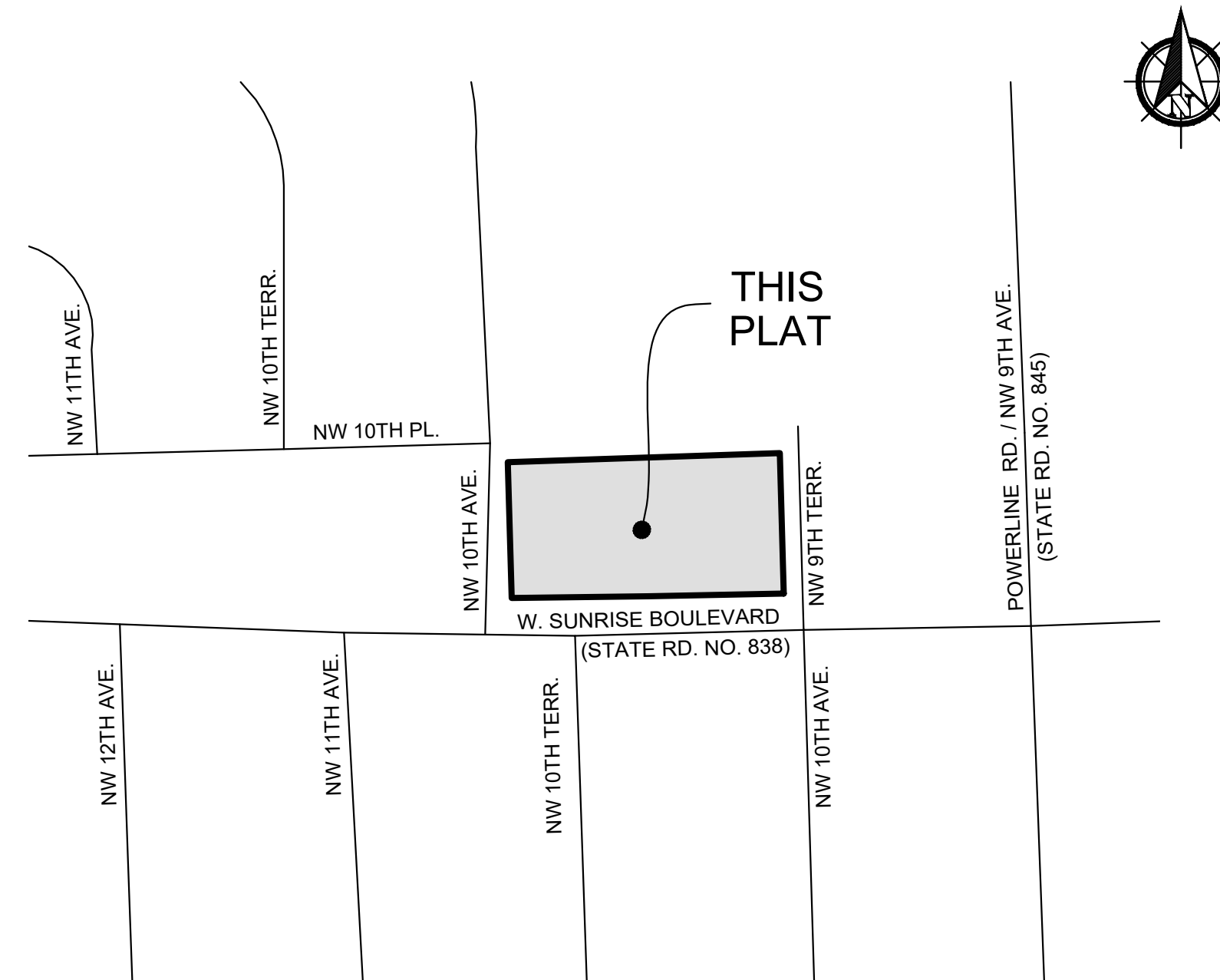
ACKNOWLEDGMENT:

STATE OF _____ }
COUNTY OF _____ } ss

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF [] PHYSICAL PRESENCE OR [] ONLINE NOTARIZATION, THIS _____ DAY OF _____, 202__, BY _____ AS _____ OF HARVEST SQUARE PARTNERS LP, A PENNSYLVANIA LIMITED PARTNERSHIP, ON BEHALF OF THE COMPANY, WHO IS [] PERSONALLY KNOWN TO ME OR [] HAS PRODUCED _____ AS IDENTIFICATION.

WITNESS: MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 202__.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC -- STATE OF _____
COMMISSION NUMBER: _____ PRINT NAME: _____



LOCATION MAP
NOT TO SCALE

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND RECENTLY SURVEYED AND PLATTED UNDER MY DIRECTION AND SUPERVISION, THAT THE SURVEY DATA COMPLIES WITH ALL OF THE APPLICABLE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE, AND THAT THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) WERE SET IN ACCORDANCE WITH SAID CHAPTER 177.

BY: _____ DATE _____
JOHN F. PULICE
PROFESSIONAL SURVEYOR AND MAPPER NO. LS2691
STATE OF FLORIDA
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FL 33351
CERTIFICATE OF AUTHORIZATION NO. LB3870

FORT LAUDERDALE CITY COMMISSION:

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD BY THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, BY RESOLUTION NO. _____ ADOPTED BY THE SAID CITY COMMISSION THIS _____ DAY OF _____, 202__.

CONCURRENCY/IMPACT FEES FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT SHALL BE PAID ON THE DATE OF BUILDING PERMIT ISSUANCE.

IN WITNESS WHEREOF: THE SAID CITY COMMISSION HAS CAUSED THESE PRESENTS TO BE ATTESTED BY ITS CITY CLERK AND THE CORPORATE SEAL OF SAID CITY TO BE AFFIXED THIS _____ DAY OF _____, 202__.

BY: _____ DATE _____
DAVID R. SOLOMON
CITY CLERK

FORT LAUDERDALE PLANNING AND ZONING BOARD:

THIS IS TO CERTIFY: THAT THE PLANNING AND ZONING BOARD OF THE CITY OF FORT LAUDERDALE, FLORIDA, HAS APPROVED AND ACCEPTED THIS PLAT FOR RECORD THIS _____ DAY OF _____, 202__.

BY: _____ DATE _____
CHAIR

FORT LAUDERDALE CITY ENGINEER:

THIS PLAT IS HEREBY APPROVED FOR RECORD THIS _____ DAY OF _____, 202__.

BY: _____
DANIEL A. REY, P.E.
CITY ENGINEER
FLORIDA PROFESSIONAL ENGINEER
REGISTRATION NO. 81248

BROWARD COUNTY RESILIENT ENVIRONMENT DEPARTMENT:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD.

BY: _____ DATE _____
DIRECTOR/DESIGNEE

BROWARD COUNTY PLANNING COUNCIL:

THIS IS TO CERTIFY: THAT THE BROWARD COUNTY PLANNING COUNCIL HAS APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH THE DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS _____ DAY OF _____, 202__.

BY: _____
CHAIRPERSON

THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, 20__.

BY: _____
EXECUTIVE DIRECTOR OR DESIGNEE

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - MINUTES SECTION:

THIS IS TO CERTIFY: THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS _____ DAY OF _____, 202__.

BY: _____
MAYOR, COUNTY COMMISSION

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, FLORIDA STATUTES AND APPROVED AND ACCEPTED FOR RECORD.

BY: _____ DATE _____
ROBERTO CHAVEZ
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. LS7280

BY: _____ DATE _____
RICHARD TORNESE
DIRECTOR
FLORIDA PROFESSIONAL ENGINEER
REGISTRATION NO. 40263

CITY CLERK	CITY ENGINEER	COUNTY SURVEYOR	COUNTY ENGINEER	PLATTING SURVEYOR

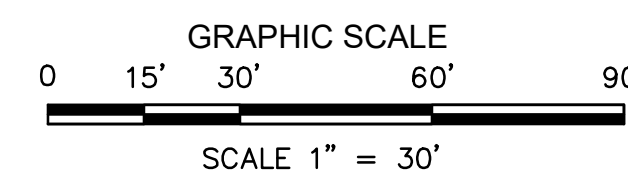
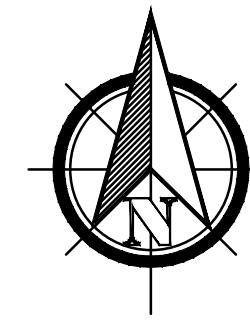
TACO BELL - FORT LAUDERDALE

A PORTION OF TRACT "B", "LAUDERDALE MANORS ADDITION" (P.B. 30, PG. 10) IN SECTION 33,
TOWNSHIP 49 SOUTH, RANGE 42 EAST, AND SECTION 4, TOWNSHIP 50 SOUTH, RANGE 42 EAST
CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

PREPARED BY
PULICE LAND SURVEYORS, INC.

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954-572-1777

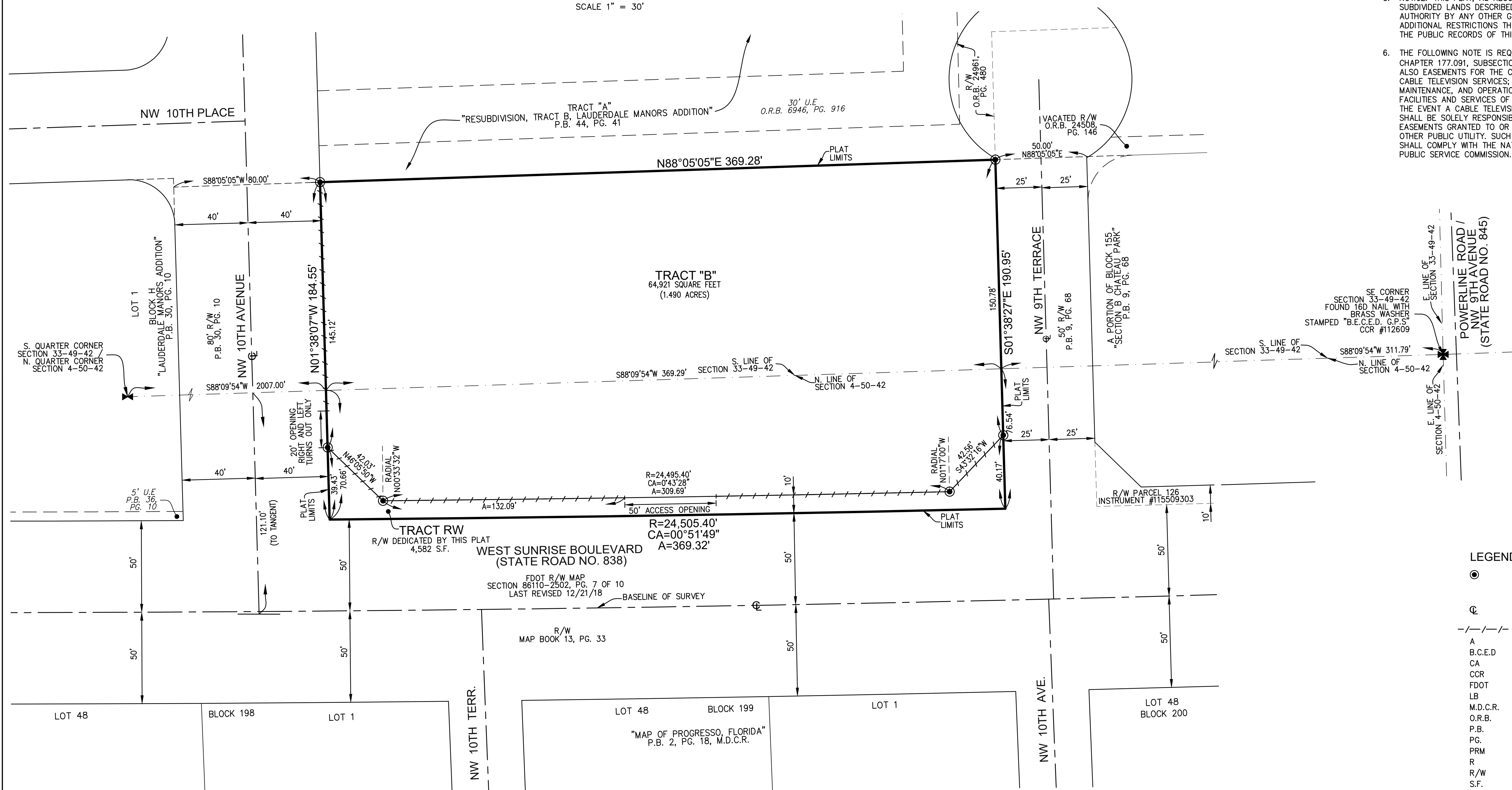
FEBRUARY 2024



SURVEYOR'S NOTES:

- THIS PLAT IS RESTRICTED TO 17,640 SQUARE FEET OF COMMERCIAL USE.

THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THERETO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
- ANY STRUCTURE WITHIN THIS PLAT MUST COMPLY WITH SECTION 2.1.f., DEVELOPMENT REVIEW REQUIREMENTS, OF THE BROWARD COUNTY LAND USE PLAN, REGARDING HAZARDS TO AIR NAVIGATION.
- BEARINGS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT, FL-E ZONE, WITH THE SOUTH LINE OF SECTION 33, TOWNSHIP 49 SOUTH, RANGE 42 EAST BEING S88°09'54"W.
- ALL RECORDED DOCUMENTS DEPICTED HEREON ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY UNLESS OTHERWISE NOTED.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 177.091, SUBSECTION (28), FLORIDA STATUTES. PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS NOTE DOES NOT APPLY TO PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.



LEGEND AND ABBREVIATIONS:

- ⊙ = PRM (SET 4"x4"x24" CONCRETE MONUMENT WITH 2" ALUMINUM DISC STAMPED "PRM LB3870" UNLESS OTHERWISE NOTED)
- ⊕ = CENTERLINE
- - - - - = NON-VEHICULAR ACCESS LINE
- A = ARC LENGTH
- B.C.E.D = BROWARD COUNTY ENGINEERING DEPARTMENT
- CA = CENTRAL ANGLE
- CCR = CERTIFIED CORNER RECORD
- FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION
- LB = LICENSED BUSINESS
- M.D.C.R. = MIAMI-DADE COUNTY RECORDS
- O.R.B. = OFFICIAL RECORDS BOOK
- P.B. = PLAT BOOK
- PG. = PAGE
- PRM = PERMANENT REFERENCE MONUMENT
- R = RADIUS
- R/W = RIGHT-OF-WAY
- S.F. = SQUARE FEET
- U.E. = UTILITY EASEMENT



PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FL 33351

Phone: (954) 572-1777 Fax: (954) 572-1778
www.pulicelandsurveyors.com



February 23, 2024

Ms. Ella Parker
Urban Design and Planning Manager
City of Fort Lauderdale
700 NW 19th Avenue
Fort Lauderdale, FL 33301

RE: "TACO BELL FORT LAUDERDALE" PLAT – 945-951 W. SUNRISE BLVD.

Dear Ms. Parker:

Enclosed please find the submittal of a plat application pertaining the above-referenced property. The applicant is planning to utilize the southeast portion of the existing parking lot to construct a new fast food restaurant, intended to be drive-thru/pick-up only. During Site Plan review, platting was advised to ensure proper development of this parcel, which is also identified by Folio # 494233210020. It is generally located on the north side of Sunrise Boulevard, between NW 9th Terrace and NW 10th Avenue, just west of Powerline Road. Property is zoned B-1 (Boulevard Business), with a Commercial Land Use designation.

Following, please find the ULDR Sections applicable to this petition, with our responses **in bold**.

Sec. 47-24.5 Subdivision Regulations

A. Subdivision approval.

1. *Applicability of subdivision regulations.* No person shall create a subdivision of land nor develop land in the city unless it conforms to these regulations. A subdivision shall be defined as the division of land into two (2) or more lots, sites, tracts, parcels or other designations whether by recorded plat, unrecorded plat, or by metes and bounds description.

RESPONSE: The purpose of this application is to request approval of a single-parcel Boundary Plat.

2. *Platting required.* No building permit shall be issued nor shall a certificate of occupancy be issued for the construction of a principal building on a parcel of land unless a plat including the parcel or parcels of land has been recorded in the public records of Broward County subsequent to June 4, 1953 (Commencing at P.B. 32, p.15), except as provided herein.

RESPONSE: Platting is required for the proposed improvement to this property. We understand that any permits for the new Taco Bell building will not be issued until this plat is officially recorded in the Public Records of Broward County.

3. *Exceptions to platting.* The requirements in subsection A.2, shall not apply to an application for a building permit which meets any one (1) or more of the following criteria: [various clauses follow in the ULDR Code text]

RESPONSE: We are not requesting to be exempt from platting.

4. *Resubdivision of lots of record.* Division of lots in a subdivision of record shall be permitted as follows: [various clauses follow in the ULDR Code text]

RESPONSE: This provision is not applicable in this case because the applicant is not requesting to replat an established lot of record.

B. *Procedure for preparation and filing of plats.*

RESPONSE: Our firm is familiar with plat preparation and its filing process, and will follow all required procedure.

C. *Plat technical specifications.*

RESPONSE: This plat was prepared meeting all technical specifications set forth by this provision.

D. *Subdivision layout.*

RESPONSE: Applicant has decided not to subdivide the property into two parcels but rather keep this as a boundary plat, with no proposed streets, alleys, reservations or canals within the plat limits. This plat does not modify the existing street system of the surrounding area.

E. *Required subdivision improvements.*

RESPONSE: Acknowledged.

F. *Recordation and expiration of plat.* Proof must be submitted to the City Commission prior to the adoption of a resolution approving the plat that the persons signing the plat and executing the dedication are all of the owners of all of the property platted or replatted. The approval of all persons holding mortgage liens against any property platted or replatted shall appear upon the plat. Such plat or replat must be recorded in the official records of the county within three (3) years after the adoption of the resolution approving same; otherwise the approval is automatically rescinded and canceled, and the plat shall become null and void.

RESPONSE: Applicant acknowledges that a mylar of the plat shall be provided to Staff in order to be scheduled for City Commission consideration, and said mylar must be properly signed by authorized persons. Recordation process will start at Broward County as soon as the plat is approved by the City Commission.

Sec. 47-25.2 Adequacy Requirements

A. *Applicability.* The adequacy requirements set forth herein shall be used by the City to evaluate the demand created on public services and facilities created by a proposed development permit.

RESPONSE: Informational.

B. *Communications network.* Buildings and structures shall not interfere with the City's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the City's communication network within the development proposal.

RESPONSE: Further development of this property as proposed will not interfere with the City's communication network.

C. *Drainage facilities.* Adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2 ½) inches of runoff from the impervious surface whichever is greater.

RESPONSE: Informational.

D. *Environmentally sensitive lands.*

1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an application for development shall be reviewed in accordance with the following Broward County Ordinances

which address environmentally sensitive lands and wellfield protection which ordinances are incorporated herein by reference:

- a. Broward County Ordinance No. 89-6.
- b. Section 5-198(l), Chapter 5, Article IX of the Broward County Code of Ordinances.
- c. Broward County Ordinance No. 84-60.

RESPONSE: There are no environmentally sensitive lands located on this property.

2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.

RESPONSE: There will be no impact to land that would require to be mitigated as a result of the proposed construction.

E. *Fire protection.* Fire protection service shall be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

RESPONSE: Adequate water supply and access to fire apparatus will be provided in accordance with the Florida Building Code, South Florida Fire Code and other applicable safety standards. Fire hydrants are currently available as the property is located on a busy commercial corridor.

F. *Parks and open space.*

1. The manner and amount of providing park and open space is as provided in Section 47-38A, Park Impact Fees, of the ULDR.

RESPONSE: Informational.

2. No building permit shall be issued until the park impact fee required by Section 47-38A of the ULDR has been paid in full by the applicant.

RESPONSE: Acknowledged.

G. *Police protection.* Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention Through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.

RESPONSE: Police protection will be provided by the Fort Lauderdale Police Department.

H. *Potable water.*

1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.

RESPONSE: Informational; any additional requirements to provide potable water service to the proposed building will be addressed by the Site Plan review.

2. Potable water facilities:

- a. If the system is tied into the City treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
- b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.
- c. Where the County is the projected service provider, a similar written assurance will be required.

RESPONSE: Acknowledged.

I. *Sanitary sewer.*

1. If the system is tied into the City treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
2. If there is adequate capacity available in the City treatment plant to serve the proposed development, the City shall reserve the necessary capacity to serve the proposed development.
3. Where the County is the projected service provider, a written assurance will be required.
4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.

RESPONSE: Sewer facilities shall be determined at time of building permit; however, the proposed building will most likely utilize and/or improve (if required) existing utilities.

J. *Schools.* For all development including residential units, the applicant shall be required to mitigate the impact of such development on public school facilities in accordance with the Broward County Land Development Code or section 47-38C. Educational Mitigation, as applicable and shall provide documentation to the city that such education mitigation requirement has been satisfied.

RESPONSE: N/A; this plat is not intended for residential use.

K. *Solid waste.*

1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements.
2. Solid waste facilities. Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.

RESPONSE: Requirements for proper solid waste disposal will be addressed by review of the Site Plan application.

L. *Stormwater.* Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code, City engineering standards and other accepted applicable engineering standards.

RESPONSE: Proper on-site drainage and run-off calculations will be provided through the Site Plan review process.

M. Transportation facilities.

1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.

RESPONSE: Informational.

2. Regional transportation network. The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans, and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the City, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable.

RESPONSE: Acknowledged.

3. Local streets. Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the City's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the City engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.

RESPONSE: Acknowledged.

4. Traffic impact studies.

- a. When the proposed development may generate over one thousand (1,000) daily trips; or
- b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half (1/2) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half (1/2) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in trafficways impact analysis which shall:
 - i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.

- ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed trafficways.
- iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local trafficways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.
- iv. A further detailed analysis and any other information that the review committee considers relevant.
- v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.
- vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

RESPONSE: Traffic Study requirement shall be determined at time of Site Plan review; however, the proposed additional use for this property is expected to produce less than 1,000 trips.

5. Dedication of rights-of-way. Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the City's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

RESPONSE: This plat dedicates 10 feet of additional right-of-way to complete the 120 feet of width for Sunrise Boulevard as depicted on the Broward County's Trafficways Map, as well as corner chords for both NW 9th Terrace and NW 10th Avenue.

6. Pedestrian facilities. Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the City and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with City engineering standards and accepted applicable engineering standards.

RESPONSE: We understand that the existing sidewalk will remain; other pedestrian facilities shall be discussed at Site Plan level.

7. Primary arterial street frontage. Where a proposed development abuts a primary arterial street either existing or proposed in the trafficways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a nonaccess reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.

RESPONSE: Acknowledged.

8. Other roadway improvements. Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.

RESPONSE: Acknowledged.

9. Street trees. In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street

tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.

RESPONSE: Landscape Plan in compliance with City requirements will be provided with the Site Plan application.

N. *Wastewater.* Adequate wastewater services shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.

RESPONSE: Acknowledged.

O. *Trash management requirements.* A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.

RESPONSE: Information will be transmitted to the developer.

P. *Historic and archaeological resources.* If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.


RESPONSE: This property does not carry any archaeological or historical significance.

Q. *Hurricane evacuation.* If a structure or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.

RESPONSE: N/A; this plat is located west of the Intracoastal Waterway.

If there are any questions or if we can be of further assistance, please give us a call. Thank you.

For **PULICE LAND SURVEYORS, INC.**


Elizabeth Tsouroukdissian,
Platting Assistant

This Instrument Prepared by
Geil S. Bilu, P.A.
7822 NW 44 Street
Sunrise, FL 33351

and Return to:

Straight Line Title
323 Sunny Isles Blvd, Suite 508
Sunny Isles Beach, FL 33160

Property Appraisers Parcel Identification (Folio) Number(s): **494233210020**

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS SPECIAL WARRANTY DEED, made and executed the 23rd day of June, 2022 by PIC N PAYLESS NO. 3, INC., a Florida Corporation, having its principal place of business at 17530 SW 68TH COURT, SOUTHWEST RANCHES, FL 33331, herein called the grantor, to Harvest Square Partners LP, a Pennsylvania Limited Partnership, whose post office address is: 3101 N Federal Highway, Oakland Park , FL 33306, hereinafter called the Grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of Corporation)

WITNESSETH: That the grantor, for and in consideration of the sum of Three Million Four Hundred Thousand and 00/100 (\$3,400,000.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in BROWARD County, State of Florida, viz:

The land referred to in this Commitment is described as follows:

All that Part of Tract "B" of LAUDERDALE MANORS ADDITION, according to the Plat thereof, recorded in Plat Book 30 at Page 10 of the Public Records of Broward County; lying South of a line drawn from a point being the Point of Intersection of the North and West boundaries extended of Block One Fifty-Five (155) of CHATEAU PARK SECTION "B", according to the Plat thereof, recorded in Plat Book 9 at Page 68 of the Public Records of Broward County, and run Westerly to a point being the Point of Intersection of the North and East boundaries extended of Block "H" of LAUDERDALE MANORS ADDITION, according to the Plat thereof recorded in Plat Book 30 at Page 10 of the Public Records of Broward County, Florida.

Subject to easements, restrictions and reservations of record and to taxes for the year 2022 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining. **TO HAVE AND TO HOLD**, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that except as above noted, at the time of delivery of this Special Warranty Deed the premises were free of all encumbrances made by them, and they will warrant and defend the same against the lawful claims of all persons claiming by, through or under grantor.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Handwritten Signature]

Witness #1 Signature

[Handwritten Signature]

Witness #1 Printed Name

[Handwritten Signature]

Witness #2 Signature

[Handwritten Signature]

Witness #2 Printed Name

PIC N PAYLESS NO. 3, INC., a Florida Corporation

[Handwritten Signature]

ROBERT SALAMON, President

State of Florida

County of Broward

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 23rd day of June, 2022, by ROBERT SALAMON, President of PIC N PAYLESS NO. 3, INC., a Florida Corporation on behalf of the Corporation. He/she is personally known to me or has produced FLA as identification.

SEAL

My Commission Expires:

[Handwritten Signature]

Notary Signature

[Handwritten Signature]

Printed Notary Signature

