

CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE



CASE COMMENT REPORT

CASE NO. UDP-RS24003



CITY OF FORT LAUDERDALE



CASE INFORMATION

CASE:	UDP-RS24003
MEETING DATE:	May 14, 2024
REQUEST:	Site Plan Level II Review: RAC Signage Request for Additional Building Signage and Additional Window Signage in the Downtown Regional Activity Center
APPLICANT:	Flagler Village Land Trust
AGENT:	Sneha Rodriguez, FL Brand Solutions
PROJECT NAME:	HATCH Signage
PROPERTY ADDRESS:	701 N. Federal Highway
ZONING DISTRICT:	Regional Activity Center – Urban Village (RAC-UV)
LAND USE:	Downtown Regional Activity Center
COMMISSION DISTRICT:	2 – Steven Glassman
NEIGHBORHOOD ASSOCIATION:	Flagler Village Civic Association
CASE PLANNER:	Tyler Laforme

RESUBMITTAL INFORMATION

- Applicant must provide written responses to all DRC comments contained herein.
- Written responses must specify revisions made to the plans and indicate the sheet.
- Resubmitted plan sets must be accompanied by responses to be accepted.
- Any additional documentation must be provided at time of resubmittal.
- Resubmittals must be conducted through the City's online citizen's portal LauderBuild.
- Questions can be directed to the Case Planner assigned to the case.



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CASE COMMENTS:

Please provide a response to the following:

1. Update the ASCE standards for Minimum Design Loads for Buildings and Other Structures to the current ASCE 7-22.
2. Reference the Florida Building Code 8th edition on plan for the proposed development.

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at:

- a. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2023 the 8th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



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CASE COMMENTS:

1. There are no comments from Engineering.



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CASE COMMENTS:

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 120 days of completeness determination, on or before August 16, 2024, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed unless the applicant submits a waiver of these timeframes as provided in the completeness email from the City. A waiver has not been submitted.
2. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: <https://www.fortlauderdale.gov/departments/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov>). Please provide acknowledgement and/or documentation of any public outreach.
3. The proposed development application is subject to a 15-day review period by the City Commission. The applicant will be required to submit a separate application if the project is placed on the City Commission agenda and the applicant is responsible for all public notice requirements. Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. Power Point, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information (954-828-5265).
4. The Site Plan Level II Downtown sign review process allows applicants to request signage that may not be permitted by right via existing code. While it is intended to provide more flexibility, signs should generally align with the vision for Downtown. The Downtown Master Plan establishes a vision for a dense, active urban core focused on a strong human-scale relationship to the public realm, and promotes design principles that foster a more walkable downtown with street level activity and comfortable pedestrian paths, plazas and open space.

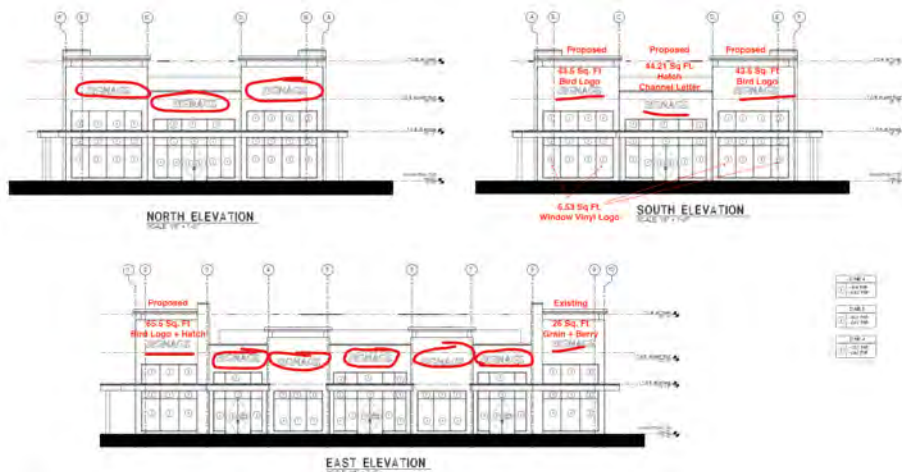
Proposed signage should align with the overall intent of the Downtown Master Plan and should not create clutter, impede the pedestrian environment, or create visual obstructions in the public realm. For the reasons stated herein, monument signs are typically discouraged. However, other solutions may be more appropriate and may be approved on a case by case basis. For example, perpendicular blade signs, consistent in height and width, may provide great opportunities with clear visibility of the business location at the pedestrian level, while not impeding the pedestrian experience itself.

Oversized signs, numerous small signs, signs containing a clutter of letters or messages, all compete for the public's attention. Other common problems include quality of fabrication (materials such as plastic or vinyl are not high quality materials), poor selection of typefaces and colors, illumination options, and placement, style, and sizing that bear no relation to the adjacent building's architecture.

Sign types and materials have to be carefully selected to maintain durability and enhance the public realm throughout the Downtown. Respond to this comment by providing a written narrative outlining the design approach used for the proposed signs consistent with the Downtown Master Plan overall vision, as stated in the comment above. Update narrative according to the following comments.

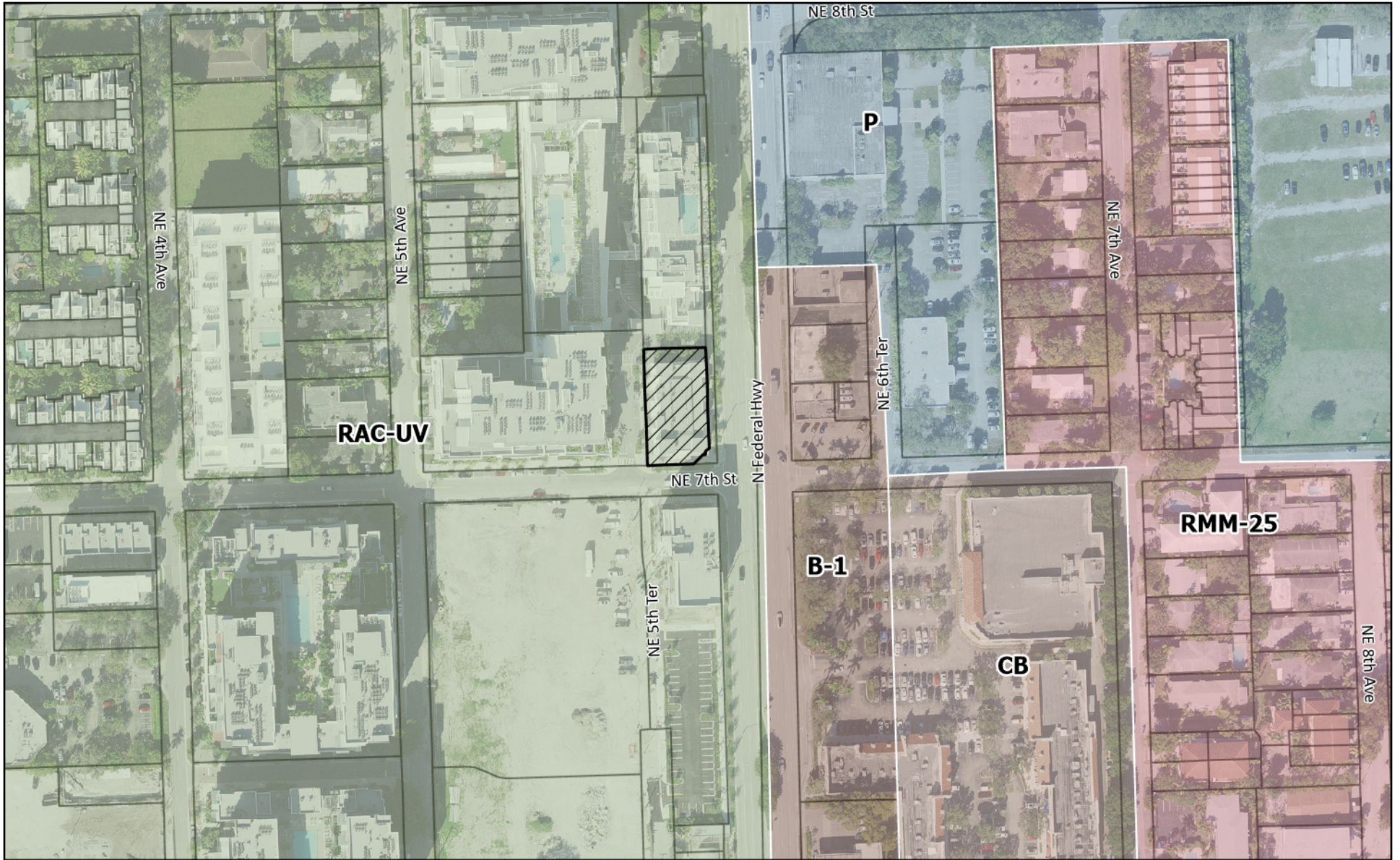


5. The renderings indicate a building width of 150 feet with 100 feet in length. The survey indicates approximately 63 feet in width and 109 feet in length. Provide consistent dimensions on all plans and renderings. Further review may be needed.
6. Update the narrative to indicate that the property is located within the Downtown Regional Activity Center – RAC-UV zoning district. Currently, it indicates the SRAC-SAe zoning District.
7. Pursuant to ULDR, Section 47-22.1, Sign Requirements, General; the intent of sign regulations in the City is to protect the health, safety, and welfare of the public through protecting the beauty and aesthetics of the City by limiting the proliferation of signs and the time, place, and manner of their use. Reasonable use of signage is permitted to advertise establishments while eliminating conspicuous excess signage in the urban environment. As proposed, the request contains excessive signage for the site which creates sign clutter and visual nuisance in Downtown. The following should be addressed:
 - a. Currently, there are five signs on the south elevation creating excessive sign clutter. Remove the proposed tenant wall signs that are not located over an entrance on the south façade.
 - b. Remove two of the four proposed window signs.
 - c. Remove the blade signage from the renderings on page 4 of the plan set. The blade signage will not be permitted.
8. Remove any signage which is not currently existing or proposed. Currently, there is potential tenant signage on the elevations. These signs would need to be reviewed in the future in accordance with ULDR Sec. 47-22.1, Sign Requirements.



GENERAL COMMENTS

The following comments are for informational purposes.



UDP-RS24003 - 701 N FEDERAL HWY.

0 150 300 US Feet

