

CITY OF FORT LAUDERDALE

# DEVELOPMENT REVIEW COMMITTEE



## CASE COMMENT REPORT

CASE NO. UDP-S24011



**CITY OF FORT LAUDERDALE**





## CASE INFORMATION

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<b>CASE:</b>	UDP-S24011
<b>MEETING DATE:</b>	April 23, 2024
<b>REQUEST:</b>	Site Plan Level II Review: 288-Unit Multifamily Residential Development with an Associated Parking Reduction Request
<b>APPLICANT:</b>	Miller Property Investment, LLC. And Bellissima Real Estate, LLC.
<b>AGENT:</b>	Josh Bailey, FSMY Architects & Planners
<b>PROJECT NAME:</b>	100 NW 7th Avenue
<b>PROPERTY ADDRESS:</b>	100 NW 7th Avenue
<b>ZONING DISTRICT:</b>	Regional Activity Center - West Mixed Use District (RAC-WMU)
<b>LAND USE:</b>	Downtown Regional Activity Center
<b>COMMISSION DISTRICT:</b>	2 – Steven Glassman
<b>NEIGHBORHOOD ASSOCIATION:</b>	Progresso Village Civic Association
<b>CASE PLANNER:</b>	Adam Schnell

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## RESUBMITTAL INFORMATION

- Applicant must provide written responses to all DRC comments contained herein.
- Written responses must specify revisions made to the plans and indicate the sheet.
- Resubmitted plan sets must be accompanied by responses to be accepted.
- Any additional documentation must be provided at time of resubmittal.
- Resubmittals must be conducted through the City's online citizen's portal LauderBuild.
- Questions can be directed to the Case Planner assigned to the case.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the FBC
2. Exterior exit door must be readily visible and identifiable from interior exit stairways terminating at a lobby per section 1028.1.1.1 of the FBC. Interior exit stairways #1 shall terminate at point where an exterior exit door is readily visible and identifiable. 1028.1.1.1
3. Show that the openings in the exterior walls adjacent to the north and south property lines meet the requirements of Table 705.8 of the 2023 FBC.
4. Show that the separation distance between exit access stairways for levels meet the requirements of section 1007 of the FBC.
5. Parking facilities that provide valet parking services shall provide at least one passenger loading zone complying with FBC Accessibility Section 503.
6. Provide accessible parking spaces in accordance with the Fair Housing ACT and the FBC Accessibility Volume.

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at:

- a. [https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31st, 2023, the 8th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
  - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
  - c. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>

**General Guidelines Checklist is available upon request.**



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**CASE COMMENTS:**

**Please provide updated plans and written response to the following review comments:**

1. Please clearly show and label in all the Civil and Landscape plans the limits/delineation of the required additional Right-of-Way dedication along East side of NW 7<sup>th</sup> Ave and along West side of NW 6<sup>th</sup> Ave, to complete the Right-of-Way section per the most current Broward County Trafficways Plan.
2. Please clearly show and label in all the Civil and Landscape plans the limits/delineation of the required permanent Sidewalk Easement as appropriate along East side of NW 7<sup>th</sup> Ave and along West side of NW 6<sup>th</sup> Ave to accommodate portion of pedestrian clear path that may be located beyond public Right-of-Way.
3. Provide 10' x 15' (min.) permanent water Easement for any 4 Inch or larger water meter located within the proposed development (for City Maintenance access); show / label delineation in the plans as appropriate.
4. Provide 10' x 15' (min.) permanent sewer Easement for any first private sanitary sewer manhole located within the proposed development (for City Maintenance access); show / label delineation in the plans as appropriate.
5. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>
6. Provide a copy of all the recorded documents for the encumbrances that were found in the title commitment for the property (i.e. FPL easements, dedications, agreements, vacations, etc.).
7. For all the existing utility easements inside the property, please obtain a 'letter of no objection' from each private utility owner that has an interest in them for construction of the proposed improvements located within said easements.
8. If improvements are located within FDOT or Broward County right of way, provide correspondence indicating approval.
9. Clearly indicate on plans the limits of construction and how the proposed improvements will transition into the existing (on-site and off-site) as applicable.
10. Driveway flares shall not encroach onto adjacent property. Refer to City of Fort Lauderdale standard details.



11. Proposed sidewalks shall be 6" thick concrete and through all driveway approaches. Construct sidewalk per City of Fort Lauderdale Sidewalk Construction Detail C2.1.
12. Depict/ label existing/ proposed stop sign/ bar on right of way adjacent to the site and on driveway connections to right of way as applicable.
13. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). Sight triangles located at the intersection of a local street or driveway with a right-of-way under County, State or Federal jurisdictions, are subject to the sight visibility requirements of those jurisdictions.
14. Clearly depict trash enclosure on site plan.
  - a. Show truck turning movements in and out the proposed dumpster enclosure/ building as applicable.
  - b. Ensure sufficient height clearance is provided within the garage for truck access.
15. Provide and label typical roadway cross-sections for the proposed development side of NW 7th Ave and NW 6th Ave: at driveway access points and at landscape swale areas (i.e. between travel lane and sidewalk) as appropriate. Cross-sections should show existing right of way and proposed right of way and/or easement boundaries.
16. Any proposed permanent encroachment (for example building balconies, roof overhangs) into existing or proposed City Right-of-Way (dedication or easement) is not permitted. Any permanent encroachment into other jurisdictions (i.e. FDOT, BCHCED, etc.) Right-of-Way and perpetual easements shall be coordinated with those agencies and supporting documentation provided prior to engineering sign-off.
17. Loading zone: show truck turning template circulation (label typical minimum centerline turning radius) entering and exiting the site as required for the proposed development. Turning geometries and loading zone design shall be in accordance with ULDR Section 47-20.6.
18. For all levels in the parking garage:
  - a. Per ULDR Section 47-20.11.A, drive aisle width shall be 24' (min.) adjacent to 90-degree angle parking stalls. Please show wherever applicable.
  - b. Per ULDR Section 47-20.9.A, parking garage sloping floor grades shall not exceed 5% and 4%, adjacent to 90-degree and 60-degree angle parking stalls, respectively; angle parking on sloping floors shall be minimum 60 degrees. Ramp grades shall have 12% maximum slope where not adjacent to parking stalls. Please show wherever applicable.
19. Water and Sewer Plan:
  - a. Show the proposed 8-inch connection to the City gravity sewer according to the City requirements: the proposed 8-inch gravity line must first go into the new manhole at the edge of the property (10' x 15' minimum Utility Easement must be provided for future access and maintenance). The new manhole on the property shall connect via gravity line to the manhole that will be installed on the existing City gravity sewer.
  - b. The proposed hydrant connection should have double valves (similarly to water and fire) per City standards.



c. Please show the connection of the proposed FDC to the existing water main.

20. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflicts. Any new trees (located within or adjacent to City Right-of-Way) should be placed with sufficient horizontal and vertical distances (per City, County, and State guidelines) to / from City's public infrastructure, including stormwater assets, to allow for continued Public Works maintenance without obstruction. If this cannot be accommodated due to field conditions, then the developer shall relocate the existing City's public infrastructure to resolve the conflict(s) and to comply with City's, County's & State's engineering standards/permits/policies. Ensure separation is provided and include a note regarding horizontal clearance requirement on the landscape plans.
21. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present.
22. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Label whether the adjacent Right-of-Way is FDOT, BCHCED, or City jurisdiction, as well as label all proposed improvements, including asphalt and other specialty paving, specialty sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



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**CASE COMMENTS:**

Please provide a response to the following:

1. 2020 FEMA FIRM is AE 6, 7.4 ft NAVD is required for all residential areas.
2. If structure is to be floodproofed, it must meet all requirements of FBC 1612, ASCE 24-14, and FEMA Technical Bulletin 3. Intention to floodproof must be detailed on plans.
3. AR-101: Provide elevation of utility rooms. The minimum required elevation for machinery is BFE +1.4' NAVD (7.4 ft NAVD).
4. Multiple pages show elevation of 7.0 ft NAVD and 7.4 ft NAVD on f

**GENERAL COMMENTS**

The following comments are for informational purposes.

1. On January 31, 2024, FEMA released the Letter of Final Determination. The 2020 FIRM has become the best available flood hazard data. The BFE has changed from 0.2 X to AE 6. Your DRC documents were submitted on February 14, 2024, and are required to comply with the 2020 FIRM, the minimum FFE is 7.4 ft NAVD.
2. Refer to FEMA P-348: Protecting Building Utility Systems from Flood Damage  
Technical Bulletin 3: Requirements for the Design and Certification of Dry-Floodproofing Non-residential and Mixed-Use Buildings
3. Floodproofing Requirements- Required to be submitted prior to approval at plan review.
  - Meet all requirements of FBC 1612, ASCE 24-14, and FEMA Technical Bulletin 3
  - Completed Floodproofing certificate (section II)
  - Emergency operations plan (draft)
  - Panel legend (if applicable) panel numbering and map of location of installation
  - Panel Installation instructions
  - Proposed storage location of the panels and all required hardware for code compliant installation
4. Additional comments may follow pending submission of the complete plan set.





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**CASE COMMENTS:**

Please provide a response to the following.

1. Existing trees #190, 190a, 191, 192 & 222 are disposed to remain on Sheet CD-101 Demolition Plan. However, they are disposed to be removed on Sheet LD-101 Tree Disposition Plan. Please revise drawings for consistency. If proposed to be removed, these trees should remain on the Tree Disposition Table and be mitigated for accordingly.
2. Provide tree protection barricade detail for existing trees on site to remain on Sheet LD-101 Tree Disposition Plan, as per ULDR 47-21.15. This barricade must be installed prior to the beginning of proposed work, and a landscape job-check inspection may be scheduled. [636590377255900000 \(fortlauderdale.gov\)](https://www.fortlauderdale.gov/636590377255900000)
3. Provide open space and landscape area required versus proposed calculations for RAC-WMU zoning district as per ULDR 47-13.20.E. on site landscape requirements table on Sheet LP-101 Planting Plan. Sheet AR-001 Site Plan includes these calculations, but verify for accuracy and consistency.
4. Within the Downtown RAC district and as per Chapter 4 of the Downtown Master Plan Design Guidelines newly planted shade tree street trees are suggested to be a minimum of 20-22 feet tall; 10-12 feet spread with 6 feet canopy clearance and provided on 30 feet centers within the curb. When overhead utilities exist, required street trees may be small maturing trees provided on 20 feet centers. Small maturing trees require a minimum 6 feet canopy clearance and a canopy (60%) to trunk (40%) minimum ratio. Revise plant schedule specifications and landscape requirement calculations on Sheet LP-101 Planting Plan for accuracy and adherence to this requirement.
5. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans.

The structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.

- a) Demonstrate hashing on landscape, site, and civil plans as to the extent of use of the Structural Soil.
  - b) Provide Structural Soil Detail and composition.
6. A suspension modular paving system product may be used in place of CU Structural Soil. Please look into the use of the Green Blue Urban soil cell, Silva cell or like product for this and all future site developments. Provide a detail of product of use for root development under paved areas.
  7. A 10 feet sight triangle is required at the intersection of a driveway and street, measured from where the intersection of the driveway and paved travel lane meet. This area must be clear of obstructions between 2.5 feet and 8 feet above elevation of adjoining pavement, per ULDR 47-2.2. Q.1 and ULDR 47-35. Illustrate and label this triangle on landscape plan, and confirm landscaping is installed outside of sight triangles.
  8. Utilities and site amenities such as walkways, flagpoles, transformers, fire hydrants, sewer and water supply lines, trash enclosures, and similar items located on the site shall not be placed adjacent to, in, or under required tree planting areas, as per ULDR Section 47-21.12. Confirm with civil, site and life safety plans that



utilities and site amenities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility and/or site amenities. Please note and illustrate this on landscape plans.

9. Light fixtures with an overall height of more than ten feet shall be located a minimum of 15 feet away from shade trees, as per ULDR Section 47-21.12. Please specifically note and illustrate this on landscape plans.
10. Illustrate and label the horizontal clearance from tree trunk to edge of utility on the landscape plan. Landscaping must provide a minimum horizontal clearance of 5 feet for small trees and palms, and a minimum of 10 feet for large trees and palms from underground utilities. Please revise if in conflict.
11. Utilities must be protected using a root barrier fabric wrap or equivalent. Landscape Plans must illustrate and label existing and proposed utilities in the right-of-way to confirm no utility conflicts exist, and illustrate the above setback and wrap requirement if applicable.
12. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This basically means that plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Plant material species must be minimum 50% Florida Friendly Landscaping. Planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Illustrate hydrozones of high, medium, and low on a plan, and include calculations in table.
13. Additional comments may be forthcoming after next review of new plans and written comment responses.

**GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.
2. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.
3. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
4. Approval from jurisdiction for landscape installation in Right Of Way preferred prior to final DRC sign off but may be provided at time of permit submittal. If jurisdiction approval is obtained after DRC final sign off and the plans require any change, Administrative Review will be required prior to permit review.
5. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Residential entry doors should be impact resistant glass or metal and should be equipped with a 180-degree view peephole if it is a solid door or does not have a sidelight panel area as defined in Section 768.0706(2)(a)(7) FSS.
2. All dwelling entry doors should be equipped with at least a one-inch deadbolt as defined in Section 768.0706(2)(a)(4) FSS.
3. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
4. Residential units should be pre-wired for an alarm system.
5. A video surveillance system (VSS) should be employed throughout the property with a focus on entry/exit points, elevators, parking garage, hallways, and common areas. It should be capable of retrieving an identifiable image of a person and video retention should be a minimum of 30 days as defined in Section 768.0706(2)(a)(1) FSS.
6. All Lighting should conform to IES and CPTED standards and illumination requirements as defined by Section 768.0706(2)(a)(2) FSS. The parking area should be illuminated at an intensity of at least an average of 1.8 fc per square foot at 18 inches above the surface from dusk until dawn or controlled by a photocell or similar electronic device that provided light from dusk until dawn.
7. Lighting in walkways, laundry rooms, common areas, and porches. Such lighting must be illuminated from dusk until dawn or controlled by a photocell or similar electronic device that provided light from dusk until dawn as defined in Section 768.0706(2)(a)(3) FSS.
8. Landscaping should follow CPTED guidelines.
9. Emergency communication devices should be placed in the parking garage and common areas. These should be easily identifiable and accessible.
10. Light reflecting paint should be used in the parking garage to increase visibility and safety.
11. All restricted areas and resident only areas should be access controlled and labelled as such.
12. Elevators should be access controlled and labelled as such, to indicate resident only access versus public access.
13. The parking garage entry should be equipped with high-speed gates or crossbars, or in-ground spike to prevent unauthorized intrusion or "piggy-backing".
14. Stairs should be egress-only at the ground level to avoid unauthorized intrusion.
15. There should be access control for mechanical, electrical and maintenance rooms where applicable.
16. Fort Lauderdale Police/Fire Dispatch should be notified of access for first responders.



**GENERAL COMMENTS**

It is highly recommended that the managing company make arrangements for private security during construction.

Please submit responses in writing prior to DRC sign off.





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**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be included in the monthly maintenance fee as prescribed in owner's association documents (multi-family).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Provide on the site plan how you will have the garbage and recycling serviced where the trash room is located on the plans.
7. Solid waste collection shall be from a private loading dock.
8. Containers: must comply with 47-19.4
9. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
10. Provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building.
11. Recommend trash chute accommodate recycling.
12. Draw equipment on the plan to show it will fit in trash room.
13. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
14. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to [Gwoolweaver@fortlauderdale.gov](mailto:Gwoolweaver@fortlauderdale.gov) . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*



- *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

#### **GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building.



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**CASE COMMENTS:**

1. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements. Compact parking can only make up 20% of the total parking provided.
2. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls. Properly dimension the parking stall dimensions on the plan sets.
3. The parking analysis is good justification for a reduction in the city's minimum parking residential unit parking requirement, but the city will not accept a lesser rate than 1 parking space per dwelling unit for the proposed residential use.
4. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
5. Provide a 10' X 10' sight triangle at the proposed driveways starting at the back of sidewalk and driveway through lanes intersection points, no structures or obstructions shall be placed in this sight triangle. This sight triangle is required to provide clear visibility of the drivers exiting the driveway being able to see the pedestrians walking on the sidewalk against the building.
6. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
7. Provide a minimum 20 feet long by 8 feet wide bus landing pad and shelter that meets Broward County Transit minimum standards for the transit stop on NW 7<sup>th</sup> Avenue.
8. Provide a minimum of 10 feet wide sidewalk on **NW 7<sup>th</sup> Avenue**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width.
9. Provide a minimum of 7 feet wide sidewalk on **NW 6<sup>th</sup> Avenue**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width. The back of sidewalk shall be placed on the FDOT right-of-way dedication/easement line.
10. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.



11. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
12. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
13. Additional comments may be provided upon further review.

### **GENERAL COMMENTS**

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.



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**CASE COMMENTS:**

Please provide a response to the following:

- 1) Pursuant to the State Statute 166.033(1) applications must be deemed approved, approved with conditions, or denied within 120 days, which falls on July 18, 2024, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension will result in the application being denied by the City and the applicant will be required to refile a new application and fees to proceed.
- 2) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: <https://www.fortlauderdale.gov/departments/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov>). Please provide acknowledgement and/or documentation of any public outreach.
- 3) Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or nonvehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: Administrative Review Application.
- 4) The site is designated Downtown Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
- 5) Residential dwelling units are subject to unit availability at the time of site plan approval on a first come, first served basis, as granted by the final approving body. Application submittal does not guarantee unit availability. According to the City's most recent Unified Flex Table, there are insufficient flex units to accommodate the project. Therefore, to develop residential units on the subject site the applicant may apply for units under the following requirements:
  - a. Per ULDR Section 47-23.16.D.8, Payment In-Lieu of Affordable Housing, applicants providing a payment in-lieu of affordable housing development shall provide a calculation breakdown of the payment in-lieu fee. In-lieu payments shall be equally split between the Broward County Affordable Housing Trust Fund and the City of Fort Lauderdale Affordable Housing Trust Fund. At the time of building permit issuance, 50% of the total payment in-lieu of fee shall be paid to the City of Fort Lauderdale and 50% of the total payment shall be paid to Broward County.



Or;

- b. Per ULDR Section 47-23.16, Affordable Housing Regulations, applicants seeking incentives shall provide an Affordable Housing Development Plan, as outlined in Section 47-23.16.D.1., Application and Affordable Housing Development Plan, to be reviewed and approved by staff during the Development Review Committee (DRC) process. Additionally, the applicant shall provide an Affordable Housing Development Agreement, per Section 47-23.16.D.2, Affordable Housing Development Agreement and Deed Restriction, to be recorded prior to the issuance of building permits.

Provide a response based on the route of unit allocation. If the in-lieu payment is being sought, provide a calculation breakdown of the payment in-lieu fee (Currently \$10,300 per unit within development project). If affordable housing units are being provided, provide the above mentioned documents in 5)b.

- 6) An engineering certificate verifying the conditions of approval under vacation application UDP-V18007 (CAM No.19-0153) is required to be recorded in the public records of Broward County, Florida, prior to the vacation of the existing alleyway being in effect. Work with the reviewing Engineer on satisfying the conditions of approval and the recordation of the engineering certificate. The recordation of the engineering certificate prior to building permit issuance shall be a condition of approval.
- 7) The proposed development application is subject to approval by the City Commission for proposed design deviation requests due to the location of the balconies within the 30-foot tower stepback area. The applicant will be required to submit a separate application to be placed on the City Commission agenda and the applicant is responsible for all public notice requirements. Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. Power Point, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information (954-828-4798).
- 8) In regard to physical, communication, and radar obstructions, the Federal Aviation Administration (FAA) requires a review for interference by the proposed construction. Provide a letter from the FAA indicating that such review has been performed. FAA approval must be obtained prior to Pre-PZ, Pre-CC and/or Final-DRC sign-off unless otherwise deemed unnecessary by the City Airport Manager or designee.
- 9) This project is subject to the requirements of Broward County Public School Concurrency. The applicant will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from



the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied. The City cannot accept a building permit application, nor issue a building permit, for new or additional residential units, unless the applicant presents evidence from Broward County that the impact of the proposed development on public educational sites and facilities has been mitigated by payment of school impact fees.

- 10) Provide a separate narrative stating how the project meets the intent of the Downtown Master Plan (DMP) with regards to the design deviation requests for tower stepback encroachment. Provide required code sections and proposed code deviations in a table format. The narrative shall provide specificity and justification of the requests. At this time, the applicant has not demonstrated justification for deviations and staff is unable to determine if such deviations maintain the DMP design intent as required by the ULDR, Section 47-13.20.

Staff has commented below under the applicable category and attached the Design Review Team (DRT) comment checklist.

#### Principles of Street Design

- a. S5 – Additional shade trees can be provided on NW 6th Avenue. Provide tree separation dimensions on landscape plans. Consider flipping the small and large trees on NW 7<sup>th</sup> Avenue to have large shade trees closer together.
- b. S7, Horizontal Clearance – Provide tree separation dimensions on landscape plans.
- c. S8 – Provide tree separation dimensions on landscape plans.
- d. S15 – Show sidewalk transition areas on the edge of the property boundaries show pedestrian connectivity
- e. S16 – All power lines are to be buried underground.

#### Principles of Building Design

- f. B11 –Relocate and internalize the command room and redesign the ramp to be internalized in order to activate more of the western ground floor façade.
- g. B12 – Overhang must be located fully onsite and not within the right-of-way. Update site plan to show overhang on east façade.
- h. B15 – See B-11
- i. B17 – Reference B-12
- j. B18 – Explain whether knee high walls will be provided against the spandrel glass areas to block headlights.
- k. B-20 – Balconies encroach into tower separation requirements, City Commission Request for Deviation Required.

#### Quality of Architecture

- l. Q1 – Explain how the cantilevered openings along the rooftop treatment will be



structurally feasible. Additional information may be requested. Provide photographic examples of aluminum tubing on upper building façade.

m. Q2 – Reference Q-1

n. Q3 – Clarify if wood cladding on the first floor is composite or real wood.

o. Q5 – Use tinted or frosted “storefront windows” (spandrel glass). More information regarding metal mesh openings to understand vehicular exposure. Provide photo example with dimensions.

p. Q7 – Provide clarification on renderings verses elevations for the boxed architectural elements lining the north façade. The renderings show projected boxes, but the elevations show painted stucco.

### Storefronts

q. SF1 – Does not meet the 50% commercial ground floor requirement to receive residential units under policy 2.16.4. Relocate command room, widen the commercial frontage, and relocate ramp.

r. SF4 – Does not meet intent. The floor height along NW 7th Avenue is less than 15 feet tall; moreover based on the height of the structure, a the height of the first floor should be increased in proportion to height of the building.

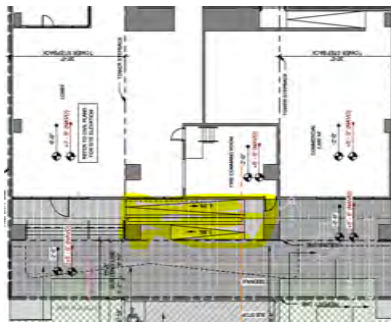
s. SF6 – Reduce depth of shading devices. Shading devices not permitted within the right-of-way.

t. SF7 – Reference Comment SF4.

11) Provide the following changes on the site plan:

a. Properly delineate overhangs on the site plan along both east and west elevations and remove any overhang encroachments into the right-of-way.

b. Relocate and realign the ramp to a less prominent location, so it does not run along the frontage. Consider internalizing the ramp to decrease the presence of the ramp along 7<sup>th</sup> Avenue.



c. Relocate the fire command room and integrate activated first floor space.



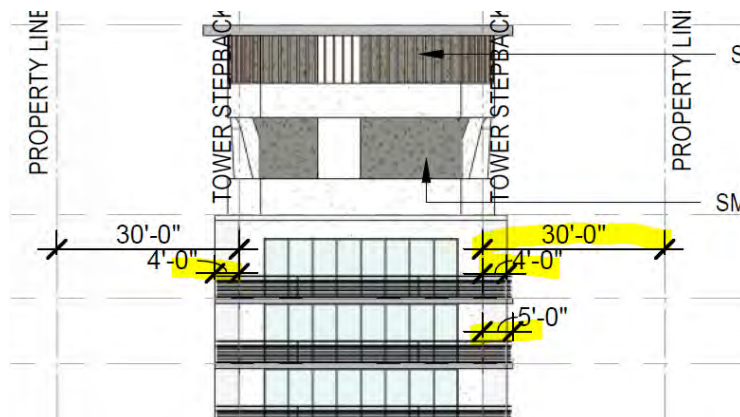


- d. The number of abutting elevator shafts has a direct effect on the building's aesthetics. Consider relocating one of the elevator shafts to the south side of the building to reduce the impact the current floorplan has on the western façade.
- e. Explain whether the rooftop will be activated; if so, update the rooftop plan to reflect the proposed floorplan and areas of activation.
- f. Extend the site plan to show sidewalk transitions.
- g. Provide tree separation dimensions.
- j. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from Florida Power & Light Company indicating such.

12) Modify floor plan sheet A-110 to show doorways into elevator and stairway lobby.

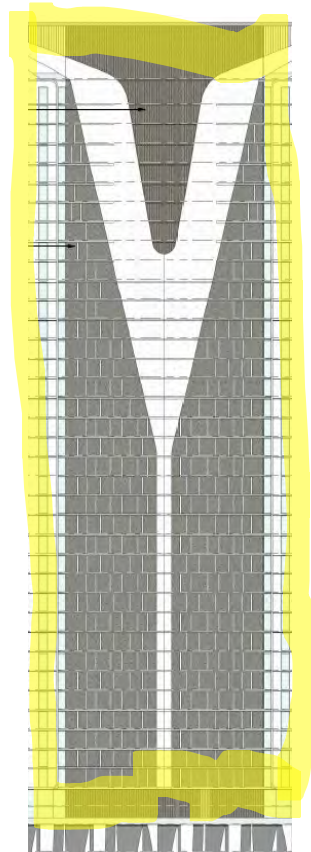
13) Provide the changes on the elevations:

- a. Tower separation is measured from face of balcony and not the face of buildings. The current design has the balconies on the northern and southern facades encroaching into the required 30-foot tower separation area. If balconies encroach into the tower separation area, approval is required by the City Commission via a design deviation request.





- b. Provide the level of transparency of the garage screening spandrel glass and examples thereof.
- c. Redesign the northern façade add incorporate transparency, a layering of architectural elements, and articulation and to break up the massing 418 foot vertically blank wall. The elevation shafts have a direct impact on the architectural design of the building. Additional conversation with staff is required, with the potential relocation of one of the elevator shafts to the southern façade.



- d. Based on the height of the tower, create a more prominent first floor presence on NW 7th Avenue. The current design only provides 12 feet 4 inches. With a building height of over 540 feet the first floor along NW 7th Avenue should match the scale of the building.



- 14) Provide clear image/details of the mesh garage screening, showing the size and measurement of openings, light fixture shields and cross-sections. Ensure screening adequately blocks out light and noise pollution.
- 15) Indicate lighting poles and landscape plan and clarify height. Be aware that lighting fixtures greater than 10' in height are used, they shall be located a minimum of 15' away from shade trees (ULDR Section 47-20.14).
- 16) Pursuant to ULDR Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the topmost surface of the roof mounted structures. Provide the following:
  - a. Spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
  - b. Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
  - c. Provide screening product material including images of actual application.
- 17) Pursuant to Section 47-22.4.C.8 provide a master sign plan detailing the following:
  - a. Location and orientation of all proposed signage;
  - b. Dimensions of each proposed sign (height, width, depth, etc.);
  - c. Proposed sign copy; and,
  - d. Proposed color and materials
  - e. Please note any proposed signs will require a separate permit application.
- 18) Provide a construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process.
- 19) Please provide total park impact fee amount due. Park impact fees are assessed and



collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: <http://www.fortlauderdale.gov/departments/sustainable-development/building-services/permit-fees/park-impact-fee-calculator>

- 20) The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels, and green roofs.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final Development Review Committee:

- 21) An additional follow-up coordination meeting may be required to review project changes necessitated by the Development Review Committee comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner Adam Schnell (954-828-4798) to review project revisions and/or to obtain a signature routing stamp.
- 22) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 23) Provide a written response to all Development Review Committee comments.
- 24) Additional comments may be forthcoming at the Development Review Committee meeting.



# DESIGN REVIEW TEAM (DRT) COMMENTS

Planning Area: Downtown Master Plan | Rev. 2/25/2021

**BACKGROUND INFORMATION:** The intent of the Design Review Team (DRT) is to assist applicants by identifying compliance with the applicable master plan design requirements in the form of a checklist. The checklist should be used as a guide in generating formal development applications for site plan submittal. Applicant should provide responses to each item in the DRT checklist upon submittal of formal development applications.

<b>CASE NUMBER:</b>	UDP-DRT24003 (UDP-S24011)	<b>NOTES:</b> <ul style="list-style-type: none"> <li>Principles in <b>bold</b> are dimensional standards required by Code (ULDR) Section 47-13.20.</li> <li>Principles marked "yes" / "no" indicate if project meets intent of guideline</li> <li>N/A = Not applicable; more information needed means there is insufficient information to review.</li> </ul>
<b>PROJECT NAME:</b>	100 NW 7 <sup>th</sup> Avenue	
<b>PROJECT ADDRESS:</b>	100 NW 7 <sup>th</sup> Avenue	
<b>REVIEW DATE:</b>	04/10/2024	
<b>CASE PLANNER:</b>	Adam R Schnell	
<b>CONTACT INFORMATION:</b>	954-8284798	

**INSTRUCTIONS:** Mark applicable column with "X". Add comments / design intent under Principle title.

PRINCIPLES OF STREET DESIGN		YES	NO	N/A	MORE INFORMATION NEEDED
S1	Maintain fine-grained street grid: discourage vacations. <b>Comment:</b>	X			
S2	Utilize Traffic Calming rather than blocking streets.			X	
S3	Maximize on-street parking except on major arterials.			X	
S4	Provide adequate bike lanes in a planned network (next to on street parking: 5 feet; next to travel lane: 4 feet).			X	
S5	Maximize street trees on all Downtown Streets. <b>Additional Shade trees can be provided on NW6th Avenue. Provide tree separation dimensions on Landscape plans.</b>  <b>Consider flipping the small and large trees on NW 7<sup>th</sup> Avenue to have large shade trees closer together</b>		X		
S6	Encourage location of primary row of street trees between sidewalk and street.	X			
S7	Maximum spacing for street trees: Palms -22 feet; Shade trees - 30 feet.  <b>Provide tree separation dimensions on Landscape plans</b>				X
S8	Minimum horizontal clearance (from building face) for trees: Palms – 6 feet; Shade trees – 12 feet  <b>Provide tree separation dimensions on Landscape plans</b>				X
S9	Encourage shade trees along streets, palm trees to mark intersections.			X	
S10	Eliminate County "corner chord" requirement not compatible with urban areas.			X	
S11	Encourage curb radius reduction to a preferred maximum 15 feet; 20 feet for major arterials.			X	
S12	Discourage curb cuts on "primary" streets.	X			
S13	Encourage reduced lane widths on all streets.			X	
S14	Encourage reduced design speeds on all RAC streets (15 - 40 mph).			X	
S15 *ULDR*	Encourage fixed Rights-of-Way and setbacks for all Downtown streets (to eliminate uncoordinated City setback and County easement requirements). Note: Downtown local streets have varying ROW's and section design may need to be flexible to respond to the specific right-of-way conditions.  <b>Show sidewalk transition areas to help illustrate pedestrian connectivity</b>				X
S16	Bury all power lines in the Downtown Area.				X





PRINCIPLES OF BUILDING DESIGN		YES	NO	N/A	MORE
B1	Framing the street: building "streetwall" should generally meet setback line (within a percentage).  <b>See DRC Comments</b>				X
B2	Framing the street: encourage open space site requirements for use as pedestrian public space instead of unusable, leftover 'green perimeter'.			X	
B3 *ULDR*	Framing the street: minimum and maximum building 'streetwall' heights (see character area guidelines for specifics).	X			
B4 *ULDR*	Framing the street: Maintain maximum building 'streetwall' length of 300 feet	X			
B5 *ULDR*	Maintain maximum Floorplate Area for towers based on character area	X			
B6 *ULDR*	Where towers are located on Primary (>60 feet wide) and Secondary (< or = 60 feet wide) Streets, the towers are encouraged to orient towards the Primary Street.	X			
B7 *ULDR*	Where towers are located on streets < or = 60 feet, increased setbacks from the 'shoulder' are encouraged at 30 feet to reduce the impact on the street.	X			
B8	Surface parking: discourage frontage and access along 'primary' street.			X	
B9	Parking garages: encourage access from secondary streets and alleys.	X			
B10	Encourage main pedestrian entrance to face street.	X			
B11	Maximize active uses and 'extroverted' ground floors with retail in strategic locations.  <b>Western entrance layout needs to be modified, specifically the location of the command room and ramp. Relocate and internalize the command room and redesign the ramp to be internalized.</b>		X		
B12	Encourage pedestrian shading devices of various types.  <b>Overhang must be shortened to not overhang ROW, must be located fully onsite. Update site plan to show overhang on east façade.</b>	X			X
B13	Encourage balconies and bay windows to animate residential building facades.	X			
B14	In residential buildings encourage individual entrances to ground floor units, particularly in the Urban Neighborhood Character Area			X	
B15	High rises to maximize active lower floor uses and pedestrian-oriented design at ground floor  <b>See B-11</b>		X		
B16	Building Design guidelines do not apply to Civic Buildings and Cultural Facilities.			X	
B17	Discourage development above right-of-way (air rights).  <b>See B-12</b>		X		
B18	Mitigate light pollution. <b>Explain whether knee high walls will be provided against the spandrel glass areas to account for headlights.</b>				X
B19	Mitigate noise pollution.			X	



B20 *ULDR*	Vertical open space between towers on adjacent lots: Maintain 60-foot vertical open space between towers (30 Feet minimum on subject property if adjacent to abutting lot under separate ownership). In certain circumstances abutting property owners can coordinate tower placement as long as maintain 60-foot clearance.  <b>Balconies encroach into tower separation requirements, City Commission Request for Deviation Required.</b>		X		
B21	Vertical open space between multiple towers on a single development site: no less than 60 feet apart.			X	
B22	Residential: Encourage minimum ground floor elevation of 2 feet above public sidewalk level for individual ground floor entrances to private units.			X	
B23	Avoid drive-thrus in the wrong places.			X	
B24	The Fifth Façade: Encourage green roofs as visual amenities that provide a combination of usable, landscaped spaces (recreation & open space benefits) and sustainable roof treatments (environmental benefits).			X	
<b>QUALITY OF ARCHITECTURE</b>		<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>MORE INFORMATION NEEDED</b>
Q1	Skyline Drama: Encourage towers to contribute to the overall skyline composition.  <b>Explain how the cantilevered openings along the rooftop treatment will be structurally feasible. Additional information may be requested.</b>  <b>Provide examples of Aluminum tubing on upper building façade.</b>				<b>X</b>
Q2	Expressive Tops: Encourage expressive tops for tall buildings above 37 stories in Near Downtown and Downtown Core. <b>Reference Q1</b>	<b>X</b>			<b>X</b>
Q3	Durability and Quality of Materials: Encourage high quality materials for the entire building, with special emphasis on detailing and durability for the first 2 floors  <b>Clarify if wood on the first floor is composited or real wood.</b>				<b>X</b>
Q4	Respect for Historic Buildings			<b>X</b>	
Q5	Parking Podium Façades: Where structured parking must be exposed to the street, exceptionally creative solutions should be explored  <b>Tint or frost "storefront windows"(spandrel glass)</b> <b>More information regarding metal mesh openings to understand internal vehicular exposure</b>	<b>X</b>			<b>X</b>
Q6	Response to Natural Environment: Encourage architecture to respond to the unique nature of the south Florida environment (solar orientation, wind direction, rain). Examples: Open breezeway corridors oriented toward prevailing winds; energy efficient glazing; above ground stormwater capture and re-use through bio-swales and rain gardens; solar roof panes/awnings.			<b>X</b>	
Q7	Creative Façade Composition: Encourage a rich layering of architectural elements throughout the building, with special attention to facades below the shoulder level.  <b>Provide clarification on renderings verses elevations for the boxed architectural elements lining the north façade. The</b>				<b>X</b>



	renderings show projected boxes, but the elevations show painted stucco.  Garage screening seems articulated on the podium on the north and south façade on the renderings. Provide clarification whether the podium is flat or not.				
Q8	Original, Self-Confident Design: Encourage a range of architectural styles that each create a strong identity, strive for the highest quality expression of its chosen architectural vocabulary.	X			
<b>STOREFRONTS</b>		<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>MORE</b>
SF1	Retail Location Strategy: Encourage ground floor retail in preferred locations.  Does not meet the 50% commercial ground floor requirement to receive residential units under policy 2.16.4. Relocate command room, widen the commercial frontage and relocate ramp.		X		
SF2	Encourage a combination of storefront styles and types in adjacent buildings, or within single buildings, to create variety and visual interest at the street level.			X	
SF3	Encourage durable materials for ground floor retail and cultural uses.	X			
SF4	Encourage 15 foot minimum floor-to-floor height and encourage interior ground floor flush with adjacent public sidewalk.  Does not meet intent, the floor height along NW 7 <sup>th</sup> Avenue is less than 15 feet tall, moreover based on the height of the structure a first floor to ceiling must be increased to be in scale with the building.		X		
SF5	Encourage significant glass coverage for transparency and views. Encourage restaurants to provide clear visual and physical connections to outdoor seating.	X			
SF6	Encourage pedestrian shading devices of various types (min 5 foot depth).  Shading devices need to be shortened to not overhang the ROW		X		
SF7	Encourage multi-level storefront displays to disguise unfriendly uses or blank walls.  Reference Comment SF4		X		
SF8	Encourage well-designed night lighting solutions	X			

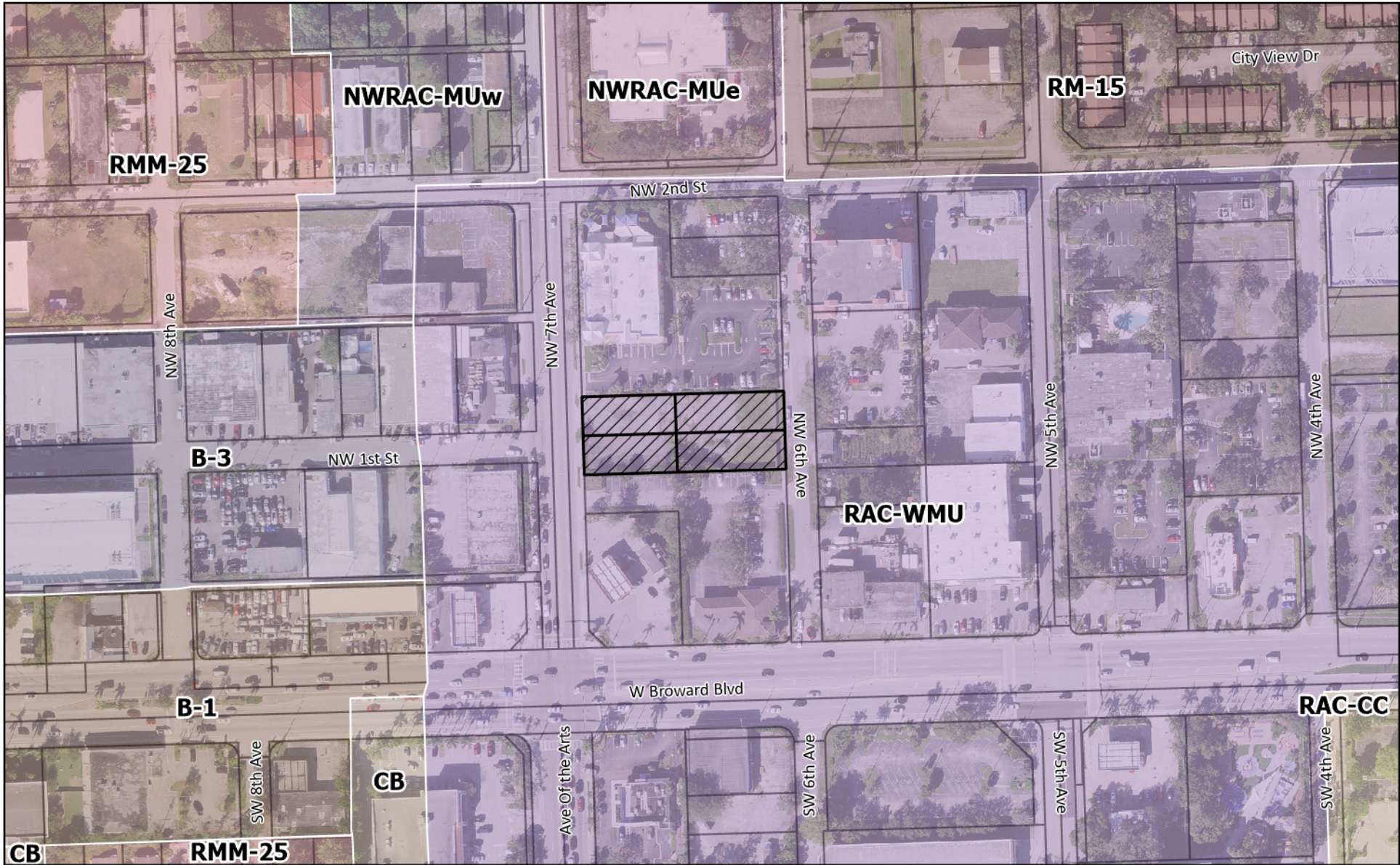
**INSTRUCTIONS:** Choose applicable character area:

<b>CHARACTER AREA (APPLICABLE AREA: DOWNTOWN CORE)</b>		<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>MORE</b>
1A *ULDR*	Frame street with appropriate streetwall height: Shoulder: 9 floors max	X			
1B *ULDR*	Signature Tower: Special architectural design encouraged for buildings over 37 floors.	X			
1C *ULDR*	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below based on maximum floorplate size. -Non-residential: 32,000 GSF floorplate max. -Residential: Buildings up to 15 floors: 18,000 GSF floorplate max. -Residential: Buildings over 15 floors: 12,500 GSF floorplate max.	X			
<b>CHARACTER AREA (APPLICABLE AREA: NEAR DOWNTOWN)</b>		<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>MORE</b>



2A *ULDR*	Frame street with appropriate streetwall height: Shoulder: 7 floors max with min 15-foot stepback on portion over 7 floors.			X	
2B *ULDR*	Maximum building height of 30 floors.			X	
2C *ULDR*	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below based on maximum floorplate size. -Non-residential: 32,000 GSF floorplate max. -Residential: Buildings up to 15 floors: 18,000 GSF floorplate max. -Residential: Buildings up to 30 floors: 12,500 GSF floorplate max.			X	
<b>CHARACTER AREA (APPLICABLE AREA: URBAN NEIGHBORHOOD)</b>		<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>MORE</b>
3A *ULDR*	Frame street with appropriate streetwall height: 6 floors max			X	
3B *ULDR*	Townhouses are a suitable option, especially on alley blocks.			X	
3C *ULDR*	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below based on maximum floorplate size. -Non-residential: 8 floors max with a min 12-foot stepback on portion over 6 floors: 16,000 GSF floorplate max. -Residential: 6 floors max or 12 floors max as a conditional use, with a min 12-foot stepback on portion over 6 floors: 10,000 GSF floorplate max. <i>Note: projects proposing above 6 floors are subject to conditional use criteria as Site Plan Level III.</i>			X	
<b>TOD GUIDELINES (GENERAL APPLICABILITY)</b>		<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>MORE</b>
T2	Discourage land uses that are incompatible with transit and walkability.			X	
T3	Encourage pedestrian connections to transit stops and bike parking.	X			
T4	Encourage bike connections to transit stops and bike parking.	X			
T5	Parking consistent with TOD Principles: Encourage structured parking with screening or liner building if parking provided. Surface parking should be configured into smaller lots rather than one large lot. Surface parking discouraged except pick up/drop off within 200 feet of a Gateway Hub transit station. Parking should not face onto plaza or park space of any transit station. Include parking for mopeds, scooters, motorcycles, and other similar vehicles	X			
T6	Incorporate Transportation Demand Management (TDM) including but not limited to Encourage carpooling or vanpooling. Encourage car or bike sharing. Offer flexible hours. Provide shared parking.			X	
T7	Reduce parking to eliminate excess pavement and promote highest and best use of land within the station area.			X	
T8	Encourage green buildings, green site design and green infrastructure.			X	
T9	Create attractive, active and safe multimodal systems.			X	





UDP-S24011 - 100 NW 7 AVE.

