



BOARD OF ADJUSTMENT MEETING NOTICE

Date: March 29th, 2024

A Public Hearing will be held before the Board of Adjustment on: **WEDNESDAY, APRIL 10, 2024 AT 6:00 PM.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-24020007
OWNER:	SILVA, MARTIN I
AGENT:	N/A
ADDRESS:	1301 NE 1 AVE, FORT LAUDERDALE, FL 33304
LEGAL DESCRIPTION:	LOT 12 LESS THE SOUTH 15 FEET FOR READ, BLOCK 82 OF PROGRESSO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 18 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. (SEE SURVEY).
ZONING DISTRICT:	RDS-15 - RESIDENTIAL SINGLE FAMILY / MEDIUM DENSITY
COMMISSION DISTRICT:	2
REQUESTING:	<u>Sec. 47-5.32. - Table of dimensional requirements for the RD-15 and RDs-15 districts. (Note A)</u>

- Requesting a variance from the minimum 10.0-foot corner yard setback to be reduced to an existing side yard setback of 0.0 feet, a total variance request of 10.0 feet.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA>
OR www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR


Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-24020007


LEGEND

 Subject Site

N



0 100 200 US Feet



CASE: PLN-BOA-24020007

Sec. 47-5.32. - Table of dimensional requirements for the RD-15 and RDs-15 districts. (Note A)

<i>Requirements</i>	<i>Single Family Dwelling</i>	<i>Single Family Dwelling, Attached: Duplex/Two(2) Family Dwelling</i>	<i>Single Family Dwelling: Zero-Lot-Line</i>	<i>Single Family Dwelling, Attached: Cluster</i>
Maximum density (du/net acre)	15	15	15	15
Minimum lot size (sq. ft.)	6,000	6,000 3,000 each du	4,000	3,000 each du
Maximum structure height (ft.)	35	35	35	35
Maximum structure length (ft.)	None	None	None	None
Minimum lot width (ft.)	50	50	40	See Section 47-18.9
Minimum floor area (sq. ft.)	700	700 each du	1,000	750 each du
Minimum front yard (ft.)	25	25	25	25
Minimum corner yard (ft.)	25% of lot width but not less than 10 ft. nor greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not less than 10 ft. nor greater than 25 ft. 25 ft. when abutting a waterway	See Section 47-18.38 25 ft. when abutting a waterway	25% of lot width but not less than 10 ft. nor greater than 25 ft. 25 ft. when abutting a waterway
Minimum side yard (ft.)	5 ft. - up to 22 ft. in height	Same as for single-family requirement	See Section 47-18.38	See Section 47-18.9

	Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 ft. per foot of additional height 25 ft. when abutting a waterway	25 ft. when abutting a waterway	25 ft. when abutting a waterway	25 ft. when abutting a waterway
Minimum rear yard (ft.)	15 25 ft. when abutting a waterway	15 25 ft. when abutting a waterway	15 25 ft. when abutting a waterway	See Section 47-18.9 25 ft. when abutting a waterway
Minimum distance between buildings (ft.)	None	None	None	None

Note A: Dimensional requirements may be subject to additional regulations, see [Section 47-23](#), Specific Location Requirements, and [Section 47-25](#), Development Review Criteria.

Record

Showing 1-40 of 43

<input type="checkbox"/>	Record_Permit_or_Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	CE24030643	NEIGHBOR ALLEGES - that owner and landscape guy c...		Code Case	0	Gail Williams	1301	NE	1	AVE		Closed
<input type="checkbox"/>	PLN-BOA-24020007		Grandfather variance request	Z- Board of Adjustment (BOA)	106		1301	NE	1	AVE		Open
<input type="checkbox"/>	BLD-GEN-24020119	INSTALL MODIFIED 2-PLY SYSTEM TORCH FUSION 806SQF...	Re-Roof Permit	Structural Permit	0		1301	NE	1	AVE		Pending M
<input type="checkbox"/>	MEC-RES-23110029			Mechanical Residential Permit	159		1301	NE	1	AVE		Awaiting C
<input type="checkbox"/>	PLB-RES-23110090	FIXTURES AND NEW SHOWER PAN	FIXTURES AND NEW SHOWER PAN	Plumbing Residential Permit	0		1301	NE	1	AVE		Pending M
<input type="checkbox"/>	ELE-RES-23110079	NEW OUTLET SWITCHES LED LIGHTS AND SMOKE DECTORS	NEW OUTLET SWITCHES LED LIGH...	Electrical Residential Permit	0		1301	NE	1	AVE		Pending M
<input type="checkbox"/>	BLD-WIN-23110042	11 IMPACT WINDOWS AND 2 SLIDING IMPACT GLASS DOORS	11 IMPACT WINDOWS AND 2 SLID...	Window and Door Permit	0		1301	NE	1	AVE		Awaiting C
<input type="checkbox"/>	BLD-RADD-23110012	656 SQFT NEW ADDITION BACK OF THE HOUSE	656 SQFT NEW ADDITION BACK O...	Residential Addition Permit	941.28		1301	NE	1	AVE		Awaiting C
<input type="checkbox"/>	VR-RENEWAL-23050049			Vacation Rental Registry Renewal	0		1301	NE	1	AVE		Issued
<input type="checkbox"/>	BLD-FEN-22080064	REPLACE WOOD FENCE 190 LF		Fence Permit	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	VR-RENEWAL-22040084			Vacation Rental Registry Renewal	0		1301	NE	1	AVE		Issued
<input type="checkbox"/>	VR-RENEWAL-21060005			Vacation Rental Registry Renewal	0		1301	NE	1	AVE		Issued
<input type="checkbox"/>	BLD-WIN-21010052	DOOR REPLACEMENT SWINGING DOOR	DOOR REPLACEMENT SWINGING DOOR	Window and Door Permit	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	BT-GEN-REN-20075579		General Renewal	General Business Tax Renewal	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	BT-GEN-20060651		SILVA, MARTIN I	General Business Tax Receipt	0		1301	NE	1	AVE		Open
<input type="checkbox"/>	VRR-1802042		SILVA, MARTIN I	Vacation Rental Registry	0		1301	NE	1	AVE		Active
<input type="checkbox"/>	VIO-CE18121431_1	HOST COMPLIANCE - OPERATING A VACATION RENTAL	SILVA,MARTIN I	Violation-CODE Hearing	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	CE18121431	HOST COMPLIANCE - OPERATING A VACATION RENTAL, WI...	SILVA,MARTIN I	Code Case	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	VIO-CE18120424_1	WHILE ON A ROUTINE INSPECTION I OBSERVED	SILVA,MARTIN I	Violation-BLD Hearing	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	CE18120424	WHILE ON A ROUTINE INSPECTION I OBSERVED, PAVERS ...	SILVA,MARTIN I	Building Code Case	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	PM-17121847	ATF REPLACE 30FT OF WOOD FENCE ~ ~1/2/19-RECHECK-...	ATF REPLACE 30FT OF WOOD FENCE	Fence Permit	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	VIO-CE17100547_2	OG	SILVA,MARTIN I	Violation-CODE Hearing	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	VIO-CE17100547_1	OG	SILVA,MARTIN I	Violation-CODE Hearing	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	CE17100547	OG, OG	SILVA,MARTIN I	Code Case	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	PM-17090325	ATF: INSTALL ONSITE PAVERS ONLY ~ ~1/2/19-RECHECK...	ATF: INSTALL ONSITE PAVERS ONLY	Residential Paving Permit	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	PM-17061610	RE ROOF SHINGLE AND FLAT ~NOC ~ ~WALK THRU	RE ROOF SHINGLE AND FLAT	Re-Roof Permit	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	VIO-CE17050854_1		KASSEM,NASSER	Violation-CODE Hearing	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	CE17050854	L/S ACCURATE LIEN SEARCH 0 OPEN CASES	KASSEM,NASSER	Code Case	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	VIO-CE16090331_1	STAINED EXTERIOR WALLS VIEWABLE FROM 13 ST	KASSEM,NASSER	Violation-CODE Hearing	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	CE16090331	STAINED EXTERIOR WALLS VIEWABLE FROM 13 ST	KASSEM,NASSER	Code Case	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	VIO-CE15010461_1	NO HOUSE NUMBERS DISPLAYED // CARS ON THE LAWN	KASSEM,NASSER	Violation-BLD Hearing	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	CE15010461	NO HOUSE NUMBERS DISPLAYED // CARS ON THE LAWN, K...	KASSEM,NASSER	Building Code Case	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	PM-13121337	INSTALL LOW VOLTAGE BURGLAR ALARM	INSTALL LOW VOLTAGE BURGLAR ...	Electrical Burglar Alarm	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	PM-13071555	INSTALL ACCORDION SHUTTERS FOR 14 OPENINGS 4/16/1...	INSTALL ACCORDION SHUTTERS F...	Shutter Permit	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	PM-13071554	R AND R 1 DOOR W IMPACT 4/16/14 PERMIT RENEWAL ~B400	R AND R 1 DOOR W IMPACT 4/16...	Window and Door Permit	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	PM-13070817	REPLACE 2.5 TON AC	REPLACE 2.5 TON AC	Mechanical HVAC Changeout Permit	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	VIO-CE12021373_4	WINDOWS AND FRONT DOOR WERE REPLACED AND A CENTRAL	KASSEM,NASSER	Violation-BLD Hearing	0		1301	NE	1	AVE		Complied
<input type="checkbox"/>	VIO-CE12021373_3	WINDOWS AND FRONT DOOR WERE REPLACED AND A CENTRAL	KASSEM,NASSER	Violation-BLD Hearing	0		1301	NE	1	AVE		Complied
<input type="checkbox"/>	VIO-CE12021373_2	WINDOWS AND FRONT DOOR WERE REPLACED AND A CENTRAL	KASSEM,NASSER	Violation-BLD Hearing	0		1301	NE	1	AVE		Complied
<input type="checkbox"/>	VIO-CE12021373_1	WINDOWS AND FRONT DOOR WERE REPLACED AND A CENTRAL	KASSEM,NASSER	Violation-BLD Hearing	0		1301	NE	1	AVE		Complied

Record

Showing 41-43 of 43

<input type="checkbox"/>	<u>Record, Permit, or Account #</u>	<u>Record Description</u>	<u>Application Name</u>	<u>Record Type</u>	<u>Balance</u>	<u>Planner Name</u>	<u>Street #</u>	<u>Dir</u>	<u>Street Name</u>	<u>Type</u>	<u>Unit # (start)</u>	<u>Status</u>
<input type="checkbox"/>	CE12021373	WINDOWS AND FRONT DOOR WERE REPLACED AND A CENTRA...	KASSEM,NASSER	Building Code Case	0		1301	NE	1	AVE		Closed
<input type="checkbox"/>	PM-06030404	AFT FACT REPLACED WOOD FENCE 6X85	AFT FACT REPLACED WOOD FENCE...	Fence Permit	0		1301	NE	1	AVE		Complete
<input type="checkbox"/>	AB-0018720		GARRIDO GUSTAVO	Resident/Business Alarm Registration	0		1301	NE	1	AVE		Active



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: APRIL 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24020007

Sec. 47-5.32. - Table of dimensional requirements for the RD-15 and RDs-15 districts. (Note A).

• Requesting a variance from the minimum 10.0-foot corner yard setback to be reduced to an existing side yard setback of 0.0 feet, a total variance request of 10.0 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use. Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-24020007

APPLICANT: MARTIN SILVA

PROPERTY: 1301 NE 1 AV FORT LAUDERDALE FL 33304

PUBLIC HEARING DATE: 03-26-2024

BEFORE ME, the undersigned authority, personally appeared _____, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULR, I will forfeit my sign deposit. _____ (initial here)

[Signature]
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 27 day of MARCH, 2024



[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES: 6-7-25





BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 01/30/2024 APPLICATION FORM: BOA

GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL
Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@fortlauderdale.gov
Phone: 954-828-6520, Option 5

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input checked="" type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Martin Silva I
Property Owner's Signature	<i>Martin Silva I</i> <small>Signature is required on the application by the owner</small>
Address, City, State, Zip	1301 NE 1st Ave Fort Lauderdale, FL 33304
E-mail Address	docesesenta@hotmail.com
Phone Number	786 414 7079
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed_or <input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Agent Authorization Form Submitted	<input type="checkbox"/>

Include ANY Related code case/permit #

Existing / New	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: 1301 NE 1st Ave. Fort Lauderdale, FL 33304
Legal Description	PROGRESSO 2-18 D LOT 12 LESS S 15 FOR RD BLK 82
Tax ID Folio Numbers <small>(For all parcels in development)</small>	494234026440
Variance/Special Exception Request <small>(Provide a brief description of your request)</small>	To allow the construction of an addition with a corner lot continuing the wall of the existing house
Applicable ULDR Sections <small>(Include all code sections)</small>	Sec. Code: 47-5.32

Current Land Use Designation	Residential
Current Zoning Designation	RDS 15
Current Use of Property	Residential
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

	Setbacks (Indicate direction N, S, E, W)	Required	Proposed
Front	E	25'	30.61'
Side	N	5'	5'
Side	S	10'	0'
Rear	W	15'	15'

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page and attach narrative. If additional space is needed, attach additional page(s).

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

The property is only 35' wide and the existing property is 0 setback on south size NW 13th st.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

Existing house with not setback

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

Grandfather regulations. The property was legal in 1948

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

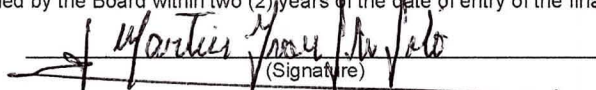
The property was purchased like that

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

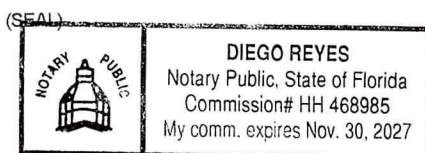
Continued the existing property setback


AFFIDAVIT: I, Martin Silva the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.


(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 24 day of February, 2024




NOTARY PUBLIC
MY COMMISSION EXPIRES: 11/30/2027

Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete.

Note: 14 Copy Sets of each item below will be DUE AFTER your application has been deemed complete. A meeting with staff is required prior to submitting your electronic BOA application submittal via Lauderbuild. If the property owner/agent has met with staff, you may proceed with your electronic application submittal. If the property owner/agent has not met with staff, a meeting with staff is needed. *Meeting Request information can be found on the cover page of the BOA application.

- Met with Zoning staff** - A meeting with staff is required prior to submitting your BOA application electronically.
- Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. *Submit the complete application form along with your submittal. Page 4 of the BOA application is due AFTER sign(s) are posted.
- Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
- Agent Authorization Form**- Authorization from ALL Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
- Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
- Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. *Must be the most recent survey and the date on the survey should not exceed one (1) year.
- Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents.
- Elevations**- If applicable (Elevations may be required by staff upon application submittal).
- Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
- Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
- Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19TH Avenue, Fort Lauderdale, Florida 33311**

City of Fort Lauderdale- Zoning Division (BOA)
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311

How To order a Tax Map and Notice List- To order a tax map and notice list, please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

How to Submit Your Application submittal- Submittals must be conducted through the City's Online Citizen Access portal- LauderBuild. No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

Prepared by and return to:
Gary Silberman, P.A
Office at Grand Bay Plaza
2665 South Bayshore Drive, Suite 725
Miami, Florida 33133

File Number: **BB-1714277**

(Space Above This Line For Recording Data)

Warranty Deed

This Warranty Deed, made this 31st day of May, 2017, between Gustavo M Garrido, a single man whose post office address is 1301 NE 1ST AVE FT LAUDERDALE FL, grantor, and Martin I Silva, a single man whose post office address is 8290 Lake Drive Apt 548, Doral, FL 33166, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in the Broward County, Florida, to-wit:

Lot 12, less South 12 for Road, Block 82, Progresso, according to the plat thereof, as recorded in Plat Book 2, Page 18, of the Public Records of Miami-Dade County, Florida, said lands situate, lying and being in Broward County, Florida

Parcel Identification Number: 4942 34 02 6440

Subject to current taxes, easements, and restrictions of record

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2016.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Jaime Manotas
Witness Name: SAMMIE MANOTAS

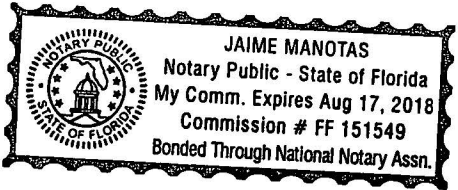
Gustavo M. Garrido
Gustavo M. Garrido

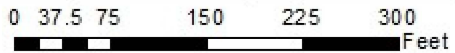
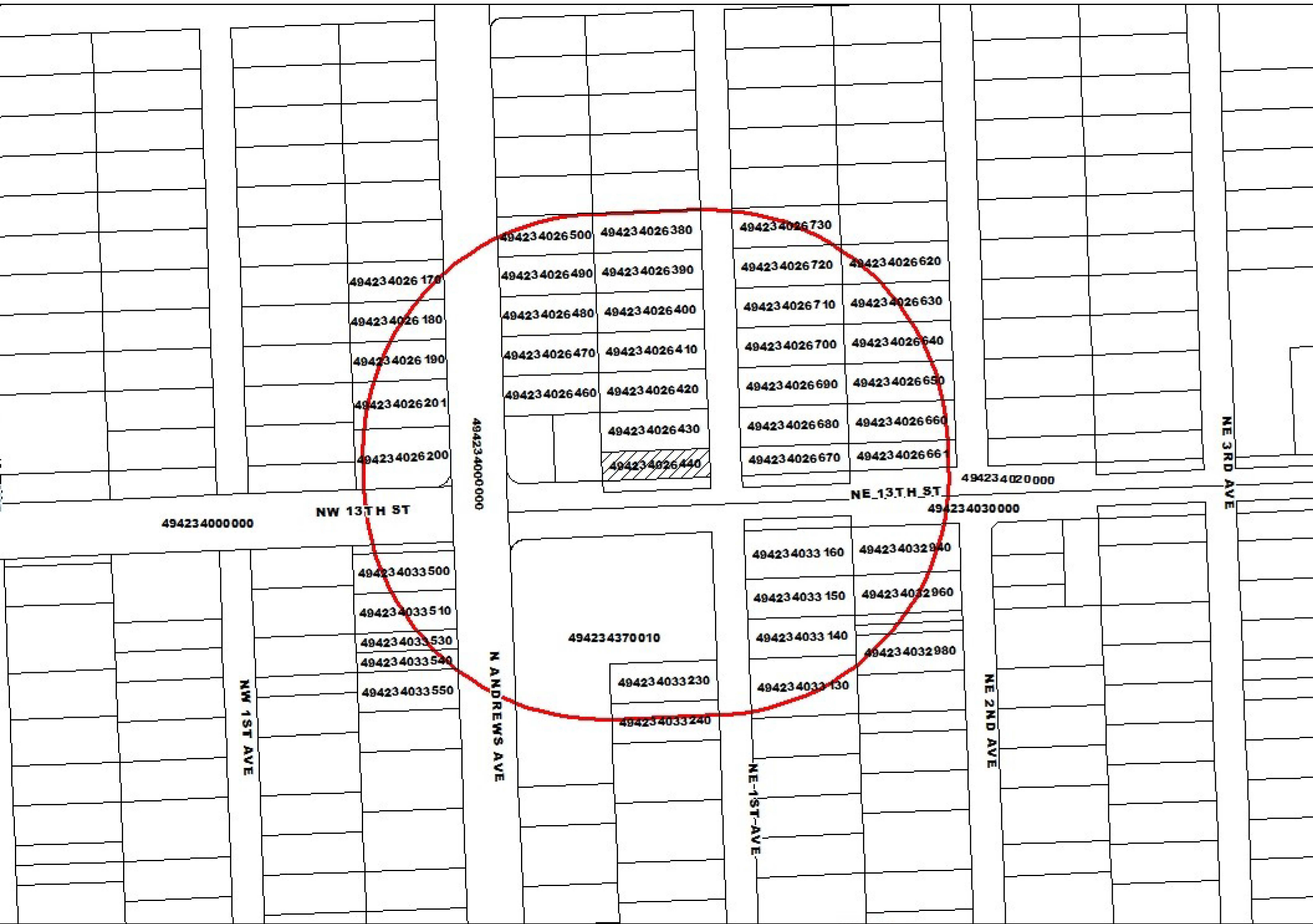
Jennifer M. Harris
Witness Name: JENNIFER M. HARRIS

State of Florida
County of Broward

The foregoing instrument was acknowledged before me this 31 day of May, 2017 by Gustavo M Garrido, a single man, he is personally known to me or has produced FL ID as identification.

Jaime Manotas
Notary Public
Printed Name: SAMMIE MANOTAS
My Commission Expires: _____





MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



1301 NW 1 AVE
DATE OF PRINT: 02/15/2024

FOLIO_NUMB	NAME_LINE_
494234026170	HOFF,ARTHUR JR
494234026180	ZURBARAN,MIGUEL ANTONIO F
494234026190	PEREA,ANGELY ROSA
494234026200	GADDIS,J RYAN
494234026201	GADDIS,GREGORY P
494234026380	BEROS,NICHOLAS I
494234026390	SEDACCA,BENSON
494234026400	AHLBERG,JEFFREY C
494234026410	ROCUSH,KAREN J
494234026420	WINNER,GARRETT E H/E
494234026430	CRUZ,EVELYN
494234026440	SILVA,MARTIN I
494234026441	CITY OF FORT LAUDERDALE
494234026450	SPINELLI,ROBERTO J
494234026451	SPINELLI,ROBERTO
494234026460	JOSEPH,KESNA
494234026470	GUTIERREZ,SEBASTIAN LOPEZ
494234026480	LAWRENCE,EVELYN
494234026490	KOEHLER,SHEILA R
494234026500	PG ANDREWS LLC
494234026620	BALL,WILLIAM CHRIS
494234026630	ROBINSON,CHRISTINA FAYE
494234026640	PUHEK,GREG
494234026650	ELIZE,ODANIE
494234026660	MATYKA,LISSA
494234026661	GONZALEZ,KATHERINE MARIA
494234026670	CHRISTIANSEN,KATHY
494234026671	CITY OF FORT LAUDERDALE
494234026680	NUNEZ,AURA L H/E
494234026690	GLASSMAN,CAREN JILL
494234026700	LAMB,CHRISTOPHER D
494234026710	INNERARITY,PETA-GAI
494234026720	KATZ,MARC H
494234026730	SCOTT,ANDREW
494234032940	MICHEL,RENE & TELIDIA
494234032960	OSHU 2 LLC
494234032970	SIDEBAR PROPERTIES LLC
494234032971	FOREMAN,PETER
494234032980	SIDEBAR PROPERTIES LLC
494234033130	STULL,JIM T
494234033140	JOSEPH,LARRY H/E
494234033150	IACINO,JOAN Y H/E
494234033160	THOMAS,BRIANNA I
494234033161	CITY OF FORT LAUDERDALE
494234033230	SALVAS,RODNEY D
494234033240	WEAVER,DARRYL LAMAR

494234033500 NOEL,MARELUS
494234033510 1324 SW LLC
494234033530 MJ INVESTMENT HOLDINGS INC
494234033540 MJ INVESTMENT HOLDINGS INC
494234033550 MCKINNEY,KEVIN J H/E
494234370010 FIRST CHURCH OF GOD FORT

NAME_LINE1

ROSABAL,DAILEN SUAREZ

GONZALEZ,JULIANA

ROCUSH,SCOTT A
HERRERA,GUILLERMINA
HEMPHILL,LYSANDER A

GUERRERO,PATRICIA

NUNEZ,GERALDO

WHITT,ERIC C

SCOTT,FIONA M

JOSEPH,PATRICE & BONHOMME,MAX
IACINO,RICHARD J

SATCHELL, MICHAEL D
LAUDERDALE INC ETAL

ADDRESS_LI	CITY	ST/ZIP
1321 N ANDREWS AVE	FORT LAUDERDALE	FL 33311
1317 N ANDREWS AVE	FORT LAUDERDALE	FL 33311
1313 N ANDREWS AVE	FORT LAUDERDALE	FL 33311
1301 N ANDREWS AVE	FORT LAUDERDALE	FL 33311
1307 N ANDREWS AVE	FORT LAUDERDALE	FL 33311
1325 NE 1 AVE	FORT LAUDERDALE	FL 33304
1321 NE 1 AVE	FORT LAUDERDALE	FL 33304
1317 NE 1 AVE	FORT LAUDERDALE	FL 33304
7793 LEE RD	WATERMAN	IL 60556
1309 NE 1 AVE	FORT LAUDERDALE	FL 33304
1305 NE 1 AVE	FORT LAUDERDALE	FL 33304
1301 NE 1 AVE	FORT LAUDERDALE	FL 33304
528 NW 2 ST	FORT LAUDERDALE	FL 33311
911 NW 45 AVE	COCONUT CREEK	FL 33066
PO BOX 4234	DEERFIELD BEACH	FL 33442
1308 N ANDREWS AVE	FORT LAUDERDALE	FL 33311
1312 N ANDREWS AVE	FORT LAUDERDALE	FL 33311
PO BOX 8624	FORT LAUDERDALE	FL 33310
1320 N ANDREWS AVE	FORT LAUDERDALE	FL 33311
1324 N ANDREWS AVE	FORT LAUDERDALE	FL 33311
1321 NE 2 AVE	FORT LAUDERDALE	FL 33304
1210 NE 1 AVE #1-2	FORT LAUDERDALE	FL 33304
3328 NE 18 ST	FORT LAUDERDALE	FL 33305
1300 NW 129 AVE	SUNRISE	FL 33323
1305 NE 2 AVE #1-2	FORT LAUDERDALE	FL 33304
1301 NE 2 AVE	FORT LAUDERDALE	FL 33304
1300 NE 1 AVE	FORT LAUDERDALE	FL 33304
528 NW 2 ST	FORT LAUDERDALE	FL 33311
1304 NE 1 AVE	FORT LAUDERDALE	FL 33304
1410 SHERIDAN ST #21-I	HOLLYWOOD	FL 33020
1312 NE 1 AVE	FORT LAUDERDALE	FL 33304
10 KINGS RD #301	MADISON	NJ 07940
1320 NE 1 AVE	FORT LAUDERDALE	FL 33304
1522 NE 17 TER	FORT LAUDERDALE	FL 33304
1245 NE 2 AVE	FORT LAUDERDALE	FL 33304
PO BOX 4174	FORT LAUDERDALE	FL 33338
2125 NE 63 ST	FORT LAUDERDALE	FL 33308
5830 SW 64 AVE	DAVIE	FL 33314
2125 NE 63 ST	FORT LAUDERDALE	FL 33308
1230 NE 1 AVE	FORT LAUDERDALE	FL 33304
1236 NE 1 AVE	FORT LAUDERDALE	FL 33304
1240 NE 1 AVE	FORT LAUDERDALE	FL 33304
17624 E 99 AVE	COMMERCE CITY	CO 80022
528 NW 2 ST	FORT LAUDERDALE	FL 33311
1233 NE 1 AVE	FORT LAUDERDALE	FL 33304
1227 NE 1 AVE	FORT LAUDERDALE	FL 33304

1251 N ANDREWS AVE
PO BOX 551651
PO BOX 14303
PO BOX 14303
1233 N ANDREWS AVE
1242 N ANDREWS AVE

FORT LAUDERDALE
DAVIE
FORT LAUDERDALE
FORT LAUDERDALE
FORT LAUDERDALE
FORT LAUDERDALE

FL 33311
FL 33355
FL 33302
FL 33302
FL 33311
FL 33311

ADDRESS__1		LEGAL_LINE
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
WATERMAN	IL60556	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
COCONUT CREEK	FL33066	PROGRESSO 2-18 D
DEERFIELD BEACH	FL33442	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33310	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33305	PROGRESSO 2-18 D
SUNRISE	FL33323	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
HOLLYWOOD	FL33020	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
MADISON	NJ07940	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33338	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33308	PROGRESSO 2-18 D
DAVIE	FL33314	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33308	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
COMMERCE CITY	CO80022	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D

FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
DAVIE	FL33355	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33302	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33302	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D
FORT LAUDERDALE	FL33311	FIRST CHURCH OF GOD SITE 72-24 B

LEGAL_LI_1

LOT 7 LESS E 15 FOR ST BLK 81
 LOT 8 LESS E 15 FOR R/W BLK 81
 LOT 9 LESS E 15 FOR ST R/W
 LOTS 11 LESS N 10,12 LESS S 15,
 LOT 10,11 N 10,LESS E 15 FOR R/W
 LOT 6 BLK 82
 LOT 7 BLK 82
 LOT 8 BLK 82
 LOT 9 BLK 82
 LOT 10 BLK 82
 LOT 11 BLK 82
 LOT 12 LESS S 15 FOR RD BLK 82
 LOT 12 S 15 FT BLK 82
 LOT 13 E 60 LESS RD,14 E 60
 POR OF LOTS 13 & 14 BLK 82 DESC
 LOT 15 LESS W 15 FOR ST BLK 82
 LOT 16 LESS W 15 FOR ST R/W
 LOT 17 LESS W 15 FOR RD BLK 82
 LOT 18 LESS W 15 FOR ST R/W
 LOT 19 LESS W 15 FOR R/W BLK 82
 LOT 7 BLK 83
 LOT 8 BLK 83
 LOT 9 BLK 83
 LOT 10 BLK 83
 LOT 11 BLK 83
 LOT 12 LESS S 15 FOR R/W BLK 83
 LOT 13 LESS S 15 FOR RD BLK 83
 LOT 13 S 15 FT BLK 83
 LOT 14 BLK 83
 LOT 15 BLK 83
 LOT 16 BLK 83
 LOT 17 BLK 83
 LOT 18 BLK 83
 LOT 19 BLK 83
 LOT 1 LESS N 15 FOR RD,2,3
 LOTS 4 & 5 BLK 118
 LOT 6 S 12 FT BLK 118
 LOT 6 LESS S 12 FT BLK 118
 LOT 7,8 BLK 118
 LOT 39 TO 41 BLK 118
 LOT 42,43 BLK 118
 LOT 44,45 BLK 118
 LOT 46,47,48 LESS N 15 FOR R/W
 LOT 48 N 15 FT BLK 118
 LOT 8,9 BLK 119
 LOT 10,11 BLK 119

LEGAL_LI_2

BLK 81
 LESS E 15 THEREOF FOR R/W BLK 81
 BLK 81
 BLK 82
 AS,COMM AT SE COR OF LOT 13,W 60
 BLK 82
 BLK 82
 BLK 82
 BLK 118

LOT 2,3,LESS PT FOR RD BLK 120	
LOTS 4,5,LESS E 15 FOR ST R/W	BLK 120
LOT 6 LESS E 15 FOR ST R/W	BLK 120
LOT 7 LESS E 15 FOR ST R/W	BLK 120
LOT 8 LESS E 15 FOR ST,9 LESS	E 15 FOR ST BLK 120
TRACT A TOG WITH PROGRESSO	2-18 D

LEGAL_LI_3

LEGAL_LI_4

N 15 TO POB,N 85,W 60,S 64.98

SELY 31.43,E 39.98 TO POB

LOTS 5,6,7 & LOTS 36 TO 38,LESS

ST R/W BLK 119

LEGAL_LI_5

LEGAL_LI_6

LEGAL_LI_7

LEGAL_LI_8

LEGAL_LI_9

LEGAL_L_10

LEGAL_L_11

LEGAL_L_12

LEGAL_L_13

ZIP4	MILL	US	US	M/	C/	JUST_LAND	JUST_BUILT	JUST_OTHE	LY_JUSTVAI
	0312	01	01	3B		33030	348420	0	381450
	0312	01	01	3B		33030	332240	0	360030
	0312	01	01	3B		33030	268730	0	301760
	0312	01	01	3B		49060	753060	0	802120
	0312	01	01	3B		39630	737990	0	777620
1013	0312	01	01	3B		37180	361030	0	398210
1013	0312	01	01	3B		37180	301770	0	338950
1013	0312	08	02	3B		33800	319960	0	353760
7232	0312	08	02	3B		33800	330190	0	363990
	0312	01	01	3B		37190	399860	0	437050
	0312	01	01	3B		37190	530320	0	567510
	0312	01	01	3B		26030	367740	0	393770
9108	0312	94		3B		1030	0	0	1030
	0312	08	02	3B		25510	350040	0	375550
	0312	08	02	3B		25150	350030	0	375180
	0312	01	01	3B		33060	530120	0	563180
	0312	01	01	3B		33060	359920	0	392980
8624	0312	01	01	3B		33060	312850	0	345910
6064	0312	01	01	3B		33060	373050	0	406110
	0312	01	01	3B		33060	72780	0	105840
	0312	01	01	3B		37140	506390	0	543530
	0312	01	01	3B		37140	470180	0	507320
3721	0312	01	02	3B		37140	293780	0	330920
	0312	01	01	3B		37140	333360	0	370500
	0312	08	02	3B		33770	330320	0	364090
	0312	01	01	3B		26000	166830	0	192830
	0312	01	01	3B		26000	258790	0	284790
9108	0312	94		3B		1030	0	0	1030
1014	0312	01	01	3B		37140	326310	0	363450
7213	0312	01	02	3B		37140	452820	0	489960
	0312	01	01	3B		37140	345760	0	382900
2025	0312	01	01	3B		37140	322360	0	359500
	0312	01	01	3B		37140	252390	0	289530
	0312	01	01	3B		37140	298950	0	336090
1912	0312	08	02	3B		40510	520030	0	560540
	0312	08	02	3B		33760	350040	0	383800
	0312	00		3B		840	0	0	840
	0312	00		3B		840	0	0	840
	0312	01	02	3B		37130	567130	0	604260
1907	0312	01	01	3B		55700	508950	0	564650
1907	0312	01	01	3B		37130	587470	0	624600
1907	0312	01	01	3B		37130	471420	0	508550
7153	0312	01	01	3B		44560	552400	0	596960
9108	0312	94		3B		1030	0	0	1030
	0312	01	01	3B		33810	270190	0	304000
1906	0312	01	01	3B		37190	454880	0	492070

0312 08 02 3B	31900	350460	0	382360
0312 08 02 3B	31900	460280	0	492180
0312 00 3B	70180	0	0	70180
0312 00 3B	70180	0	0	70180
0312 01 01 3B	35080	347850	0	382930
0312 71 01 3B	470510	627320	0	1097830

LY_SOHL	LY_SOHB	PREV_SOH	NEW_SOH	NEW_SB_S	HE1_AMOL	HE2_AMOL	WVD_AMO	EXEMPTION
0	0	64250	66170	66170	25000	16170	0	0
0	0	360030	365270	365270	0	0	0	0
0	0	301760	301760	301760	25000	25000	0	0
0	0	470900	485020	485020	25000	25000	0	0
0	0	456770	470470	470470	25000	25000	0	0
0	0	351330	361860	361860	25000	25000	0	0
0	0	73050	75240	75240	25000	25000	0	0
33800	117990	231730	243260	251310	25000	25000	0	0
0	0	329820	362800	363990	0	0	0	0
0	0	268560	276610	276610	25000	25000	5000	0
0	0	307010	316220	316220	25000	25000	0	0
0	0	191640	197380	197380	25000	25000	0	0
0	0	1030	1030	1030	0	0	0	0
0	0	368950	375550	375550	0	0	0	0
0	0	368360	375180	375180	0	0	0	0
0	0	547000	563180	563180	25000	25000	0	0
0	0	219670	226260	226260	25000	25000	0	0
0	0	187280	206000	345910	0	0	0	0
0	0	170120	175220	175220	25000	25000	0	0
0	0	63640	70000	105840	0	0	0	0
0	0	543530	543530	543530	0	0	0	0
0	0	345580	380130	507320	0	0	0	0
0	0	194330	213760	330920	0	0	0	0
0	0	83030	85520	85520	25000	25000	5000	0
0	0	364090	364090	364090	25000	25000	0	0
0	0	192830	192830	192830	0	0	0	0
0	0	251020	258550	258550	25000	25000	0	0
0	0	1030	1030	1030	0	0	0	0
0	0	155330	159980	159980	25000	25000	0	0
0	0	282810	311090	489960	0	0	0	0
0	0	138160	142300	142300	25000	25000	0	0
0	0	359500	359500	359500	0	0	0	0
0	0	96270	99150	99150	25000	25000	0	0
0	0	275750	303320	336090	0	0	0	0
37430	27620	130600	139100	327010	25000	16990	0	0
0	0	266330	292960	383800	0	0	0	0
0	0	840	840	840	0	0	0	0
0	0	840	840	840	0	0	0	0
0	0	604260	604260	604260	0	0	0	0
0	0	74290	76510	76510	25000	25000	5000	0
0	0	339990	350180	350180	25000	25000	0	0
0	0	100560	103570	103570	25000	25000	0	0
0	0	472200	519420	596960	0	0	0	0
0	0	1030	1030	1030	0	0	0	0
0	0	243380	267710	304000	0	0	0	0
0	0	93960	96770	96770	25000	25000	0	0

10680	37320	196360	212630	224670	25000	0	5000	0
0	0	492180	492180	492180	0	0	0	0
0	0	21720	23890	70180	0	0	0	0
0	0	21720	23890	70180	0	0	0	0
0	0	170270	175370	175370	25000	25000	0	0
0	0	1056700	1097830	1097830	0	0	0	758910

COUNTY_M	SCHOOL_M	CITY_MEX	INDEP_MEX	COUNTY_T	SCHOOL_T	CITY_TAXA	INDEP_TAX	HE_LY	FME_W
0	0	0	0	25000	41170	25000	25000	100	100
0	0	0	0	365270	365270	365270	365270		
0	0	0	0	251760	276760	251760	251760	100	100
0	0	0	0	435020	460020	435020	435020	100	100
0	0	0	0	420470	445470	420470	420470	100	100
0	0	0	0	311860	336860	311860	311860	100	100
0	0	0	0	0	50240	0	25240	1/1	1/1
0	0	0	0	193260	226310	193260	193260	100	100
0	0	0	0	362800	363990	362800	362800		
0	0	0	0	221610	246610	221610	221610	100	100
0	0	0	0	266220	291220	266220	266220	100	100
0	0	0	0	147380	172380	147380	147380	100	100
1030	1030	1030	1030	0	0	0	0		100
0	0	0	0	375550	375550	375550	375550		
0	0	0	0	375180	375180	375180	375180		
0	0	0	0	513180	538180	513180	513180	100	100
0	0	0	0	176260	201260	176260	176260	100	100
0	0	0	0	206000	345910	206000	206000		
0	0	0	0	125220	150220	125220	125220	100	100
0	0	0	0	70000	105840	70000	70000		
0	0	0	0	543530	543530	543530	543530		
0	0	0	0	380130	507320	380130	380130		
0	0	0	0	213760	330920	213760	213760		
0	0	0	0	0	55520	0	30520	100	100
0	0	0	0	314090	339090	314090	314090	100	
0	0	0	0	192830	192830	192830	192830		
0	0	0	0	208550	233550	208550	208550	100	100
1030	1030	1030	1030	0	0	0	0		100
0	0	0	0	109980	134980	109980	109980	100	100
0	0	0	0	311090	489960	311090	311090		
0	0	0	0	92300	117300	92300	92300	100	100
0	0	0	0	359500	359500	359500	359500		
0	0	0	0	49150	74150	49150	49150	100	100
0	0	0	0	303320	336090	303320	303320		
0	0	0	0	97110	302010	97110	97110	100	100
0	0	0	0	292960	383800	292960	292960		
0	0	0	0	840	840	840	840		
0	0	0	0	840	840	840	840		
0	0	0	0	604260	604260	604260	604260		
0	0	0	0	21510	46510	21510	21510	1/1	1/1
0	0	0	0	300180	325180	300180	300180	1/1	1/1
0	0	0	0	53570	78570	53570	53570	1/1	1/1
0	0	0	0	519420	596960	519420	519420		
1030	1030	1030	1030	0	0	0	0		100
0	0	0	0	267710	304000	267710	267710		
0	0	0	0	46770	71770	46770	46770	1/1	1/1

0	0	0	0	182630	194670	182630	182630	1/1	1/1	1
0	0	0	0	492180	492180	492180	492180			
0	0	0	0	23890	70180	23890	23890			
0	0	0	0	23890	70180	23890	23890			
0	0	0	0	75370	150370	75370	125370	100	100	
1097830	1097830	1097830	1097830	0	0	0	0			100

EXISO	CO FID	DEL	VALUE	ADD	VALU	LIG	GARBAGE	AS	FIR	FIRE	ASSES	SA	SAFE	NEI	1DR	DRAINAGE	1IM
12	12	Y	0	0	F	9.44	03	R	1	0	0.00						
23	23	Y	0	5240	F	9.44	03	R	1	0	0.00						
23	23	Y	0	0	F	9.44	03	R	1	0	0.00						
17	17	Y	0	0	F	9.44	03	R	1	0	0.00						
17	17	Y	0	0	F	9.44	03	R	1	0	0.00						
22	22	Y	0	0	F	9.44	03	R	1	0	0.00						
99	08	Y	0	0	F	9.44	03	R	1	0	0.00						
16	16	Y	0	0	F	14.64	03	R	2	0	0.00						
10	10	Y	0	0	F	14.64	03	R	2	0	0.00						
19	19	Y	0	0	F	9.44	03	R	1	0	0.00						
17	17	Y	0	0	F	9.44	03	R	1	0	0.00						
18	18	Y	0	0	F	9.44	03	R	1	0	0.00						
14	17	Y	0	0		0.00	03	X	1	0	0.00						
22	22	Y	0	0	F	14.64	03	R	2	0	0.00						
22	22	Y	0	0	F	14.64	03	R	2	0	0.00						
23	23	Y	0	0	F	9.44	03	R	1	0	0.00						
18	18	Y	0	0	F	9.44	03	R	1	0	0.00						
08	08	Y	0	0	F	9.44	03	R	1	0	0.00						
16	16	Y	0	0	F	9.44	03	R	1	0	0.00						
10	10	Y	0	0	F	9.44	03	R	1	0	0.00						
23	23	Y	0	0	F	9.44	03	R	1	0	0.00						
19	19	Y	0	0	F	9.44	03	R	1	0	0.00						
08	08	Y	0	0	F	18.88	03	R	2	0	0.00						
94	08	Y	0	0	F	9.44	03	R	1	0	0.00						
24	24	Y	0	0	F	14.64	03	R	2	0	0.00						
24	24	Y	0	0	F	9.44	03	R	1	0	0.00						
22	22	Y	0	0	F	9.44	03	R	1	0	0.00						
14	17	Y	0	0		0.00	03	X	1	0	0.00						
12	12	Y	0	0	F	9.44	03	R	1	0	0.00						
12	12	Y	0	0	F	18.88	03	R	2	0	0.00						
14	14	Y	0	0	F	9.44	03	R	1	0	0.00						
23	23	Y	0	0	F	9.44	03	R	1	0	0.00						
15	15	Y	0	0	F	9.44	03	R	1	0	0.00						
21	21	Y	0	0	F	9.44	03	R	1	0	0.00						
94	08	Y	0	0	F	14.64	03	R	2	0	0.00						
14	14	Y	0	0	F	14.64	03	R	2	0	0.00						
23	23	Y	0	0		0.00	03	L	1	0	0.00						
08	08	Y	0	0		0.00	03	L	1	0	0.00						
23	23	Y	0	0	F	18.88	03	R	2	0	0.00						
94	08	Y	0	0	F	9.44	03	R	1	0	0.00						
18	18	Y	0	0	F	9.44	03	R	1	0	0.00						
94	08	Y	0	0	F	9.44	03	R	1	0	0.00						
22	22	Y	0	0	F	9.44	03	R	1	0	0.00						
14	17	Y	0	0		0.00	03	X	1	0	0.00						
22	22	Y	0	0	F	9.44	03	R	1	0	0.00						
97	08	Y	0	0	F	9.44	03	R	1	0	0.00						

04 08	Y	0	0	F	14.64 03 R	2	0	0.00
23	Y	0	0	F	14.64 03 R	2	0	0.00
10	Y	0	0		0.00 03 L	1	0	0.00
10	Y	0	0		0.00 03 L	1	0	0.00
14 14	Y	0	0	F	9.44 03 R	1	0	0.00
30 08	Y	0	0	F	48.58 03 Y	6990	0	0.00

IMPROVEM_	SALE_DAT	DEE	STAMP_AMC	BOOK_1	PAGE_1	SALE_DAT	DEE
0.00	3/8/2011	SWI	315.00	47853.0000000000	1237.0000000000	#####	CET
0.00	#####	WD	2800.00	0.0000000000	0.0000000000	#####	WD
0.00	#####	WD	2520.00	0.0000000000	0.0000000000	#####	WD
0.00	#####	DRR	0.70	0.0000000000	0.0000000000	#####	WD
0.00	#####	DRR	0.70	0.0000000000	0.0000000000	#####	WD
0.00	3/8/2021	WD	2240.00	0.0000000000	0.0000000000	#####	QCC
0.00	#####	WD	363.30	28040.0000000000	615.0000000000	8/1/1994	QCC
0.00	8/7/2015	WD	1386.00	0.0000000000	0.0000000000	#####	WD
0.00	6/8/2009	SWI	761.60	46366.0000000000	1287.0000000000	3/3/2009	CET
0.00	7/2/2019	QCC	0.70	0.0000000000	0.0000000000	#####	WD
0.00	#####	WD	2380.00	0.0000000000	0.0000000000	#####	WD
0.00	#####	DRR	0.70	0.0000000000	0.0000000000	#####	WD
0.00	#####	WD	3.60	3806.0000000000	988.0000000000		
0.00	#####	WD	2695.00	0.0000000000	0.0000000000	#####	WD
0.00	#####	QCC	1945.30	0.0000000000	0.0000000000	#####	WD
0.00	6/2/2021	QCC	0.70	0.0000000000	0.0000000000	#####	WD
0.00	#####	WD	1470.00	0.0000000000	0.0000000000	5/4/2001	WD
0.00	9/8/2003	QCC	0.70	36363.0000000000	1758.0000000000	1/8/1999	WD
0.00	#####	WD	980.00	46986.0000000000	1597.0000000000	#####	QCC
0.00	#####	WD	0.70	0.0000000000	0.0000000000	#####	WD
0.00	#####	WD	3675.00	0.0000000000	0.0000000000	6/9/2021	WD
0.00	#####	WD	1550.50	0.0000000000	0.0000000000	8/5/2004	WD
0.00	#####	WD	430.50	26144.0000000000	420.0000000000	8/1/1991	WD
0.00	2/8/2021	DRR	0.70	0.0000000000	0.0000000000	#####	QCC
0.00	6/1/2023	WD	3360.00	0.0000000000	0.0000000000	#####	WD
0.00	#####	WD	2443.00	0.0000000000	0.0000000000	#####	WD
0.00	#####	WD	2093.00	0.0000000000	0.0000000000	9/4/2020	WD
0.00	3/4/1969	WD	3.60	3882.0000000000	342.0000000000		
0.00	8/8/2018	QCC	0.70	0.0000000000	0.0000000000	#####	WD
0.00	#####	WD	864.50	32345.0000000000	1003.0000000000	#####	WD
0.00	#####	QCC	0.70	0.0000000000	0.0000000000	9/4/2013	SWI
0.00	#####	WD	1925.00	0.0000000000	0.0000000000	#####	WD
0.00	6/5/2014	DRR	0.00	50835.0000000000	1119.0000000000	#####	WD
0.00	#####	WD	1855.00	0.0000000000	0.0000000000	#####	SWI
0.00	#####	QCC	0.70	28347.0000000000	571.0000000000	7/1/1987	WD
0.00	4/5/2013	QCC	701.40	49675.0000000000	1885.0000000000	#####	DRR
0.00	#####	WD	4900.00	0.0000000000	0.0000000000	#####	WD
0.00	#####	TXD	29.40	38070.0000000000	668.0000000000	#####	QCC
0.00	#####	WD	4900.00	0.0000000000	0.0000000000	#####	WD
0.00	5/1/1994	QCC	0.70	22129.0000000000	224.0000000000	6/1/1983	WD
0.00	#####	QCC	0.70	0.0000000000	0.0000000000	#####	QCC
0.00	#####	D	0.70	0.0000000000	0.0000000000	#####	QCC
0.00	9/8/2021	WD	3045.00	0.0000000000	0.0000000000	7/1/2020	WD
0.00	#####	WD	3.60	3690.0000000000	149.0000000000		
0.00	#####	WD	805.00	47456.0000000000	1531.0000000000	#####	WD
0.00	#####	QCC	112.00	0.0000000000	0.0000000000	#####	WD

0.00 ##### QCE	0.70	0.0000000000	0.0000000000 1/4/2007 QCE
0.00 ##### WD	0.70	0.0000000000	0.0000000000 ##### WD
0.00 ##### SW [†]	876.40	46800.0000000000	1594.0000000000 ##### CE*
0.00 ##### SW [†]	876.40	46800.0000000000	1594.0000000000 ##### CE*
0.00 ##### QCE	0.00	0.0000000000	0.0000000000 6/5/2015 QCE
0.00 ##### DRR	0.70	0.0000000000	0.0000000000 4/3/2017 QCE

STAMP_AM_BOOK_2	PAGE_2	SALE_DAT	DEE	STAMP_AM_
0.70	47179.0000000000	1609.0000000000	9/7/2006	WD 2030.00
595.00	48238.0000000000	584.0000000000	7/6/2004	QCC 0.70
612.50	31146.0000000000	1145.0000000000	#####	QCC 0.70
1925.00	0.0000000000	0.0000000000	#####	WD 2030.00
1925.00	0.0000000000	0.0000000000		0.00
0.70	33920.0000000000	551.0000000000	#####	WD 483.00
0.70	22561.0000000000	598.0000000000	6/1/1989	WD 280.50
1169.00	34515.0000000000	1333.0000000000	#####	WD 371.00
0.70	46038.0000000000	975.0000000000	#####	WD 2205.00
1540.00	0.0000000000	0.0000000000	#####	WD 1186.50
802.20	50313.0000000000	1144.0000000000	#####	WD 1225.00
1512.00	0.0000000000	0.0000000000	#####	WD 966.00
0.00	0.0000000000	0.0000000000		0.00
372.00	19099.0000000000	761.0000000000	3/1/1991	QCC 55.00
2779.00	0.0000000000	0.0000000000	#####	QCC 0.70
399.00	30452.0000000000	1867.0000000000	8/1/1994	WD 231.00
560.00	31631.0000000000	1819.0000000000	#####	WD 315.00
437.50	29149.0000000000	1850.0000000000	7/1/1979	WD 87.00
165.20	46374.0000000000	215.0000000000	#####	SWI 367.50
0.70	48275.0000000000	1804.0000000000	#####	SWI 280.00
3283.00	0.0000000000	0.0000000000	#####	WD 0.70
1722.00	38060.0000000000	307.0000000000	#####	WD 784.00
336.00	18653.0000000000	733.0000000000	5/1/1979	D 129.00
391.30	0.0000000000	0.0000000000	#####	QCC 0.70
1855.00	0.0000000000	0.0000000000	#####	QCC 0.70
245.00	31072.0000000000	73.0000000000	3/1/1975	WD 55.50
1400.00	0.0000000000	0.0000000000	#####	WD 0.70
0.00	0.0000000000	0.0000000000		0.00
0.70	0.0000000000	0.0000000000	#####	QCC 35.00
511.00	26820.0000000000	517.0000000000		0.00
868.00	50143.0000000000	690.0000000000	5/1/2013	CET 770.70
1610.00	0.0000000000	0.0000000000	#####	DRR 0.70
763.00	50812.0000000000	1844.0000000000	2/1/2008	WD 1330.00
469.00	46914.0000000000	1569.0000000000	#####	SWI 1048.60
500.50	14660.0000000000	640.0000000000	5/1/1976	SWI 11.40
0.70	49058.0000000000	15.0000000000	#####	SWI 701.40
3150.00	0.0000000000	0.0000000000	#####	WD 756.00
0.55	15964.0000000000	887.0000000000		0.00
3150.00	0.0000000000	0.0000000000	#####	WD 756.00
231.75	0.0000000000	0.0000000000	#####	WD 104.70
0.70	0.0000000000	0.0000000000	#####	QCC 0.70
0.70	32322.0000000000	684.0000000000	8/1/1984	QCC 0.00
2485.00	0.0000000000	0.0000000000	#####	WD 1505.00
0.00	0.0000000000	0.0000000000		0.00
1855.00	38659.0000000000	1436.0000000000	#####	WD 875.00
490.00	25633.0000000000	407.0000000000	7/1/1992	QCC 0.60

0.70	43476.0000000000	1477.0000000000	7/9/2003 WD	1365.00
3990.00	0.0000000000	0.0000000000	4/6/2006 QCC	0.70
0.70	46577.0000000000	145.0000000000	##### PR*	98.00
0.70	46577.0000000000	145.0000000000	##### PR*	98.00
315.00	0.0000000000	0.0000000000	##### WD	1155.00
0.70	0.0000000000	0.0000000000		0.00

BOOK_3	PAGE_3	SALE_DAT	DEE	STAMP_AM	BOOK_4
42749.0000000000	1583.0000000000	#####	WD	232.20	18961.0000000000
39180.0000000000	464.0000000000	8/1/1985	WD	210.00	12774.0000000000
30882.0000000000	1213.0000000000	#####	WD	412.30	30516.0000000000
46660.0000000000	892.0000000000	#####	ACT	0.00	46586.0000000000
0.0000000000	0.0000000000			0.00	0.0000000000
24067.0000000000	198.0000000000	#####	WD	275.00	17956.0000000000
0.0000000000	0.0000000000	6/1/1962	WD	19.80	0.0000000000
28032.0000000000	532.0000000000	5/1/1974	WD	79.50	5786.0000000000
41753.0000000000	47.0000000000	9/1/1983	WD	200.25	11153.0000000000
51317.0000000000	100.0000000000	#####	SWI	700.00	49329.0000000000
37867.0000000000	667.0000000000	#####	WD	945.00	35846.0000000000
51163.0000000000	1042.0000000000	#####	WD	560.00	49423.0000000000
0.0000000000	0.0000000000			0.00	0.0000000000
0.0000000000	0.0000000000	3/1/1984	WD	315.00	0.0000000000
0.0000000000	0.0000000000	#####	WD	1736.00	0.0000000000
22534.0000000000	952.0000000000	6/1/1994	WD	140.00	0.0000000000
29538.0000000000	772.0000000000	9/1/1991	QCE	0.60	19159.0000000000
8334.0000000000	824.0000000000	6/1/1973	WD	58.50	0.0000000000
46290.0000000000	695.0000000000	1/8/2009	CET	0.70	45942.0000000000
46296.0000000000	728.0000000000	#####	CET	0.70	45273.0000000000
44952.0000000000	928.0000000000	3/4/2004	WD	1190.00	37051.0000000000
31549.0000000000	1073.0000000000	4/1/1994	QCE	0.70	21967.0000000000
0.0000000000	0.0000000000			0.00	0.0000000000
37740.0000000000	356.0000000000	3/1/1990	WD	357.50	17313.0000000000
50650.0000000000	1555.0000000000	#####	WD	1694.00	50248.0000000000
6143.0000000000	5.0000000000	5/1/1972	WD	45.00	0.0000000000
0.0000000000	0.0000000000	#####	QCE	0.70	50460.0000000000
0.0000000000	0.0000000000			0.00	0.0000000000
44235.0000000000	808.0000000000	#####	QCE	150.50	43436.0000000000
0.0000000000	0.0000000000			0.00	0.0000000000
49797.0000000000	270.0000000000	#####	WD	441.00	25670.0000000000
0.0000000000	0.0000000000	#####	QCE	0.70	48927.0000000000
45079.0000000000	1827.0000000000	#####	DRR	0.00	36592.0000000000
46765.0000000000	379.0000000000	#####	WD	1048.60	46765.0000000000
0.0000000000	0.0000000000			0.00	0.0000000000
48654.0000000000	1624.0000000000	#####	CET	0.70	46907.0000000000
48410.0000000000	78.0000000000	#####	WD	0.70	40411.0000000000
0.0000000000	0.0000000000			0.00	0.0000000000
48410.0000000000	78.0000000000	#####	WD	0.70	40411.0000000000
0.0000000000	0.0000000000			0.00	0.0000000000
42581.0000000000	1690.0000000000	9/1/1992	QCE	0.70	19882.0000000000
11973.0000000000	732.0000000000	9/1/1981	WD	360.00	0.0000000000
0.0000000000	0.0000000000	#####	QCE	0.70	51341.0000000000
0.0000000000	0.0000000000			0.00	0.0000000000
37526.0000000000	920.0000000000	#####	WD	686.00	37454.0000000000
19783.0000000000	917.0000000000	4/1/1990	QCE	0.55	0.0000000000

35626.0000000000	874.0000000000	1/1/1988 WD	522.50	15118.0000000000
41811.0000000000	1727.0000000000	7/1/1975 WD	127.50	7325.0000000000
38666.0000000000	147.0000000000		0.00	0.0000000000
38666.0000000000	147.0000000000		0.00	0.0000000000
50239.0000000000	12.0000000000	7/7/2003 WD	787.50	35572.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000

309.0000000000	8/1/1975 WD	82.50	0.0000000000	0.0000000000
264.0000000000	##### WD	180.90	0.0000000000	0.0000000000
1661.0000000000	6/3/1998 WD	339.50	28331.0000000000	884.0000000000
420.0000000000	##### CET	0.70	46260.0000000000	849.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
346.0000000000	##### WD	64.50	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
447.0000000000	8/1/1973 PRD	48.60	0.0000000000	0.0000000000
24.0000000000		0.00	0.0000000000	0.0000000000
300.0000000000	5/8/2012 CET	464.10	48823.0000000000	1239.0000000000
1393.0000000000		0.00	0.0000000000	0.0000000000
911.0000000000	##### WD	1365.00	37904.0000000000	1167.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000	1/1/1979 WD	192.00	0.0000000000	0.0000000000
0.0000000000	##### SWI	770.00	46129.0000000000	372.0000000000
0.0000000000	5/1/1982 WD	29.70	0.0000000000	0.0000000000
518.0000000000	##### QCE	0.55	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
198.0000000000	##### QCE	0.70	42953.0000000000	1446.0000000000
222.0000000000	##### WD	2590.00	43016.0000000000	1045.0000000000
1336.0000000000	3/1/1988 WD	357.50	15257.0000000000	256.0000000000
561.0000000000	9/1/1990 D	0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
266.0000000000	1/1/1964 WD	30.00	0.0000000000	0.0000000000
1742.0000000000	##### WD	665.00	33836.0000000000	1440.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
1436.0000000000	##### QCE	140.00	44265.0000000000	662.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
1523.0000000000	##### WD	350.00	29354.0000000000	1007.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
291.0000000000	##### WD	43.50	0.0000000000	0.0000000000
1961.0000000000	3/2/2012 SWI	287.00	48652.0000000000	1314.0000000000
16.0000000000	##### WD	987.00	34798.0000000000	1475.0000000000
377.0000000000	##### WD	1169.00	36781.0000000000	1424.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
1255.0000000000	##### WD	440.00	14660.0000000000	634.0000000000
671.0000000000	##### D*	409.50	33432.0000000000	337.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
671.0000000000	##### D*	409.50	33432.0000000000	337.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
659.0000000000	3/1/1987 WD	280.00	0.0000000000	0.0000000000
0.0000000000	8/1/1975 WD	72.00	0.0000000000	0.0000000000
18.0000000000	##### SWI	479.50	47906.0000000000	272.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
1958.0000000000	##### WD	242.00	13907.0000000000	488.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000

581.0000000000	4/1/1985 WD	310.50	0.0000000000	0.0000000000
470.0000000000	2/1/1974 WD	133.50	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
851.0000000000	##### WD	227.50	25727.0000000000	931.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000

LAND_CALC_	LAND_CALC1	LAILAND_CALC_2	LAND_CALC_3	LAILAND_CALC_5	LAND_CALC_6	LAI
5.50	6005.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6005.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6005.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	8920.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	7206.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6760.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6760.00 SF	0.00	0.00	0.00	0.00	0.00
5.00	6760.00 SF	0.00	0.00	0.00	0.00	0.00
5.00	6760.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6761.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6761.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	4733.00 SF	0.00	0.00	0.00	0.00	0.00
0.51	2028.00 SF	0.00	0.00	0.00	0.00	0.00
5.00	5102.00 SF	0.00	0.00	0.00	0.00	0.00
5.00	5029.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6010.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6010.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6010.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6010.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6010.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.00	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	4727.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	4727.00 SF	0.00	0.00	0.00	0.00	0.00
0.51	2025.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6752.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6753.00 SF	0.00	0.00	0.00	0.00	0.00
5.00	8102.00 SF	0.00	0.00	0.00	0.00	0.00
5.00	6751.00 SF	0.00	0.00	0.00	0.00	0.00
0.50	1688.00 SF	0.00	0.00	0.00	0.00	0.00
0.50	1688.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6751.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	10127.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6751.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6751.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	8102.00 SF	0.00	0.00	0.00	0.00	0.00
0.51	2025.00 SF	0.00	0.00	0.00	0.00	0.00
5.00	6761.00 SF	0.00	0.00	0.00	0.00	0.00
5.50	6761.00 SF	0.00	0.00	0.00	0.00	0.00

5.00	6379.00 SF	0.00	0.00	0.00	0.00
5.00	6379.00 SF	0.00	0.00	0.00	0.00
22.00	3190.00 SF	0.00	0.00	0.00	0.00
22.00	3190.00 SF	0.00	0.00	0.00	0.00
5.50	6379.00 SF	0.00	0.00	0.00	0.00
8.00	58814.00 SF	0.00	0.00	0.00	0.00

LAND_CAL_8	LAND_CAL_9	LAI	SITUS_S	SITUS_S	SITUS_ST_4	SITUS	SITUS	SITUS_ZIP_
0.00	0.00	1321		N	ANDREWS	AVE	FL	33311
0.00	0.00	1317		N	ANDREWS	AVE	FL	333116063
0.00	0.00	1313		N	ANDREWS	AVE	FL	33311
0.00	0.00	1301		N	ANDREWS	AVE	FL	33311
0.00	0.00	1307		N	ANDREWS	AVE	FL	33311
0.00	0.00	1325		NE	1	AVE	FL	333041013
0.00	0.00	1321		NE	1	AVE	FL	333041013
0.00	0.00	1317		NE	1	AVE	FL	333041013
0.00	0.00	1313		NE	1	AVE	FL	33304
0.00	0.00	1309		NE	1	AVE	FL	33304
0.00	0.00	1305		NE	1	AVE	FL	33304
0.00	0.00	1301		NE	1	AVE	FL	33304
0.00	0.00			NE	13	ST	FL	33304
0.00	0.00	35		NE	13	ST	FL	33304
0.00	0.00	15		NE	13	ST	FL	33304
0.00	0.00	1308		N	ANDREWS	AVE	FL	333116064
0.00	0.00	1312		N	ANDREWS	AVE	FL	33311
0.00	0.00	1316		N	ANDREWS	AVE	FL	33304
0.00	0.00	1320		N	ANDREWS	AVE	FL	33304
0.00	0.00	1324		N	ANDREWS	AVE	FL	333116064
0.00	0.00	1321		NE	2	AVE	FL	33304
0.00	0.00	1317		NE	2	AVE	FL	333041019
0.00	0.00	1313		NE	2	AVE	FL	33304
0.00	0.00	1309		NE	2	AVE	FL	333041019
0.00	0.00	1305		NE	2	AVE	FL	33304
0.00	0.00	1301		NE	2	AVE	FL	33304
0.00	0.00	1300		NE	1	AVE	FL	33304
0.00	0.00			NE	13	ST	FL	33304
0.00	0.00	1304		NE	1	AVE	FL	333041014
0.00	0.00	1308		NE	1	AVE	FL	33304
0.00	0.00	1312		NE	1	AVE	FL	33304
0.00	0.00	1316		NE	1	AVE	FL	333041014
0.00	0.00	1320		NE	1	AVE	FL	33304
0.00	0.00	1324		NE	1	AVE	FL	33304
0.00	0.00	1243	1245	NE	2	AVE	FL	333041912
0.00	0.00	1239	1241	NE	2	AVE	FL	33304
0.00	0.00			NE	2	AVE	FL	33304
0.00	0.00			NE	2	AVE	FL	33304
0.00	0.00	1235		NE	2	AVE	FL	33304
0.00	0.00	1230		NE	1	AVE	FL	333041907
0.00	0.00	1236		NE	1	AVE	FL	333041907
0.00	0.00	1240		NE	1	AVE	FL	333041907
0.00	0.00	1244		NE	1	AVE	FL	33304
0.00	0.00			NE	13	ST	FL	33304
0.00	0.00	1233		NE	1	AVE	FL	33304
0.00	0.00	1227		NE	1	AVE	FL	333041906

0.00	0.00	1251	N	ANDREWS	AVE FL	33311
0.00	0.00	1245	N	ANDREWS	AVE FL	333116033
0.00	0.00		N	ANDREWS	AVE FL	33311
0.00	0.00		N	ANDREWS	AVE FL	33311
0.00	0.00	1233	N	ANDREWS	AVE FL	33311
0.00	0.00	1242	N	ANDREWS	AVE FL	333116034

	SITUS_	LAST_YRS_J	LAST_YRS_I	LAST_YRS_K	LAST_YRS_L	LAST_YRS_A	LAST_YRS_S	TWO_YRS_J	TWO_YRS_K
	33030	348420	0	25000	118681	64250	33030	324000	
	33030	327000	0	360030	739685	360030	33030	304020	
	33030	268730	0	251760	552490	301760	33030	249900	
	49060	753060	0	420900	870763	470900	49060	700290	
	39630	737990	0	406770	844176	456770	39630	686160	
	37180	361030	0	301330	645768	351330	37180	303920	
	37180	301770	0	0	99348	73050	37180	254090	
	33800	319960	0	181730	491587	231730	33800	310260	
	33800	330190	0	329820	765700	329820	33800	310060	
	37190	399860	0	213560	480608	268560	37190	336690	
	37190	530320	0	257010	562368	307010	37190	446350	
	26030	367740	0	141640	345276	191640	26030	309470	
	1030	0	0	0	0	1030	1030	0	
1-2	25510	350040	0	368950	821093	368950	25510	309900	
1-2	25150	350030	0	368360	820126	368360	25150	309730	
	33060	530120	0	497000	1013964	547000	33060	418970	
	33060	359920	0	169670	398021	219670	33060	284490	
	33060	312850	0	187280	519560	187280	33060	247380	
	33060	373050	0	120120	304781	170120	33060	294930	
	33060	72780	0	63640	209880	63640	33060	57530	
	37140	506390	0	543530	1084981	543530	37140	426340	
	37140	470180	0	345580	819496	345580	37140	395750	
	37140	293780	0	194330	580457	194330	37140	247190	
	37140	333360	0	0	103290	83030	37140	280530	
1-2	33770	330320	0	324950	759825	324950	33770	310230	
	26000	166830	0	121510	338040	121510	26000	140460	
	26000	258790	0	201020	457011	251020	26000	217710	
	1030	0	0	0	0	1030	1030	0	
	37140	326310	0	105330	276952	155330	37140	274730	
	37140	452820	0	282810	793632	282810	37140	380960	
	37140	345760	0	88160	244642	138160	37140	290990	
	37140	322360	0	359500	738690	359500	37140	271220	
	37140	252390	0	46270	165815	96270	37140	212340	
	37140	298950	0	275750	621012	275750	37140	251600	
	40510	520030	0	90550	431464	130600	40510	520030	
	33760	350040	0	266330	701338	266330	33760	309930	
	840	0	0	840	1581	840	840	0	
	840	0	0	840	1581	840	840	0	
	37130	567130	0	604260	1261469	604260	37130	394840	
	55700	508950	0	20000	115913	74290	55700	396400	
	37130	587470	0	289990	624429	339990	37130	414730	
	37130	471420	0	50560	173890	100560	37130	328010	
	44560	552400	0	472200	1033294	472200	44560	384350	
	1030	0	0	0	0	1030	1030	0	
	33810	270190	0	243380	560286	243380	33810	187450	
	37190	454880	0	43960	161468	93960	37190	327940	

31900	350460	0	166360	453290	196360	31900	309830
31900	460280	0	492180	1048610	492180	31900	310060
70180	0	0	21720	77497	21720	54230	0
70180	0	0	21720	77497	21720	54230	0
35080	347850	0	70270	254752	170270	35080	281690
470510	627320	0	0	359983	1056700	470510	592480

TWO_YRS_	TWO_YRS_	TWO_YRS_A	TWO_YRS_!	BLDG_ADJ_S	BLDG_TOT_S	BLDG_UNIT	BLDG	BLD	B	BLDG
0	25000	111838	62380	879	965	1	1952	003	2	1
0	209020	523724	209020	1399	1660	1	1957	003	2	1
0	30220	129253	80220	977	1073	1	1952	003	2	1
0	407190	827589	457190	3141	3858	1	2011	005	2	1
0	393470	802172	443470	3141	3858	1	2011	005	2	1
0	291100	612534	341100	1149	1461	1	1952	003	2	1
0	0	91907	70930	867	930	1	1952	003	2	1
0	171030	458780	221030	1475	1475	2	1966	003	2	1
0	299840	696545	299840	1712	1712	2	1980	003	2	1
0	205740	454402	260740	882	965	1	1952	003	2	1
0	248070	532819	298070	1317	1344	1	1952	003	2	1
0	136060	325322	186060	1142	1323	1	1952	003	2	1
0	0	0	1030	0	0	0	0	0	0	0
0	335410	735419	335410	2053	2053	2	1973	003	2	1
0	334880	734439	334880	2149	2149	2	1973	003	2	1
0	452030	895307	452030	842	905	1	1999	004	2	1
0	163280	375746	213280	803	873	1	1956	003	4	1
0	170260	440963	170260	1028	1166	1	1952	003	2	1
0	115170	286625	165170	910	1014	1	1949	002	2	1
0	57860	185202	57860	895	985	1	1956	003	2	1
0	463480	916518	463480	1524	1878	1	1949	002	2	1
0	314170	712795	314170	1138	1213	1	1990	003	2	1
0	176670	509218	176670	1734	2029	2	1947	002	2	1
0	0	98732	80620	1294	1618	1	1952	003	2	1
0	295410	691143	295410	1643	1643	2	1969	003	2	1
0	110470	296939	110470	1264	1506	1	1951	003	2	1
0	193710	432117	243710	966	1105	1	1952	003	2	1
0	0	0	1030	0	0	0	0	0	0	0
0	100810	260022	150810	1026	1145	1	1952	003	2	1
0	257100	690956	257100	1719	1804	2	1963	003	2	2
0	84140	229140	134140	1195	1472	1	1953	003	2	1
0	200200	444142	250200	988	1180	1	1956	003	2	1
0	43470	153801	93470	1065	1233	1	1952	003	2	1
0	250690	545684	250690	879	965	1	1952	003	2	1
0	84590	401887	122750	3000	3000	2	1981	003	2	1
0	242120	624946	242120	2170	2170	2	1982	003	2	1
0	840	1559	840	0	0	0	0	0	0	0
0	840	1559	840	0	0	0	0	0	0	0
0	431970	916072	431970	1644	1655	2	1941	002	2	2
0	24500	116895	72130	1000	1019	1	2003	004	2	1
0	280090	592135	330090	1842	2351	1	1953	003	2	1
0	47640	161525	97640	1981	2318	1	1960	003	2	1
0	428910	852478	428910	1033	1083	1	2001	004	2	1
0	0	0	1030	0	0	0	0	0	0	0
0	221260	467809	221260	934	1066	1	1952	003	2	1
0	41230	149650	91230	1406	1500	1	1957	003	2	1

0	155980	415328	181480	2393	2393	2 1972 003 2	1
0	322110	722967	322110	2393	2393	2 1972 003 2	1
0	19750	61905	19750	0	0	0 0	0
0	19750	61905	19750	0	0	0 0	0
0	65320	236542	165320	1121	1329	1 1952 003 2	1
0	0	327253	960640	6990	6990	0 1960 003 2	1

BLD	H	NCU_LAND	NCU_BLDG	NCLY	PA_DATE	L_DATE	B_DATE	S/S/S/D	DISA	SISEN_EX_CC	SEN_EX_CITP	
001	N	0	0	1/1	1/1	101009	100528	100326	O T	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q Q	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q	0	0	0
001	N	0	0	1/1	1/1	101009	100513	70127	T D E T	0	0	0
001	N	0	0	1/1	1/1	101009	100611		O T D	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326		0 Y	25240	25240
100	N	33800	121520	70%	70%	101009	100528	100326	Q	0	0	0
100	N	0	0	1/1	1/1	101009	100528	100326	D T	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	T Q Q C	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q S	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	T Q Q S	0	0	0
	N	0	0	1/1	1/1	0	0	0		0	0	0
100	N	0	0	1/1	1/1	101009	100520	100426	Q	0	0	0
100	N	0	0	1/1	1/1	101009	100520	100426	D Q T Q	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	T	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326		0	0	0
001	N	0	0	1/1	1/1	101013	100528	100625	Q D C T	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100601	T T C T	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q Q T	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q	0	0	0
102	N	0	0	1/1	1/1	101009	100520	100426		0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	T D	0 P	30520	30520
100	N	0	0	1/1	1/1	101009	100520	100426	Q Q T Q	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q Q T T	0	0	0
	N	0	0	1/1	1/1	0	0	0		0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	T T D D	0	0	0
102	N	0	0	1/1	1/1	101009	100528	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	T C D	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q Q T T	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100624	T S Q	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100625	Q Q D D	0	0	0
100	N	38550	28440	1/2	1/2	101009	100520	100426		0	0	0
100	N	0	0	1/1	1/1	101009	100520	100426	D T T	0	0	0
	N	0	0	1/1	1/1	101009	100608		O E E E	0	0	0
	N	0	0	1/1	1/1	101009	100611		O	0	0	0
102	N	0	0	1/1	1/1	101009	100520	100426	E E E	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	T T	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	T	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	Q Q Q T	0	0	0
	N	0	0	1/1	1/1	0	0	0		0	0	0
001	N	0	0	1/1	1/1	101029	100528	100326	S	0	0	0
001	N	0	0	1/1	1/1	101009	100528	100326	T	0	0	0

100 N	11000	38430	50% 50%	101009	100520	100426 T T	0	0	0
100 N	0	0	1/1 1/1	101215	100520	100426 T Q	0	0	0
N	0	0	1/1 1/1	101009	100608	0 D T	0	0	0
N	0	0	1/1 1/1	101009	100608	0 D T	0	0	0
001 N	0	0	1/1 1/1	101009	100528	100326 T T Q	0 Y	50000	50000
707 N	0	0	1/1 1/1	101009	60607	90330 T T	0	0	0

S/	S/	PRELIM_JU:	PIGIS_SQUAR	ACTU	LAST_OV	CENSUS_BLO	SAI	SAI	SAI	SAI	SAI	PAIF	LAI	MI	MISC_DIST_
0			6005	1949	0420	120110408012	02	11				D44	21		0
0			6005	1952	1223 FL	120110408012	01	01				D44	21		0
0			6005	1949	0420 FL	120110408012	01					D44	21		0
0			8920	2010	0420	120110408012	11	30	03	11	11	D44	21		0
0			7206	2010	0420	120110408012	11	30				D44	21		0
0			6760	1949	0821 FL	120110408021	01					D46	21		0
0			6760	1949	0420 FL	120110408021						D46	21		0
0			6760	1949	1119 FL	120110408021	01					F08	21		0
0			6760	1958	1119	120110408021	12	11				F08	59		0
0			6761	1949	0821	120110408021	11	01	01	02	12	D46	21		0
0			6761	1949	0420	120110408021	01	02				D46	21		0
0			4733	1948	0120	120110408021	11	01	01	02		D46	21		0
0			2028		1221	120110408021							75		0
0			5102	1972	0622	120110408021	01					F08	57		0
0			5029	1972	0622	120110408021	30	01	11	01	02	F08	56		0
0			6010	1949	0421 FL	120110408021	11					D45	21		0
0			6010	1946	0420 FL	120110408021	01					D45	21		0
0			6010	1949	0420	120110408021						D45	21		0
0			6010	1947	0420	120110408021	01	16	02	11		D45	21		0
0			6010	1949	0420	120110408021	11	11	02	11		D45	21		0
0			6753	1946	0121	120110408021	01	01	11			D46	21		0
0			6753	1948	0420 FL	120110408021	01					D46	21		0
0			6753	1946	0420	120110408021						D46	21		0
0			6753	1948	0420 FL	120110408021	11	30				D46	21		0
0			6753	1968	0623 FL	120110408021	01	01	11	01		F08	59		0
0			4727	1946	0322	120110408021	01					D46	21		0
0			4727	1949	0420	120110408021	01	01	11	11		D46	21		0
0			2025		1221	120110408021							75		0
0			6752	1949	0420 FL	120110408021	11	11				D46	21		0
0			6753	1962	0420 FL	120110408021						D46	21		0
0			6753	1952	1020 FL	120110408021	11	02	12			D46	21		0
0			6753	1949	0420 FL	120110408021	01	01	11	11	01	D46	21		0
0			6753	1949	0420 FL	120110408021	11	02				D46	21		0
0			6753	1949	0420	120110408021	01	02	12	12		D46	21		0
0			8102	1980	1119 FL	120110417001						F08	56		0
0			6751	1981	1119 FL	120110417001	30	11		11		F08	59		0
0			1688		1221	120110417001	05	05	05			D45	21		0
0			1688		1221	120110417001						D45	21		0
0			6751	1940	0622	120110417001	05	05	05			D46	21		0
0			10127	2002	0622 FL	120110417001						D46	21		0
0			6751	1946	1123 FL	120110417001	11	11				D46	21		0
0			6751	1950	0622 FL	120110417001	11					D46	21		0
0			8102	1950	0622 FL	120110417001	01	01	01	11	02	D46	21		0
0			2025		1221	120110417001							75		0
0			6761	1951	0622 FL	120110417001	02					D46	22		0
0			6761	1956	0622 FL	120110417001	30					D46	21		0

0	6379	1971	1019	FL	120110417002	11	11	F08	56	0
0	6379	1971	0223	FL	120110417002	11	01	F08	57	0
0	3190		1221		120110417002	05	11	D44	21	0
0	3190		1221		120110417002	05	11	D44	21	0
0	6379	1951	0522	FL	120110417002	11	30	D44	21	0
0	58814	1952	0123		120110417001	11	11		56	0

NCU_LAND	NCU_BLDG	BEDS	BATH	LY_NCU_LA	LY_NCU_BL	LY_SB_SOH	CBROW	LYCBROW	GRANNY_FI
0	0	2.0	1.0	0	0	64250	0	0	0
0	0	2.0	1.0	0	0	360030	0	0	0
0	0	2.0	1.0	0	0	301760	0	0	0
0	0	3.0	3.5	0	0	470900	0	0	0
0	0	3.0	3.5	0	0	456770	0	0	0
0	0	2.0	1.0	0	0	351330	0	0	0
0	0	2.0	1.0	0	0	73050	0	0	0
0	87940	0.0	0.0	0	79940	247780	0	0	0
0	0	3.0	2.0	0	0	363990	0	0	0
0	0	2.0	1.0	0	0	268560	0	0	0
0	0	3.0	2.0	0	0	307010	0	0	0
0	0	3.0	2.0	0	0	191640	0	0	0
0	0	0.0	0.0	0	0	1030	0	0	0
0	0	6.0	4.0	0	0	375550	0	0	0
0	0	6.0	4.0	0	0	375180	0	0	0
0	0	2.0	1.0	0	0	547000	0	0	0
0	0	2.0	1.0	0	0	219670	0	0	0
0	0	2.0	1.0	0	0	345910	0	0	0
0	0	2.0	1.0	0	0	170120	0	0	0
0	0	2.0	1.0	0	0	105840	0	0	0
0	0	2.0	2.0	0	0	543530	0	0	0
0	0	2.0	1.0	0	0	507320	0	0	0
0	0	2.0	2.0	0	0	330920	0	0	0
0	0	2.0	1.0	0	0	83030	0	0	0
0	0	2.0	1.0	0	0	364090	0	0	0
0	0	2.0	2.0	0	0	192830	0	0	0
0	0	2.0	1.0	0	0	251020	0	0	0
0	0	0.0	0.0	0	0	1030	0	0	0
0	0	2.0	1.0	0	0	155330	0	0	0
0	0	2.0	1.0	0	0	489960	0	0	0
0	0	2.0	1.0	0	0	138160	0	0	0
0	0	3.0	2.0	0	0	359500	0	0	0
0	0	2.0	1.0	0	0	96270	0	0	0
0	0	2.0	1.0	0	0	336090	0	0	0
0	72110	0.0	0.0	0	65550	325070	0	0	0
0	0	0.0	0.0	0	0	383800	0	0	0
0	0	0.0	0.0	0	0	840	0	0	0
0	0	0.0	0.0	0	0	840	0	0	0
0	0	6.0	3.0	0	0	604260	0	0	0
0	0	0.0	0.0	0	0	74290	0	0	0
0	0	0.0	0.0	0	0	339990	0	0	0
0	0	0.0	0.0	0	0	100560	0	0	0
0	0	2.0	2.0	0	0	596960	0	0	0
0	0	0.0	0.0	0	0	1030	0	0	0
0	0	2.0	1.0	0	0	304000	0	0	0
0	0	0.0	0.0	0	0	93960	0	0	0

0	163200	4.0	4.0	0	148360	223240	0	0	0
0	0	4.0	4.0	0	0	492180	0	0	0
0	0	0.0	0.0	0	0	70180	0	0	0
0	0	0.0	0.0	0	0	70180	0	0	0
0	0	0.0	0.0	0	0	170270	0	0	0
0	0	0.0	0.0	0	0	1097830	0	0	0

CRA	DAMA ST	(STORM_ASSI	CLICLEAN_	ASSE EXI	COMB_SP	GRANNY_F_	WBI	SALE1_CIN
	F1	1.00	0.00		0 0 0		0.0000000000	
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0		0.0000000000	
	F1	2.00	0.00		0 0 0	#####		
	F1	2.00	0.00		0 0 0		0.0000000000	
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
		0.00	0.00		0 0 0		0.0000000000	
	F1	2.00	0.00		0 0 0	#####		
	F1	2.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0		0.0000000000	
	F1	1.00	0.00		0 0 0		0.0000000000	
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	2.00	0.00		0 0 0		0.0000000000	
	F1	1.00	0.00		0 1 0	#####		
	F1	2.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
		0.00	0.00		0 0 0		0.0000000000	
	F1	1.00	0.00		0 0 0	#####		
	F1	2.00	0.00		0 0 0		0.0000000000	
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
	F1	1.00	0.00		0 0 0	#####		
03003	F1	2.00	0.00		0 0 0		0.0000000000	
03003	F1	2.00	0.00		0 0 0	#####		
03003		0.00	0.00		0 0 0	#####		
03003		0.00	0.00		0 0 0		0.0000000000	
03003	F1	2.00	0.00		0 0 0	#####		
03003	F1	1.00	0.00		0 0 0		0.0000000000	
03003	F1	1.00	0.00		0 0 0	#####		
03003	F1	1.00	0.00		0 0 0	#####		
03003	F1	1.00	0.00		0 0 0	#####		
03003		0.00	0.00		0 0 0		0.0000000000	
03003	F1	1.00	0.00		0 0 0		0.0000000000	
03003	F1	1.00	0.00		0 0 0	#####		

03003	F1	2.00	0.00	0 1 0 #####
03003	F1	2.00	0.00	0 0 0 #####
03003	F3	3190.00	0.00	0 0 0 0.0000000000
03003	F3	3190.00	0.00	0 0 0 0.0000000000
03003	F1	1.00	0.00	0 0 0 #####
03003	F2	58814.00	0.00	0 0 0 #####

0.0000000000	0.0000000000	0.0000000000	0.0000000000
#####	0.0000000000	0.0000000000	0.0000000000
0.0000000000	0.0000000000	0.0000000000	0.0000000000
0.0000000000	0.0000000000	0.0000000000	0.0000000000
#####	#####	0.0000000000	0.0000000000
#####	0.0000000000	0.0000000000	0.0000000000

COUNTY_A	SCHOOL_A	CITY_AH_A	INDEP_AH_TIPOR	BLDG_UNDER	HE3_AMOL	SCHOOL_EX	ESRI_OID
0	0	0	0	825	0	0	272
0	0	0	0	1240	0	0	273
0	0	0	0	1033	0	0	274
0	0	0	0	2986	0	0	275
0	0	0	0	2986	0	0	276
0	0	0	0	1161	0	0	277
0	0	0	0	825	0	0	278
0	0	0	0	0	0	0	279
0	0	0	0	0	0	0	280
0	0	0	0	825	0	0	281
0	0	0	0	1304	0	0	282
0	0	0	0	1158	0	0	271
0	0	0	0	0	0	0	283
0	0	0	0	0	0	0	284
0	0	0	0	0	0	0	285
0	0	0	0	800	0	0	286
0	0	0	0	768	0	0	287
0	0	0	0	1091	0	0	288
0	0	0	0	858	0	0	289
0	0	0	0	825	0	0	290
0	0	0	0	1603	0	0	291
0	0	0	0	1159	0	0	292
0	0	0	0	1644	0	0	293
0	0	0	0	1491	0	0	294
0	0	0	0	0	0	0	295
0	0	0	0	1506	0	0	296
0	0	0	0	1020	0	0	297
0	0	0	0	0	0	0	298
0	0	0	0	1105	0	0	299
0	0	0	0	1736	0	0	300
0	0	0	0	1056	0	0	301
0	0	0	0	932	0	0	302
0	0	0	0	1113	0	0	303
0	0	0	0	825	0	0	304
0	0	0	0	0	0	0	305
0	0	0	0	0	0	0	306
0	0	0	0	0	0	0	307
0	0	0	0	0	0	0	308
0	0	0	0	1639	0	0	309
0	0	0	0	991	0	0	310
0	0	0	0	2276	0	0	311
0	0	0	0	1973	0	0	312
0	0	0	0	1008	0	0	313
0	0	0	0	0	0	0	314
0	0	0	0	968	0	0	315
0	0	0	0	1446	0	0	316

0	0	0	0	0	0	0	317
0	0	0	0	0	0	0	318
0	0	0	0	0	0	0	319
0	0	0	0	0	0	0	320
0	0	0	0	1174	0	0	321
0	0	0	0	0	0	0	322



Martin Silva
Enviado desde mi iPhone



Martin Silva
Enviado desde mi iPhone

Mail body: Foto-1



Martin Silva
Enviado desde mi iPhone



Martin Silva
Enviado desde mi iPhone



Martin Silva
Enviado desde mi iPhone

Mail body: Foto -4



Martin Silva
Enviado desde mi iPhone

February 24, 2024

City of Fort Lauderdale-Building Services Department

700 NW 19th Ave. Fort Lauderdale, FL 33311

Re: 1301 NE 1st Ave. Fort Lauderdale, FL 33304

Subject: Narrative Grandfather Variance Request

Sec.Code: 47-5.32

Corner Yard Setback.

Martin Silva is seeking approval to amend the 10' setback on the South side of the building (13th St. NW) to continues the wall of the existing house build on 1948. My uniquely exceptional hardship attributable to the land is the property is only 35' wide.

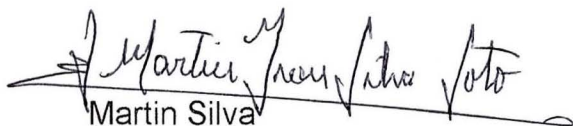
The reason to build an addition is because my elderly father will be move with me. He will live at the front of the property and I will use the new addition.

Similarly, literal application of the provisions of the ULDR would deprive me of substantial property right that is enjoyed by other property owners with the same zoning district. We are increasing only 11" of the existing South wall.

Please consider to amend the existing setback .

Thank you for your consideration

Respectfully


Martin Silva

786 414 7079

Email: decsesenta@hotmail.com

TYPE OF SURVEY: BOUNDARY
14-3166, TOPO, 23-0707

JOB NUMBER: SU-14-1689

LEGAL DESCRIPTION:

LOT 12 LESS THE SOUTH 15 FEET FOR ROAD, BLOCK 82 OF PROGRESSO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 18 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

ADDRESS: 1301 NE 1ST AVENUE FT. LAUDERDALE, FL 33304

FLOOD ZONE: AH
BASE FLOOD ELEVATION: 6' NAVD
CONTROL PANEL NUMBER: 125105-12011C0369-H
EFFECTIVE: 8/18/2014 REVISED:

LOWEST FLOOR ELEVATION: SEE PAGE 2 OF 2
GARAGE FLOOR ELEVATION: SEE PAGE 2 OF 2
LOWEST ADJACENT GRADE : SEE PAGE 2 OF 2
HIGHEST ADJACENT GRADE : SEE PAGE 2 OF 2

REFERENCE BENCH MARK: CITY OF FORT LAUDERDALE BENCHMARK# NE 66,
ELEVATION: 5.10' NAVD 1988.

CERTIFY TO:

1. MARTIN I. SILVA
- 2.
- 3.
- 4.
- 5.
- 6.

NOTES:

1. THIS SURVEY CONSISTS OF A MAP AND A TEXT REPORT. ONE IS NOT VALID WITHOUT THE OTHER.
2. OWNERSHIP OF FENCE AND WALLS IF ANY, NOT DETERMINED.
3. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON. TO BE VALID ONE YEAR FROM THE DATE OF SURVEY AS SHOWN HEREON.

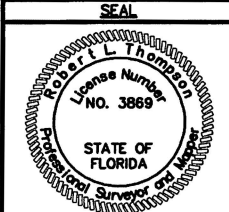
A	=	CENTRAL ANGLE	OR ±	7.00	7.00
A	=	ARC LENGTH			
A/C	=	AIR CONDITIONER			
AD	=	ASSUMED DATUM	FND	=	FOUND
A.E.	=	ANCHOR EASEMENT	FF	=	FINISHED FLOOR
AF	=	ALUMINUM FENCE	FH	=	FIRE HYDRANT
B.C.R.	=	BROWARD COUNTY RECORDS	F.P.L.	=	FLORIDA POWER & LIGHT
BLVD	=	BOULEVARD	GAR.	=	GARAGE
B.M.	=	BENCHMARK	I.D.	=	IDENTIFICATION
(C)	=	CALCULATED	I.P.	=	IRON PIPE
CB	=	CHORD BEARING	I.P.C.	=	IRON PIPE & CAP
CHATT.	=	CHATTahoochee	I.R.	=	IRON ROD
CLF	=	CHAIN LINK FENCE	I.R.C.	=	IRON ROD & CAP
CL	=	CENTERLINE	LP	=	LIGHT POLE
D.B.	=	DEED BOOK	(M)	=	MEASURED
D.E.	=	DRAINAGE EASEMENT	M.D.C.R.	=	MIAMI DADE COUNTY RECORDS
E	=	EAST	MAINT.	=	MAINTENANCE
ELEC.	=	ELECTRIC	MF	=	METAL FENCE
ELEV.	=	ELEVATION	MH	=	MANHOLE
ENCH.	=	ENCROACH	N	=	NORTH
	=	ENCROACHMENT	N/A	=	NOT APPLICABLE
ESMT.	=	EASEMENT	N&D	=	NAIL & DISC

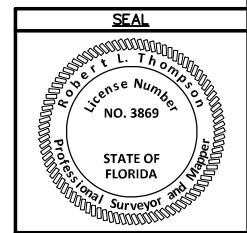
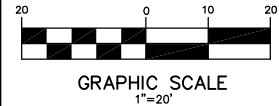
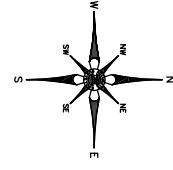
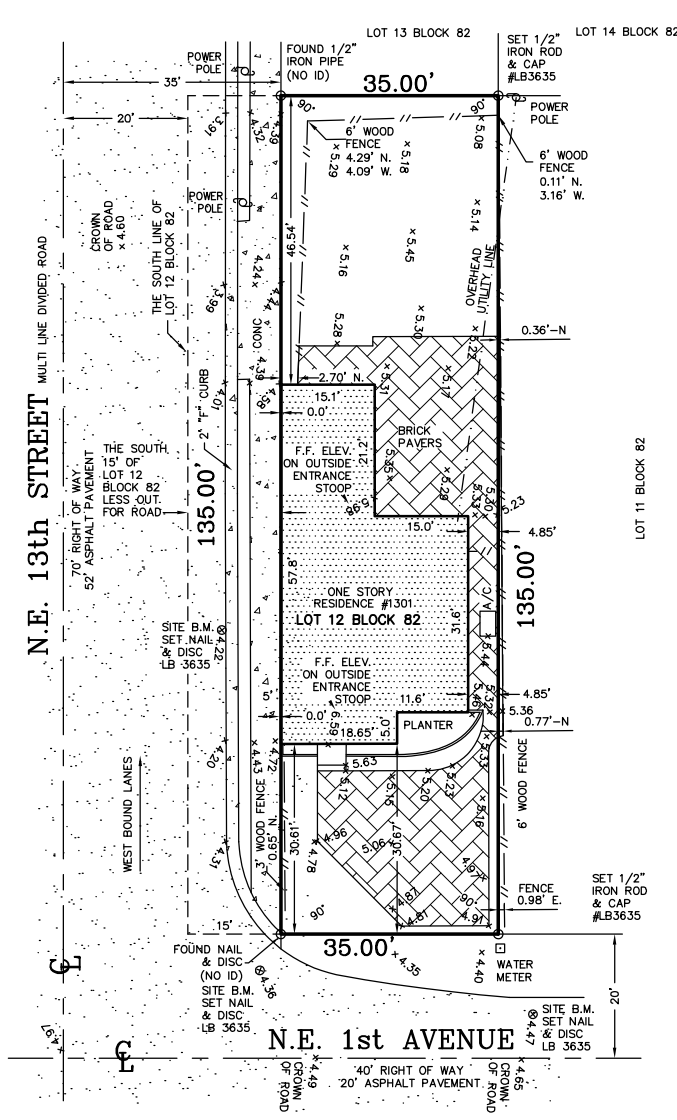
LEGEND OF ABBREVIATIONS:

ELEVATIONS BASED ON NAVD 1988	N.A.V.D.	=	NORTH AMERICAN VERTICAL DATUM
O/S	=	OFFSET	
O.R.B.	=	OFFICIAL RECORDS BOOK P.R.M.	
OH	=	OVERHANG	
(P)	=	PLAT	
P.B.	=	PLAT BOOK	
P.B.C.R.	=	PALM BEACH COUNTY RECORDS	
P.C.	=	POINT OF CURVATURE	
P.C.P.	=	PERMANENT CONTROL POINT	
P.G.	=	PAGE	
P.O.B.	=	POINT OF BEGINNING	
CHAIN LINK FENCE	=	CHAIN LINK FENCE	
WOOD FENCE	=	WOOD FENCE	
METAL FENCE	=	METAL FENCE	
PVC FENCE	=	PVC FENCE	
CONCRETE FENCE	=	CONCRETE FENCE	
CONCRETE WALL	=	CONCRETE WALL	
WIRE FENCE	=	WIRE FENCE	

BROWARD COUNTY NAVD1988

P.O.C.	=	POINT OF COMMENCEMENT
P.R.C.	=	POINT OF REVERSE CURVATURE
P.R.M.	=	PERMANENT REFERENCE MONUMENT
P.T.	=	POINT OF TANGENCY
PVC	=	POLYVINYL CHLORIDE
R	=	RADIUS
RNG.	=	RANGE
RW	=	RIGHT OF WAY
S	=	SOUTH
SEC.	=	SECTION
SQ. FT.	=	SQUARE FEET
TWP.	=	TOWNSHIP
U.E.	=	UTILITY EASEMENT
W	=	WEST
WF	=	WOOD FENCE
WM	=	WATER METER





Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

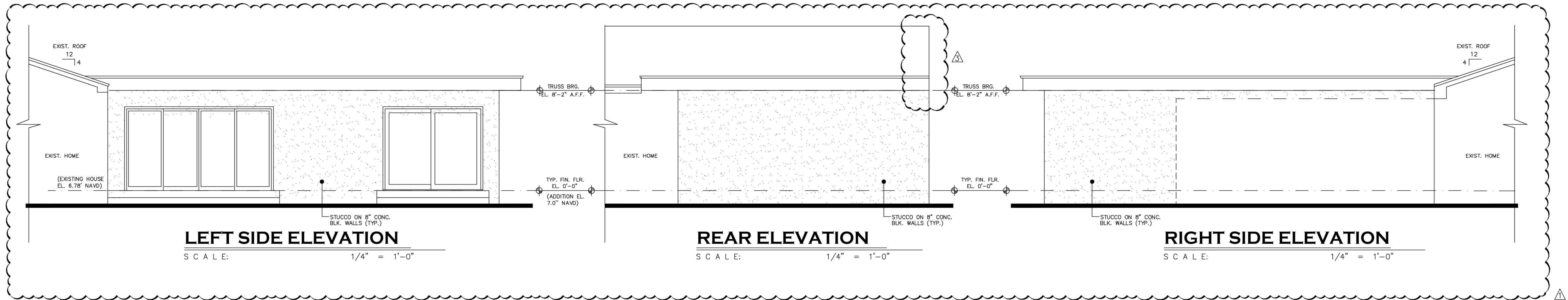
- NOTES:**
- Unless otherwise noted field measurements are in agreement with record measurements.
 - Angles shown hereon are per Plat book 2, Page 18, Miami-Dade County Records.
 - The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.
 - Ownership of fences and walls if any are not determined.
 - This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
 - Any and all underground features such as foundations, utility lines, Ext. were not located on this survey. This is an above ground survey only.
 - The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
 - The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.
 - Accuracy statement: This survey meets or exceeds the horizontal accuracy for SUBURBAN LINEAR : 1 FOOT IN 7,500 FEET.
 - ± Denotes elevations based on the North American Vertical Datum of 1988.
 - Printed copies of this survey are not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.
 - PDF copies of this survey are not valid without the digital signature of a Florida licensed Surveyor and Mapper and must be verified.

REVISIONS & SURVEY UPDATES	DATE OF SURVEY & REVISIONS	BY
UPDATE SURVEY SU-23-0707	05-26-2023	AL/RLT
UPDATE SURVEY SU-14-1689	09-30-2014	AL/JMS

CERTIFICATION:
This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter SJ-17, Florida Administrative Codes, pursuant to current Section 472.027, Florida Statutes.

Digitally signed by Robert L Thompson
Date: 2024.02.26 13:16:41 -05'00'
ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA

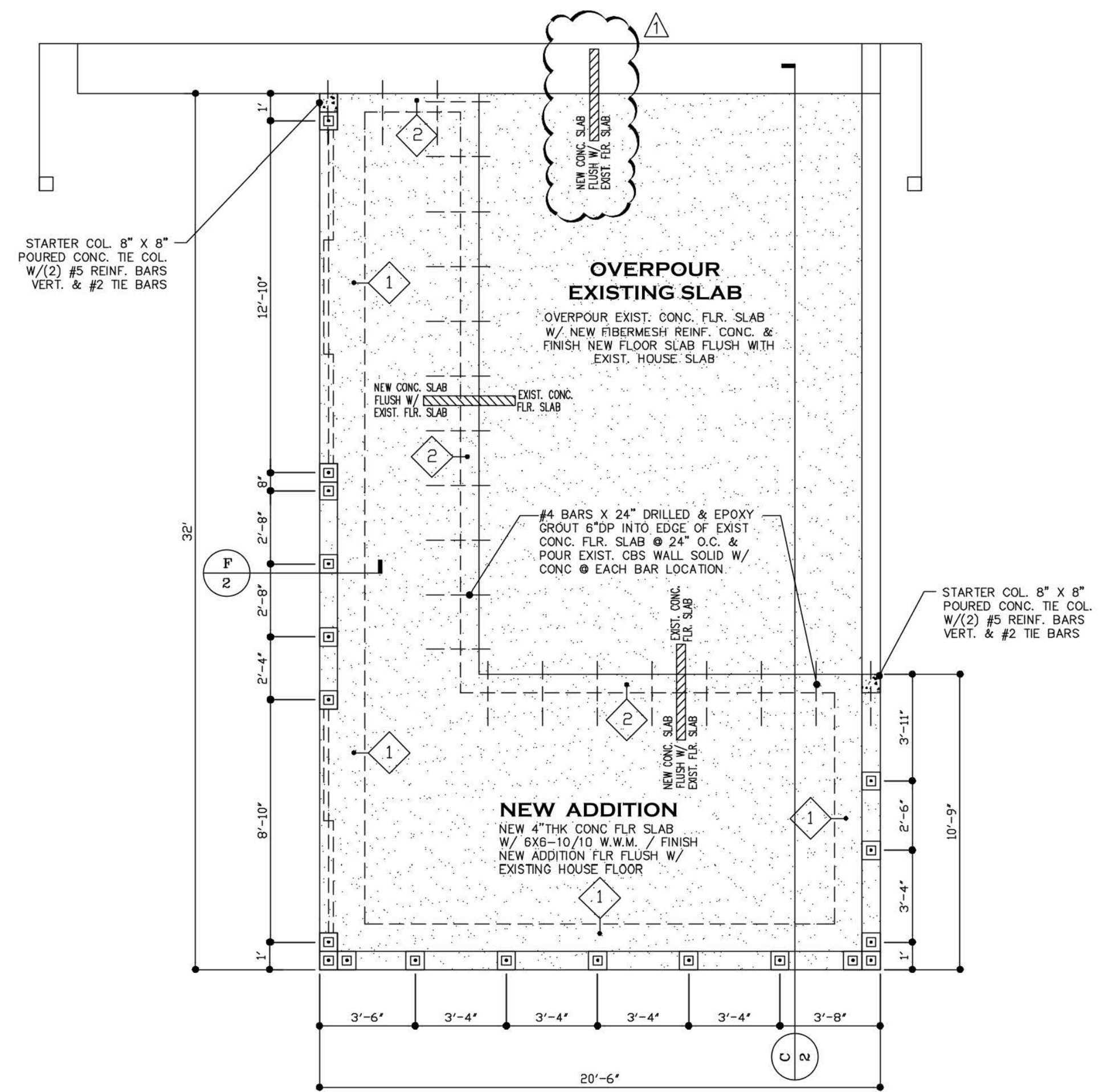
ORIGINAL DATE OF SURVEY 05/30/14	DRAWN BY SP	CHECKED BY JMS	FIELD BOOK 14-1689	SCALE 1"=20'	SKETCH NUMBER SU-14-1689
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LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"

RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

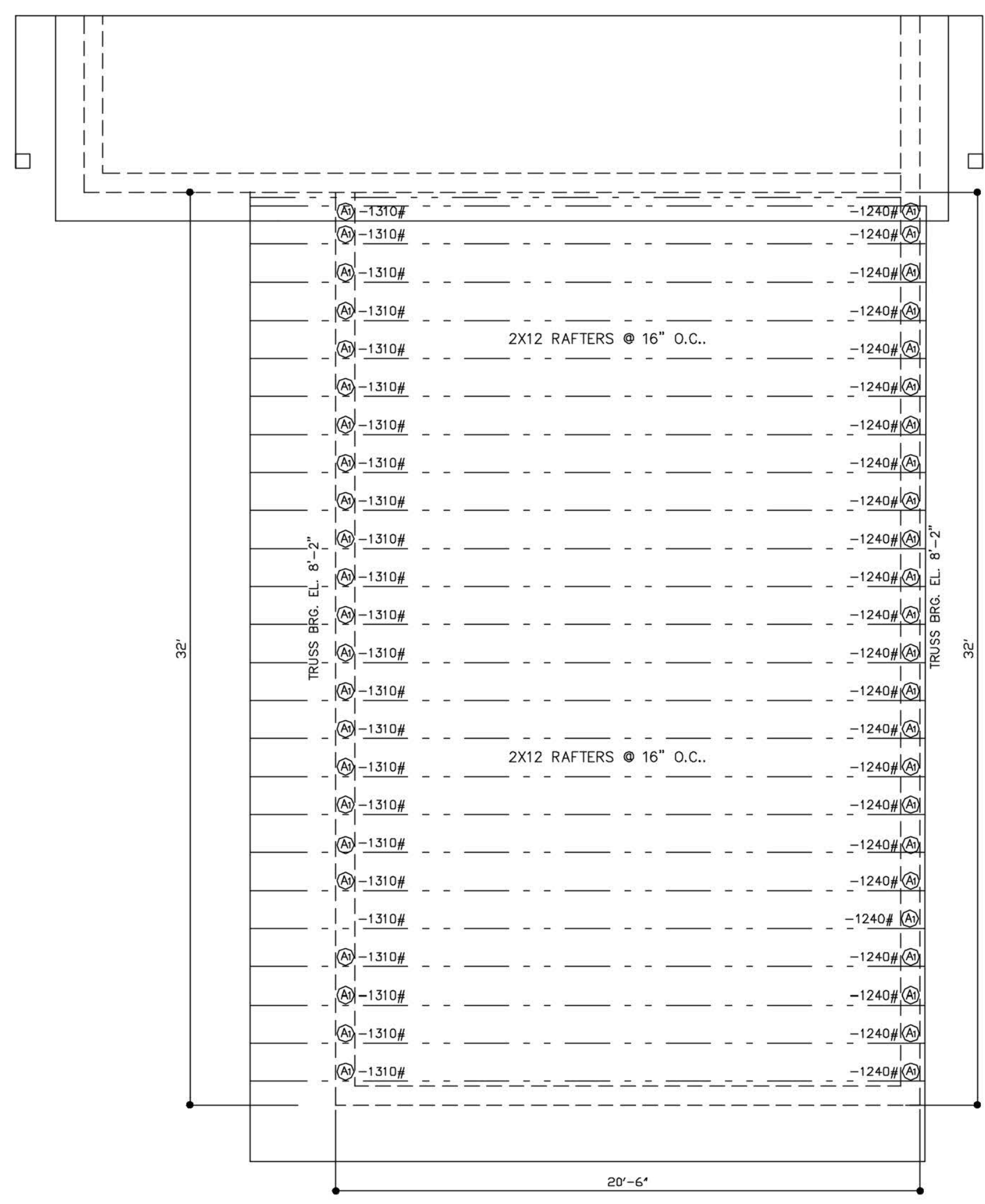


FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:
FLOOR SLAB: 4" CONC. SLAB W/ 6X6-10/10 W.W.M. ON 6 MIL. POLYETH. VAPOR BARRIER ON COMPACTED TERMITE POISONED CLEAN FILL. MIN. SOIL BEARING: 2000 P.S.F.
MIN. CONC. STRENGTH: 2500 P.S.I. AT 28 DAYS
TYPICAL TIE COL: (1) #5 REIN. BAR VERT. & GROUTED SOLID IN CELL OF CONC. BLK. WALL W/ CONCRETE.
STARTER COL: 8" X 8" POURED CONC. TIE COL W/(2) #5 REIN. BARS VERT. & #2 TIE BARS @ 12" O.C. MAX.

FOUNDATION SCHEDULE
1 16" DP. X 18" W. CONCRETE MONOLITHIC FOOTING W/ (2) #5 REIN. BARS CONT. W/#4 TRANSFER BARS 5' LONG W/ HOOK @ 12" O.C.
2 10" DP. X 8" W. THICKENED CONCRETE SLAB EDGE W/ (1) #5 REIN. BAR CONT.

REIN. MASONRY STANDARD:
THE PROVISIONS OF ACI 530-10/ASCE5-10, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, & THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES ARE HEREBY ADOPTED AS THE MINIMUM STANDARD FOR THIS JOB. HOWEVER THIS SHOULD NOT SUPERSEDE ANY REQUIREMENTS FOR HIGH VELOCITY HURRICANE ZONES REIN. UNIT MASONRY



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

ROOF SHEATHING NOTE:
ROOF SHEATHING TO BE MIN. 5/8" EXT. 1. CDX PLYWD. W/ LNO. DIM. PERPENDICULAR TO FRMG. & END JNTS. STAGGERED. ROOF SHTG. TO BE ATTACHED WITH BD RING-SHANK NAILS AT 6" O.C. AT EDGES AND INTERMEDIATE FRAMING.
NAIL TO 2X FACIA BD @ 4" O.C.
ZONE 3 (NO GABLE END)

TRUSS ANCHORAGE NOTE:
A TRUSS ANCHOR STRAP AT WD. FRMG. TO BE "SIMPSON" HTS20 GALV. MTL. TRUSS ANCHOR W/ (10)#10D X 1 1/2" NAILS INTO TRUSS & (10)#10D ON TOP PLATES W/(4)SDS 1/4" X 1 1/4" SCREWS.
U=1500#

ROOF LOADS	
TCLL:	30 PSF
TCDL:	15 PSF
BCLL:	00 PSF
BCDL:	10 PSF
TOTAL:	55 PSF

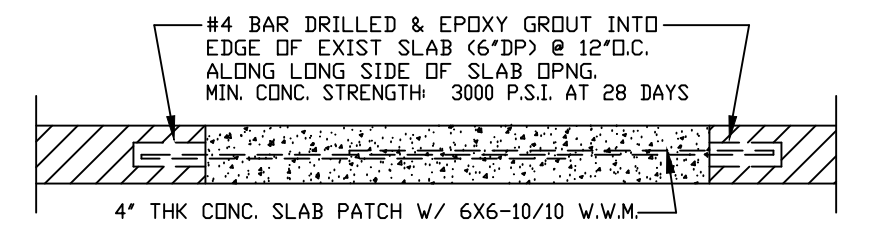
JAMES E. GILGENBACH & PLANNING
9009 ONE PUTT PLACE PORT ST LUCIE FLORIDA 34986
(954) 292 - 0679

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & DISCREPANCIES. CONSTRUCTION SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.

REVISIONS		
N#	DATE	DESCRIPTION
1	JAN.14TH, 24	AS PER BLDG DEPT
3	MAR.16TH, 24	AS PER ZONING DEPT

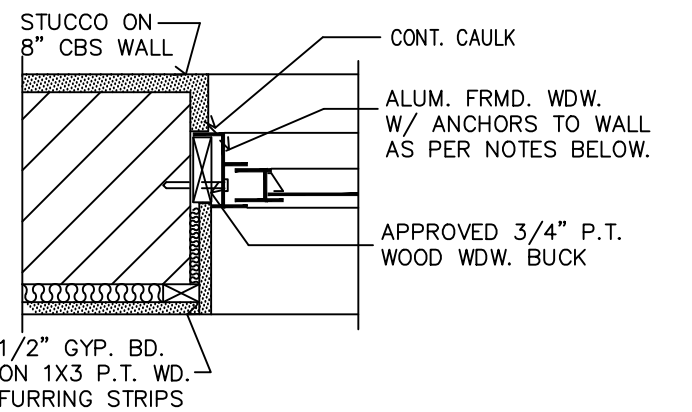
DATE: 12 JUN. '23
PROJECT NO: 22 - J27
SHEET: A3
of 1

ADDITION TO EXISTING RESIDENCE OF
SILVA RESIDENCE
1 3 0 1 NE 1ST AVENUE
FORT LAUDERDALE, BROWARD COUNTY FLORIDA 33304



FLOOR SLAB PATCH DTL.

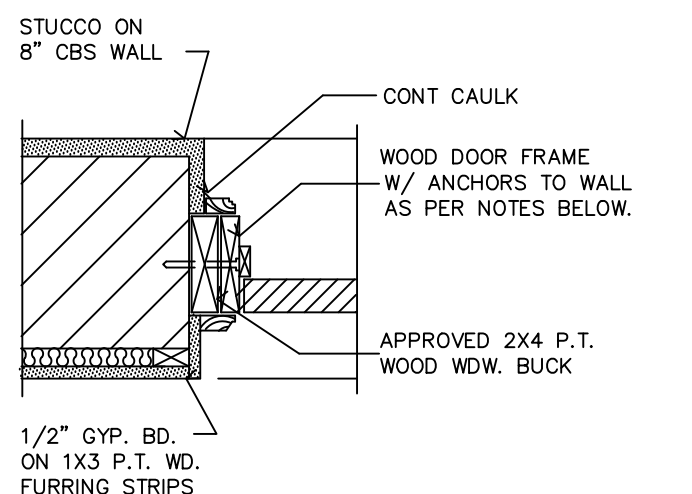
SCALE: 1 1/2" = 1'-0"



ANCHORAGE DETAIL WDW. DETAIL

SCALE: 1 1/2" = 1'-0"

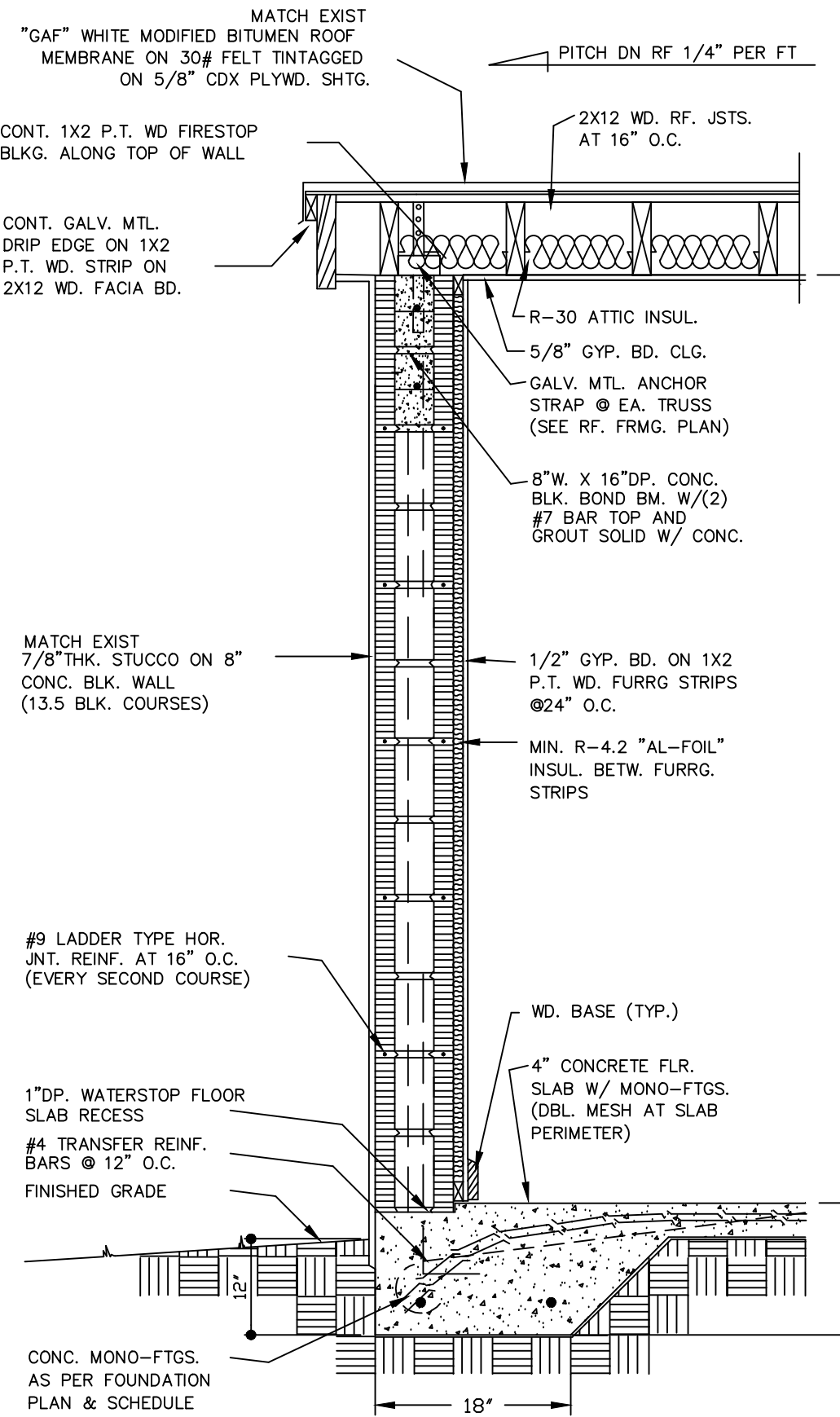
AT MASONRY WALL: 3/16" TAPCON ANCHOR THRU WD. BUCK WITH MIN. 1 1/4" PENETRATION INTO CONCRETE. AT WOOD FRMD. WALL: #10 SMS SCREWS WITH MIN. 3/4" PENETRATION OF THE WOOD FRAMING MEMBER.



CONC BLK ANCHORAGE DTL DOOR DETAIL

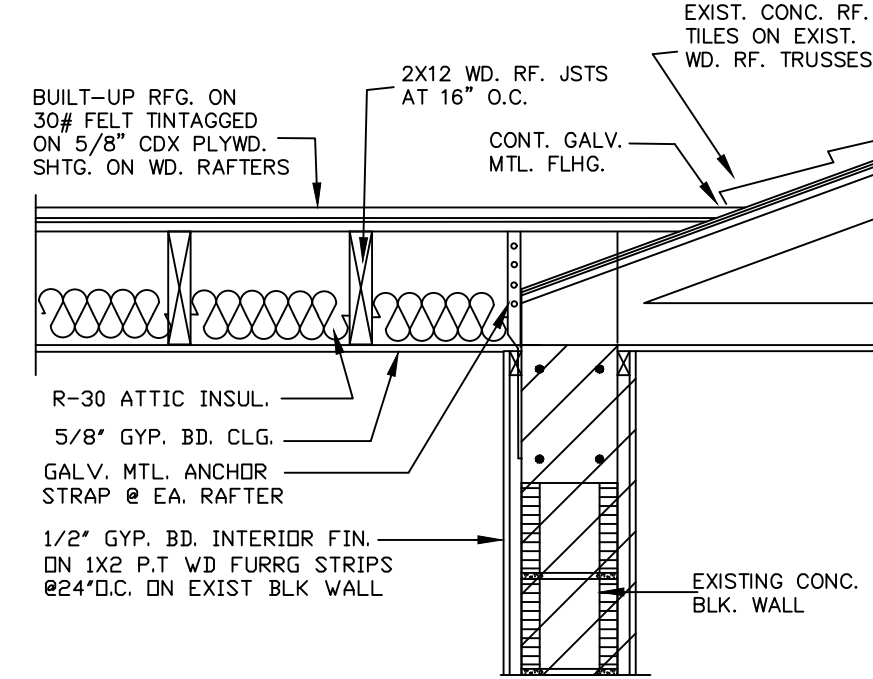
SCALE: 1 1/2" = 1'-0"

ALL ANCHORAGE TO BE WITHIN 6" FROM EACH CORNER AND AS MAXIMUM OR 16" BETWEEN CENTERS. SHIMS TO BE USED TO FILL THE VOIDS AT ALL ANCHORAGE POINTS.



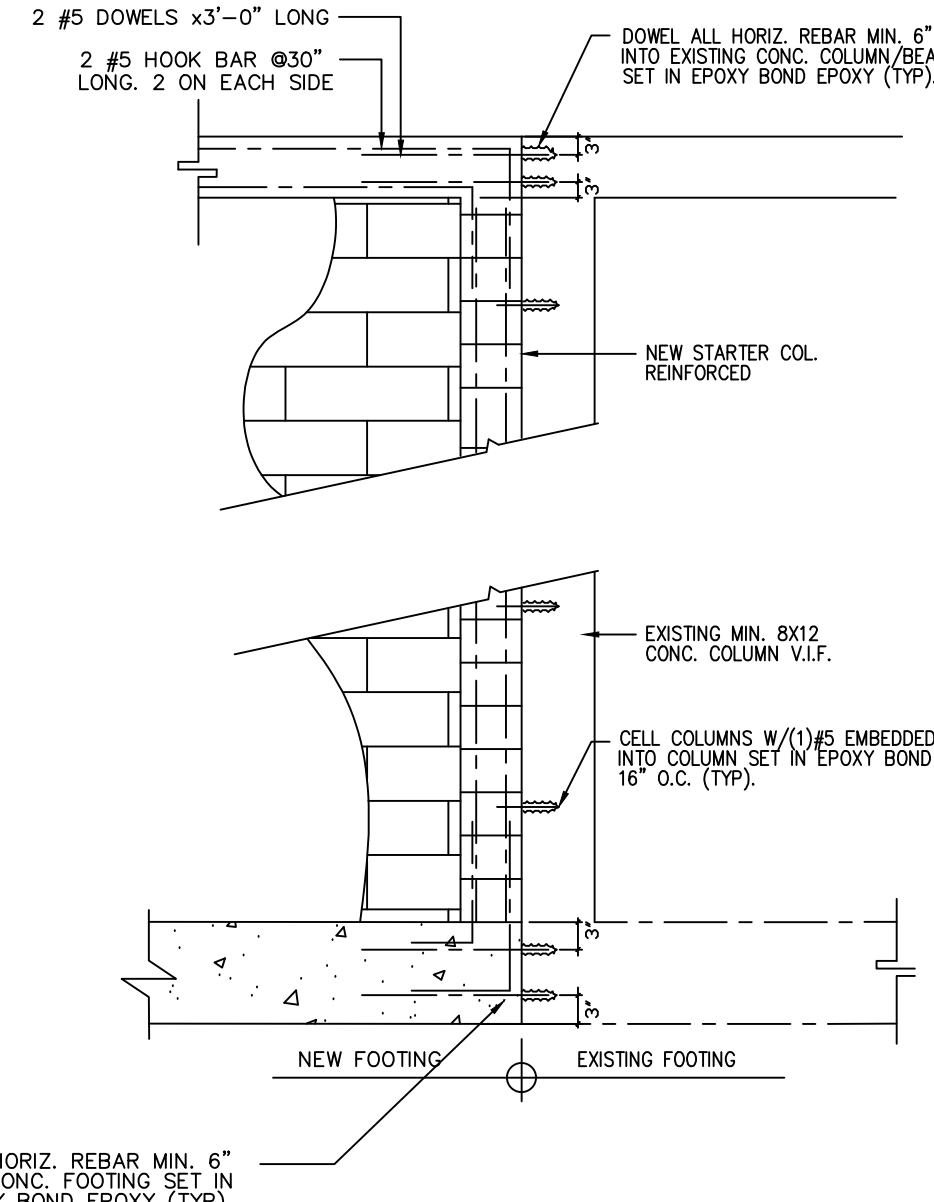
TYP. WALL SECTION

SCALE: 3/4" = 1'-0"



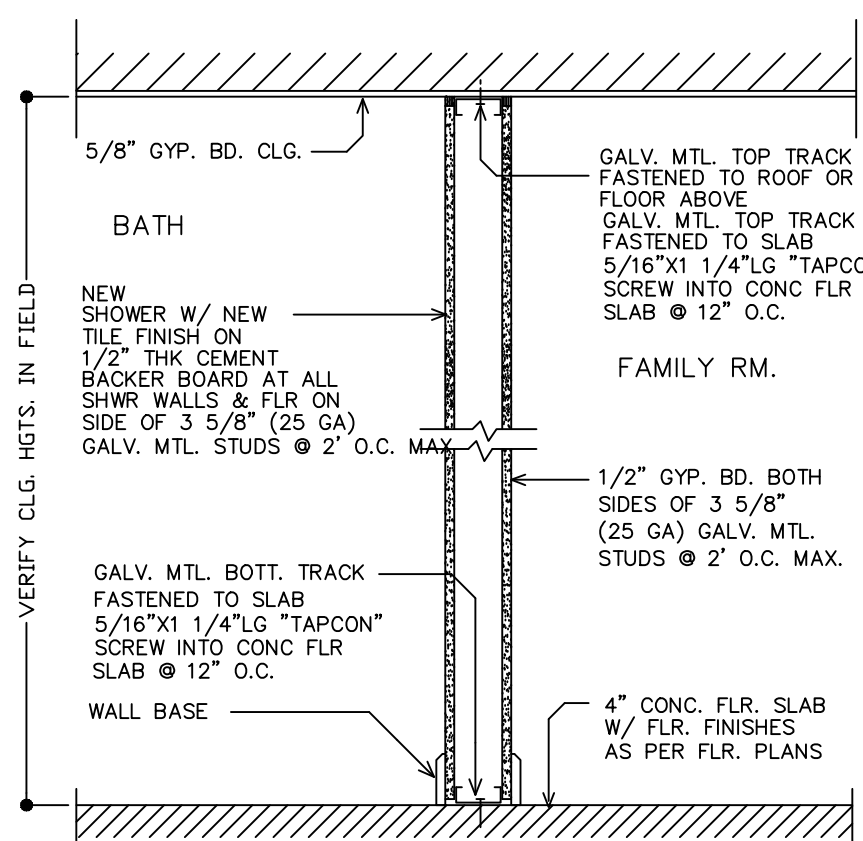
TYP. SHOWER CURB DTL.

SCALE: 1 1/2" = 1'-0"



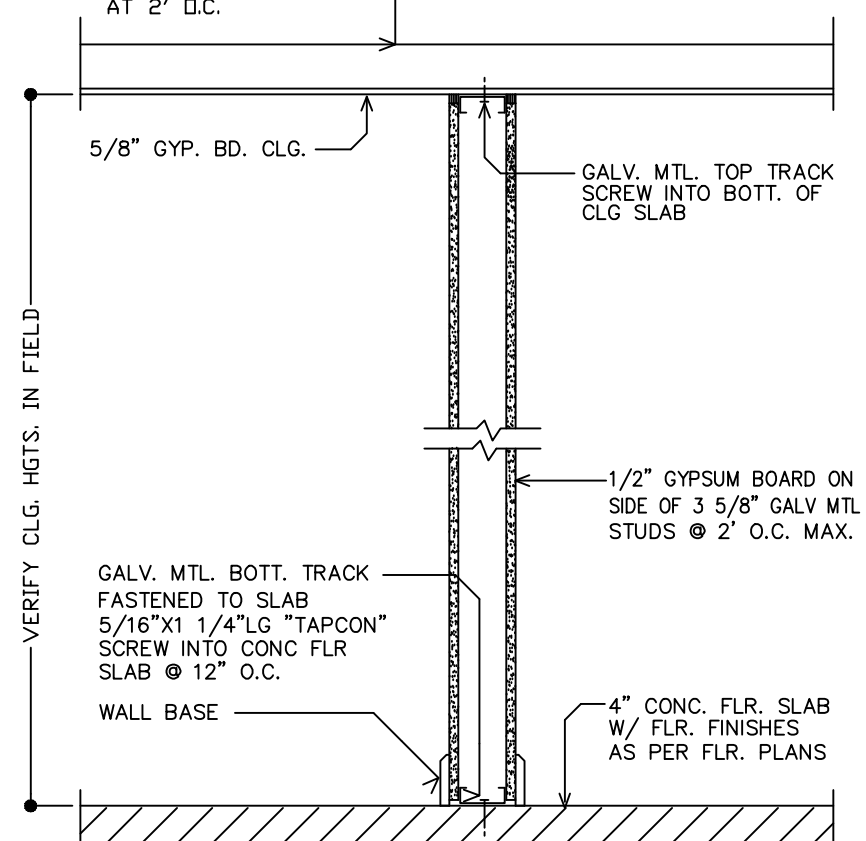
STARTER COLUMN DETAIL

SCALE: N.T.S.



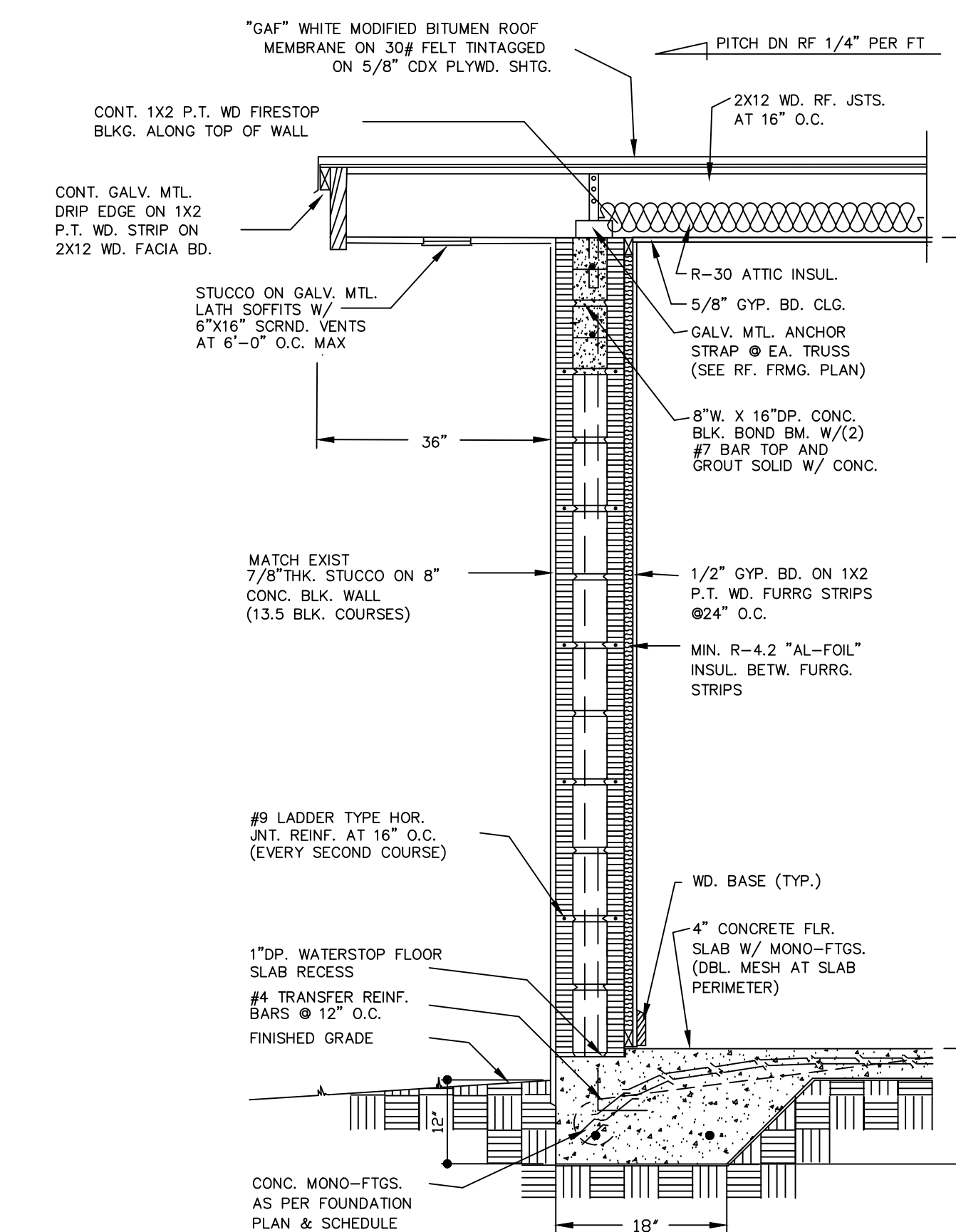
NON-BEARING TYP. INTERIOR WALL

SCALE: 1/2" = 1'-0"



NON-BEARING TYP. INTERIOR WALL

SCALE: 1/2" = 1'-0"



TYP. WALL SECTION

SCALE: 3/4" = 1'-0"

NEW AREA CALCS:

LIVING: 1,179 S.F.
NEW LIVING: 346 S.F.
TOTAL LIVING: 1,525 S.F.
FLORIDA RM. 144 S.F.
TOTAL: 1,669 S.F.

SCHEDULES:

(-37.7#34.3#) 146"x122" M.D.

WIND PRESSURES ROUGH OPENINGS

(-36.9#33.7#) 146"x82" M.D.

(-43.4#34.7#) 98"x82" M.D.

DOORS:

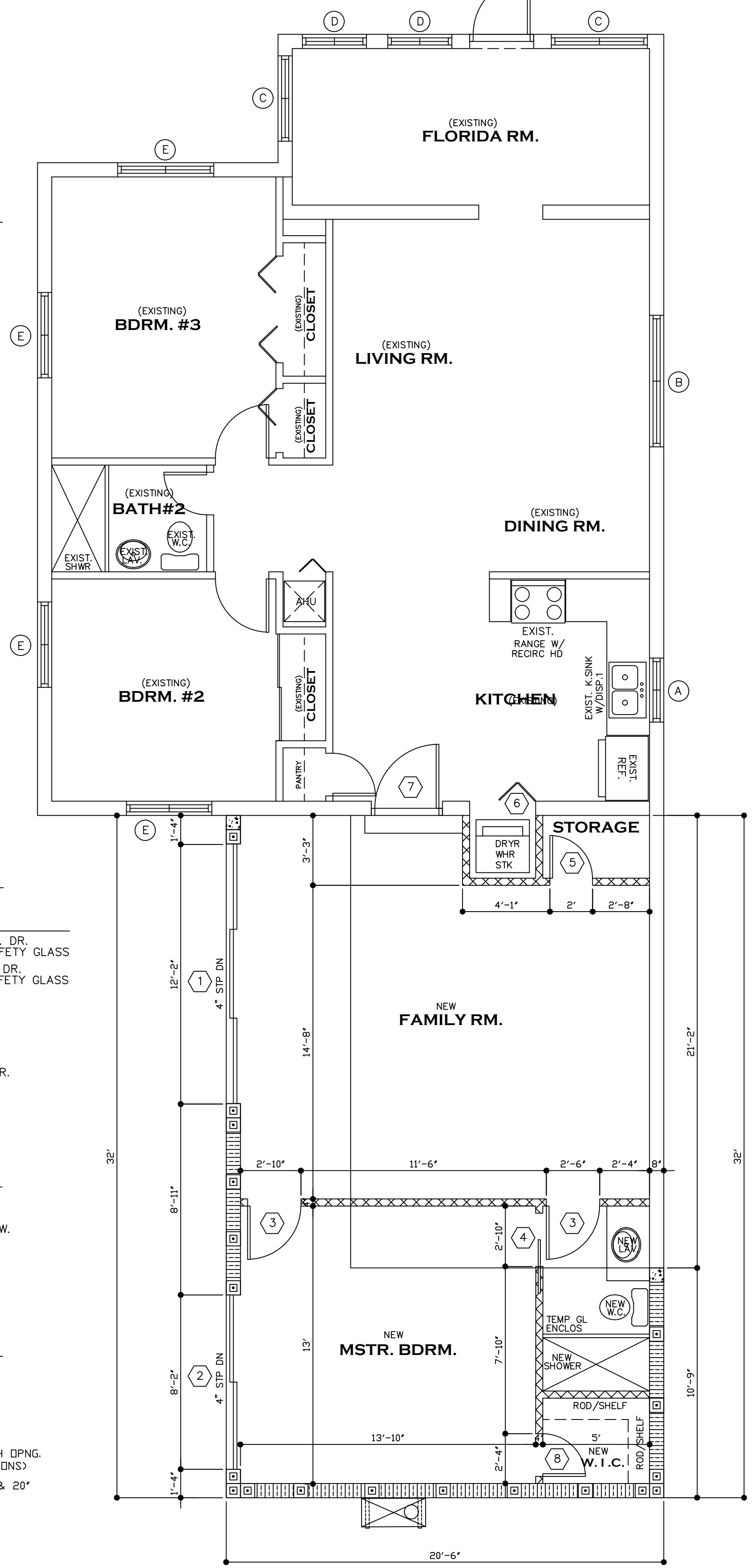
- 1 12068 SLDG. GL. DR. CATEGORY II SAFETY GLASS
- 2 8068 SLDG. GL. DR. CATEGORY II SAFETY GLASS
- 3 2668 WD. DR.
- 4 2668 PKT. DR.
- 5 2068 WD. DR.
- 6 2068 BI-FLD. DR.
- 7 3068 WD. DR.
- 8 2068 WD. DR.

WINDOWS:

- A (-42.2#38.9#) 38"x38" M.D.
- B (-40.6#37.4#) 38"x38" M.D.
- C (-41.4#38.2#) 56"x38" M.D.
- D (-42.2#38.9#) 38"x38" M.D.
- E (-40.5#37.2#) 56"x50" M.D.

WINDOW GLAZING NOTE:

- PROVIDE PGT ALUMINUM "APPROVED" IMPACT GLAZING FOR ALL GLAZED OPENINGS IN EXT. WALL W/IMPACT RESISTANT WDWS. & DRs. AS PER F.B.C. SECTION #1606
- GLAZING TO BE TINTED (ENERGY CALCS)
- (CONTRACTOR RESPONSIBLE TO VERIFY ROUGH OPNG. SIZE W/ WDW. MFG. INSTALLATION INSTRUCTIONS)
- ALL EGRESS WDW. OPNGS. TO BE MIN. 24" HI & 20" WIDE AND MIN. 5.7 S.F. OF OPNG.



ARCHITECTURAL FLOOR PLAN

SCALE: 1/4" = 1'-0"

SILVA RESIDENCE
 ADDITION TO EXISTING RESIDENCE OF
 FORT LAUDERDALE, BROWARD COUNTY FLORIDA 33304

JAMES E. GILGENBACH & PLANNING

9009 ONE PUTT PLACE PORT ST LUCIE FLORIDA 34986
(954) 292 - 0679

REVISIONS		
N°	DATE	DESCRIPTION

DATE: 18 AUG. '23
PROJECT NO: 23 - J19
SHEET: A2
of 3

EXIST. SINGLE FAMILY HOUSE SCOPE OF WORK:

SCOPE OF WORK IS TO RENOVATE MASTER BED AND RELOCATE MASTER BATH, ADD LIVING SPACE INTO EXISTING HOUSE, NEW STORAGE AND NEW FAMILY RM.

WIND DESIGN INFORMATION:

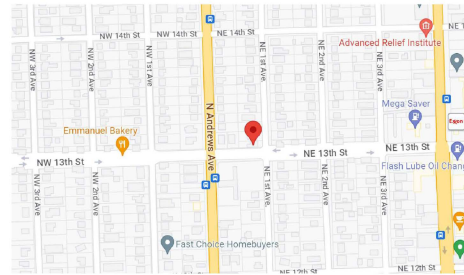
ARCHITECT: JAMES E. GILGENBACH (FL AR7457)
 WIND DESIGN STANDARD: ASCE 7-16
 BUILDING CODE: FL BLDG CODE 2020 7TH ED.
 ELECTRICAL CODE: NATL ELECTRICAL CODE 2017 (NFPA 70)
 DESIGN WIND SPEED: ULTIMATE-170 MPH
 NOMINAL-132 MPH
 411 PSF
 IMPORTANCE FACTOR: 1.0
 BUILDING OCCUPANCY CATEGORY: II
 BUILDING WIND EXPOSURE CLASS: "C"
 INTERNAL PRESSURE COEFFICIENT: +/-0.18
 MEAN ROOF HEIGHT: 12.9 FT.
 TYPE OF CONSTRUCTION: CONC. BLK. ENCLOSED
 SOFT OVERHANG: 24"
 ROOF DEAD LOAD: 12 PSF
 IMPACT PROTECTION: "IMPACT" GLAZING
 CLASSIFICATION OF WORK: LEVEL 2 (ALTERATION)
 BLDG OCCUPANCY CLASSIFICATION: R-3 (SINGLE-FAMILY)
 BLDG TYPE OF CONSTRUCTION: TYPE V
 BLDG - TOTAL # OF STORES: 1 STORY

GENERAL CONSTRUCTION NOTES:

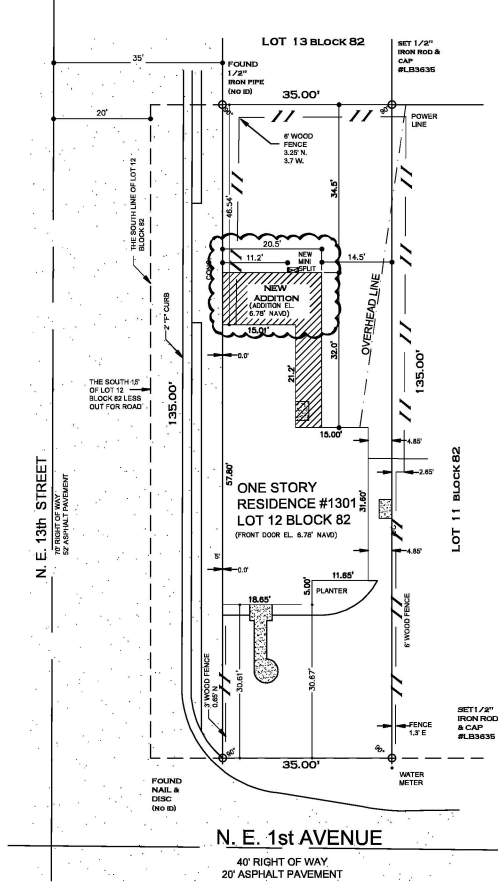
- ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE, LOCAL, & COMMERCIAL CODES, ORDINANCES, STANDARDS AND REGULATIONS. INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR TO BE RESPONSIBLE ON THE JOB PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT OF ALL DISCREPANCIES. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE DRAWINGS.
- ALL DIMENSIONS ARE NOMINAL TO THE FACE OF STUDY, CONC. BLK. OR EDGE OF MEMBROTE SLAB FOOTING UNLESS NOTED OTHERWISE. DOOR AND WINDOW SIZE OPENINGS TO BE VERIFIED WITH THE MANUFACTURER.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH & INSTALL ALL ITEMS FOR COMPLETE FULLY OPERATING SYSTEMS IN FIRST CLASS NORMANCIAS MANNER.
- INSTALL EXTERIOR MASONRY WALL WITH MIN. R-7.8 INSUL. EXTERIOR WOOD FRAMED WALLS WITH R-11 INSUL. AND 4" TO SPACES WITH MIN. R-19 INSUL.
- PROVIDE 1/2" DIA. REINFORCING BARS FOR REMOVED MIN. SOL. BRICK CAPACTY OF 2000 PSF. AS PER ASTM D-1857 FOR OPTIMUM IMPACT PERFORMANCE. PROVIDE 1/2" DIA. REINFORCING BARS WITH MIN. 4" DIA. OF OPTIMUM IMPACT AT THE TIME OF DEMOLITION.
- MIN. CONC. OVERLAP: 30% DIA. #8 BARS. MIN. CONCRETE COVERAGE FOR REIN. BARS: SLAB 3/4", BEAMS & COLS. 1 1/2". RE. COLS. 3/4" FORMED.
- REINFORCING STEEL TO BE GRADE 60.
- DETAILS OF CONCRETE WALL SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STD. PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION".
- ALL COLLARS TO HAVE SLOTTED TO CONCRETE FIB. WITH THE SAME SIZE AND NUMBER OF BOWLS AS VERTICAL REIN. BARS; REIN. STL. TO BE LAPPED 30 BAR DIA. MIN. & SPACES.
- PROVIDE CLEANOUT OPENINGS AT THE BOTTOM OF GROUTED CELLS OF CONCRETE BLK. BE COLLARS.
- STRUCTURE LUMBER TO BE A SINGLE GRADE OF MIN. # 2 (2000 PS (ENDING)).
- PROVIDE ALL EXTERIOR DOORS TO BE UNFROSTED CONC. (1000 PS (ENDING)).
- ALL CONDUCTORS SHALL BE "COMPER" WITH "THIN" INSULATION.
- ALL ELECTRICAL ENCLOSURES OF LARGER THAN 2" DIA. SHALL BE GALVANIZED. RIGID STL. CONDUIT OR SCHED. 40 PVC; OTHER FACEWAYS AS PER CODE REQUIRES.
- PROVIDE "GFI" RECEPTACLES IN BATHROOMS, AT KITCHEN COUNTERS, IN GARAGE AND OUTSIDE LOCATIONS.
- SANITARY PLUMB. PIPING TO HAVE MIN. 1/8" PER FT. PITCH AT ALL HORIZ. RUNS. PROVIDE CLEANOUTS AT THE BASE OF WASTE STACKS.
- ALL UNDERDRAIN WATER PIPING SHALL BE COPPER TYPE "K" ALL OTHER WATER PIPING SHALL BE COPPER TYPE "L".
- PROVIDE ALL OVERHEAD WIRE SET VALUES FOR ALL WATER SUPPLY PIPING AT FIXTURES; PROVIDE VACUUM BREAKER AND SHUTOFF VALVE ON ALL HOSE BEES.

INDEX OF DRAWINGS

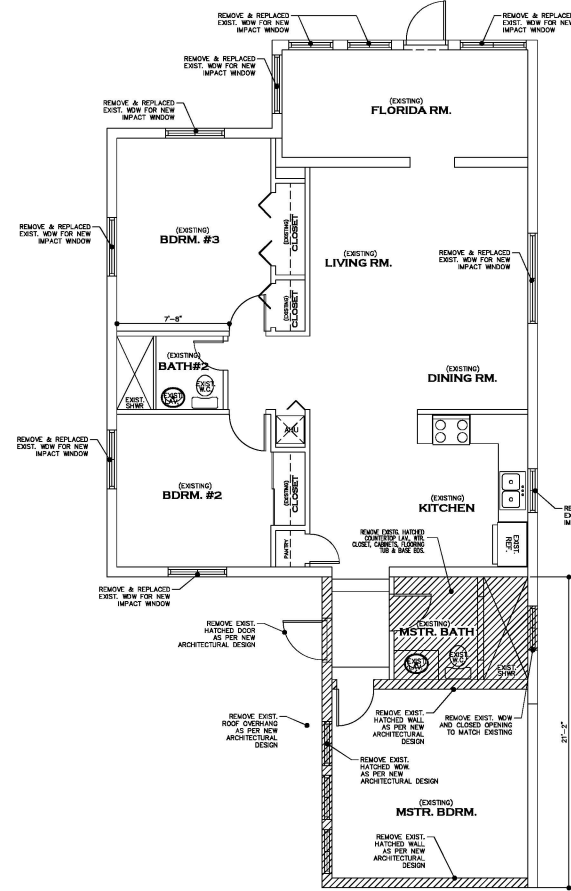
- A1** EXISTING FLOOR PLAN & SITE PLAN
- A2** ARCHITECTURAL FLOOR PLAN & DETAILS
- A3** ELEVATIONS, FOUNDATION & ROOF PLAN
- E1** ELECTRICAL FLOOR PLAN
- M1** MECHANICAL FLOOR PLAN
- P1** PLUMBING FLOOR PLAN



JOB SITE LOCATION



SITE PLAN
SCALE: 1" = 25'-0"



EXISTING/DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

EXISTING AREA CALCLS:
 LIVING: 1,179 S.F.
 TOTAL LIVING: 1,179 S.F.
 FLORIDA RM. 144 S.F.
 TOTAL: 1,323 S.F.

JAMES E GILGENBACH
 Digitally signed by
JAMES E GILGENBACH
 Date: 2024.02.16
 18:06:55 -05'00'

JAMES E. GILGENBACH ARCHITECTURE & PLANNING
 9009 ONE PUTT PLACE (954) 292 - 0679
 PORT ST LUCIE FLORIDA 34986



1. DRAWINGS ARE NOT TO BE USED WITHOUT THE SIGNATURE AND SEAL OF THE ARCHITECT. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE ARCHITECT.

REVISIONS		
N°	DATE	DESCRIPTION
1	JAN. 14/24	AS PER BLDG DEPT

ADDITION TO EXISTING RESIDENCE OF
SILVA RESIDENCE
 PROJECT NO. 1301 NE 1ST AVENUE
 FORT LAUDERDALE, FLORIDA 33304
 SHEET: 127 of 1 **A1**

DATE: 12 JUN '23
 PROJECT NO.: 1301
 SHEET: 127 of 1 **A1**