



## **BOARD OF ADJUSTMENT MEETING NOTICE**

**Date:** May 31<sup>st</sup>, 2024

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, June 12<sup>th</sup>, 2024**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19<sup>th</sup> Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA)

<b>CASE:</b>	<b>PLN-BOA-24050001</b>
<b>OWNER:</b>	MACNEIL, DAVID F; DAVID F MACNEIL TR
<b>AGENT:</b>	STEPHANIE J. TOOTHAKER, ESQ
<b>ADDRESS:</b>	84 ISLA BAHIA DRIVE, FORT LAUDERDALE, FL 33316
<b>LEGAL DESCRIPTION:</b>	LOT 13, OF ISLA BAHIA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 47, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY)
<b>ZONING DISTRICT:</b>	RS-4.4 - RESIDENTIAL OF SINGLE FAMILY/LOW DENSITY
<b>COMMISSION DISTRICT:</b>	4
<b>REQUESTING:</b>	<b><u>Sec 47-19.2. B- Architectural features in residential districts.</u></b>

- A variance from the maximum 3-foot or one-third (1/3) of the required yard, whichever is less, for an unenclosed balcony encroachment into the required yard to allow an additional 0.8-foot encroachment for a total encroachment of 3.8 feet.

**Sec 47-5.30- Table of dimensional requirements for the RS-4.4 district. (Note A).**

- A variance from the 25-foot minimum rear yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed rear yard setback of 21.2 feet.

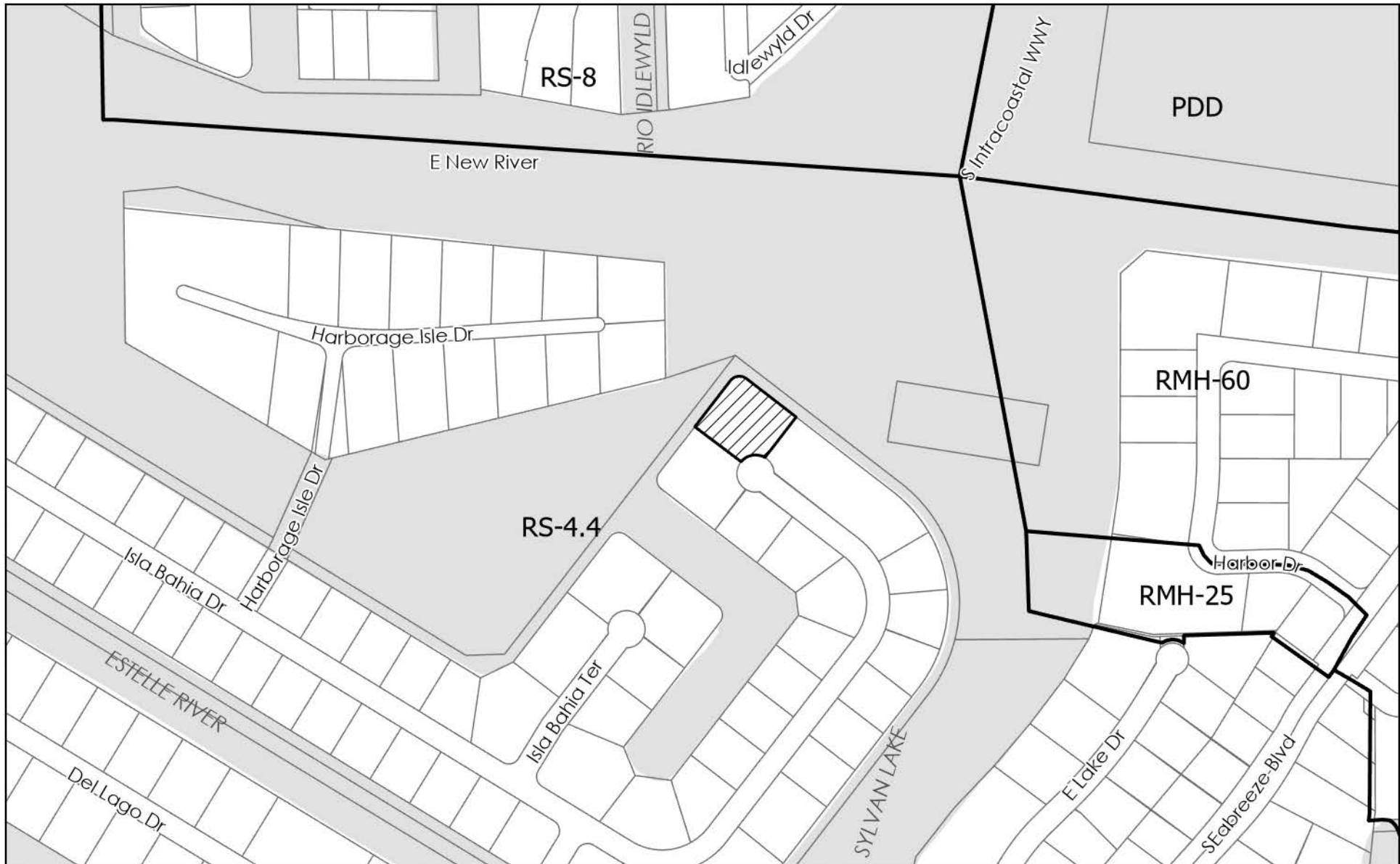
**To watch and listen to the meeting, please visit:** <https://www.fortlauderdale.gov/government/BOA>  
OR [www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK  
ZONING ADMINISTRATOR

**Florida Statutes, Sec. 286.0105**

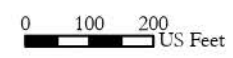
**NOTE:** If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.



PLN-BOA-24050001

**LEGEND**

-  Municipal Boundary
-  Subject Site



# PLN-BOA-24050001

## **Sec 47-19.2. B- Architectural features in residential districts.**

Architectural features in residential districts. Architectural features such as eaves, cornices, unenclosed balconies with open railings, window sills, awnings, chimneys, bay windows, and dormers accessory to a residential use are permitted to extend into a yard area a maximum distance of three (3) feet from the face of the building, or one-third ( $\frac{1}{3}$ ) of the required yard, whichever is less. Unenclosed balconies with open railings may extend into the front yard a maximum distance of five (5) feet from the face of the building and may extend the entire linear length of the front facade. Accessory uses which encroach into any yard area, excluding unenclosed balconies encroaching into the front yard, are permitted to have a total combined linear facade length not greater than twenty (20) percent of the total linear length of the facade to which they are attached. Items such as windowsills or belt courses which extend six (6) inches or less into the yard area shall not be considered for the length limitation. Eaves shall not be subject to the length limitation. The dimensional limitations of this subsection shall not apply and the provisions of subsection.

**Sec 47-5.30- Table of dimensional requirements for the RS-4.4 district. (Note A).**

<b>Requirements</b>	<b>RS-4.4</b>		
Maximum density	4.4 du/net ac.		
Minimum lot size	10,000 sq. ft.		
Maximum structure height	35 ft.		
Maximum structure length	None		
Minimum lot width	75 ft. *100 ft. when abutting a waterway on any side		
Minimum floor area	1,250 sq. ft.		
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isle—20 ft.		
Minimum corner yard	25% of lot width, but not greater than 25 ft. 25 ft. when abutting a waterway		
Minimum side yard	10 ft. - up to 22 ft. in height Where a building exceeds 22 ft. in height that portion of the building shall be set back an additional 1 foot per foot of building height above 22 ft. 25 ft. when abutting a waterway		
Minimum rear yard	15 ft. 25 ft. when abutting a waterway		
Minimum distance between buildings	None		
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤10,000 sf	50%	0.75
Lot coverage and FAR	10,001—15,000 sf	45%	0.75
	>15,000 sf	40%	0.60

# Record

Showing 1-40 of 61

<input type="checkbox"/>	<a href="#">Record, Permit, or Account #</a>	<a href="#">Record Description</a>	<a href="#">Application Name</a>	<a href="#">Record Type</a>	<a href="#">Balance</a>	<a href="#">Planner Name</a>	<a href="#">Street #</a>	<a href="#">Dir</a>	<a href="#">Street Name</a>	<a href="#">Type</a>	<a href="#">Unit # (start)</a>	<a href="#">Status</a>
<input type="checkbox"/>	<a href="#">PLN-BOA-24050001</a>		84 Isla Bahia Rear Setback V...	Z- Board of Adjustment (BOA)	0		84		ISLA BAHIA	DR		Open
<input type="checkbox"/>	<a href="#">MEC-RES-23120003</a>	MECHANICAL FOR BLD-RADD-23120001	84 Isla Bahia Mechancial	Mechanical Residential Permit	159		84		ISLA BAHIA	DR		Awaiting C
<input type="checkbox"/>	<a href="#">ELE-RES-23120011</a>	ELECTRICAL FOR BLD-RADD-23120001	84 Isla Bahia Electrical	Electrical Residential Permit	0		84		ISLA BAHIA	DR		Awaiting C
<input type="checkbox"/>	<a href="#">BLD-RADD-23120001</a>	Enclose Patio	84 Isla Bahia	Residential Addition Permit	941.28		84		ISLA BAHIA	DR		Awaiting C
<input type="checkbox"/>	<a href="#">CE23110297</a>	VEHICLE BLOCKING FIRE HYDRANT		Code Case	0	Bernstein Saim...	84		ISLA BAHIA	DR		Closed
<input type="checkbox"/>	<a href="#">ELE-RES-21060012</a>	ELETRIC FOR JET SKI LIFT	ELETRIC FOR JET SKI LIFT	Electrical Residential Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">BLD-BDSP-21050014</a>	INSTALLATION OF JETSKI LIFT ER 000434755 DR 00...		Boatlift-Dock-Seawall-Pile Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">ENG-LAND-20110007</a>	ARTIFICIAL TURF IN SWALE	AFT: ARTIFICIAL TURF IN SWALE	ROW Landscaping Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">ALM-REG-20080120</a>			Resident/Business Alarm Registration	0		84		ISLA BAHIA	DR		Active
<input type="checkbox"/>	<a href="#">BE20070028</a>	WORK ON SWALE AREA WITHOUT AN APPROVED DSD PERMIT...		Building Code Case	0	HECTORS	84		ISLA BAHIA	DR		Closed
<input type="checkbox"/>	<a href="#">BLD-FEN-20050005</a>	NEW 3 STORY SFR 5 BEDROOMS & 8.5 BATHROOMS 4 CAR...	FENCE BP PM-14082376	Fence Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">BLD-FEN-20020016</a>	ENTRY WALL	ENTRY WALL	Fence Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">BLD-RALT-20010113</a>	ENTRY WALL	ENTRY WALL	Residential Alteration Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">BLD-EXT-19110044</a>			Permit Extension	0		84		ISLA BAHIA	DR		Open
<input type="checkbox"/>	<a href="#">BLD-RPAV-19110021</a>	SLAB CONC FOR GENERATOR BLD-GEN-19100033 (NEW S...	SLAB CONC FOR GENERATOR BLD...	Residential Paving Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">BLD-GEN-19100033</a>	GENERATOR ON CONC SLAB FOR NEW SFR BP(PM-1408237...	GENERATOR FOR NEW SFR BP(PM...	Generator Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">BLD-CMIS-19100005</a>	GENERATOR SLAB - BP PM-14082376		Commercial Miscellaneous Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">PM-19100345</a>	ADD ALUMINUM PERGOLA NOC	ADD ALUMINUM PERGOLA	Accessory Structure Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-19092514</a>	GENERATOR GAS HOOKUP	GENERATOR GAS HOOKUP	Plumbing Gas Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">PM-19092510</a>	INSTALL GENERATOR	INSTALL GENERATOR	Generator Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">PM-19052194</a>	30 DAYS TEMP POWER FOR BP 14082376	30 DAYS TEMP POWER FOR BP ...	Electrical Temporary Pole	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-18040575</a>	INSTALL EMPTY CONDUITS FOR FUTURE DOCK LIGHTS	INSTALL EMPTY CONDUITS FOR F...	Electrical Residential Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">PM-18022429</a>	ELECTRICAL FOR POOL BP 18011633	ELECTRICAL FOR POOL BP 18011633	Electrical Residential Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-18011638</a>	PIPING FOR BP 18011633	PIPING FOR BP 18011633	Plumbing Residential Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-18011633</a>	FRONT ENTRANCE FOUNTAIN FOR NEW SFR BP 14082376 ~...	FRONT ENTRANCE FOUNTAIN FOR ...	Residential Pool-Spa-Fountain Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">VIO-CE18010610_1</a>		IMAGINATION PROPERTIES 84 IS...	Violation-CODE Hearing	0		84		ISLA BAHIA	DR		Closed
<input type="checkbox"/>	<a href="#">CE18010610</a>	L/S CITY LIEN - 0 - CASE FOUND	IMAGINATION PROPERTIES 84 IS...	Code Case	0		84		ISLA BAHIA	DR		Closed
<input type="checkbox"/>	<a href="#">PM-17090146</a>	NGAS FOR #17072420	NGAS FOR #17072420	Plumbing Gas Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">PM-17082961</a>	AUTOFILL FOR POOL BP 17072420	AUTOFILL FOR POOL BP 17072420	Plumbing Residential Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">PM-17072426</a>	PIPING AND POOL HEATER FOR BP #17072420	PIPING AND POOL HEATER FOR B...	Plumbing Residential Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-17072425</a>	ELEC FOR BP #17072420	ELEC FOR BP #17072420	Electrical Residential Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-17072424</a>	MITIGATION FOR BP #17072420	MITIGATION FOR BP #17072420	ROW Site Prep and Erosion Control Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-17072420</a>	NEW SWIMMING POOL AND SPA 64744 GAL ~ ~8/31/17 RE...	NEW SWIMMING POOL AND SPA 64...	Residential Pool-Spa-Fountain Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-17062857</a>	BURGLAR ALARM BP 14082376	BURGLAR ALARM BP 14082376	Electrical Burglar Alarm	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-17062858</a>	CENTRAL VACUUM FOR BP 14082376 ~ ~07/11/2017 RECH...	CENTRAL VACUUM FOR BP 14082376	Mechanical Residential Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-16101953</a>	INSTALL 297 FT CONCRETE DOCK AND 297 FT SEAWALL ~...	INSTALL 297 FT CONCRETE DOCK...	Boatlift-Dock-Seawall-Pile Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">VIO-CE16020619_1</a>		IMAGINATION PROPERTIES 84 IS...	Violation-CODE Hearing	0		84		ISLA BAHIA	DR	OLD	Closed
<input type="checkbox"/>	<a href="#">CE16020619</a>	BUILDING DOCK TO FAR OUT INTO THE WATER	IMAGINATION PROPERTIES 84 IS...	Code Case	0		84		ISLA BAHIA	DR	OLD	Closed
<input type="checkbox"/>	<a href="#">CE15081641</a>	BUILDING DOCK OVER WATER WAY WITHOUT PERMIT, BUIL...	IMAGINATION PROPERTIES 84 IS...	Code Case	0		84		ISLA BAHIA	DR	OLD	Closed
<input type="checkbox"/>	<a href="#">PM-14100666</a>	MITIGATION BP14082376	MITIGATION BP14082376	ROW Site Prep and Erosion Control Permit	0		84		ISLA BAHIA	DR		Complete

# Record

Showing 41-61 of 61

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<input type="checkbox"/>	<a href="#">PM-14082590</a>	RELOCATE 3 COCONUT TREES & REMOVE 1 SABAL. ~R...	RELOCATE 3 COCONUT TREES & R...	Landscape Tree Removal-Relocation Permit	0		84		ISLA BAHIA	DR	OLD	Void
<input type="checkbox"/>	<a href="#">PM-14082588</a>	ELECTRICAL FOR POOL BP14082588	ELECTRICAL FOR POOL BP14082588	Electrical Residential Permit	0		84		ISLA BAHIA	DR	OLD	Void
<input type="checkbox"/>	<a href="#">PM-14082587</a>	NEW POOL FOR SFR BP14082376	NEW POOL FOR SFR BP14082376	Residential Pool-Spa-Fountain Permit	0		84		ISLA BAHIA	DR	OLD	Void
<input type="checkbox"/>	<a href="#">PM-14082586</a>	SAND SET BRICK PAVERS IN RIGHT OF WAY BP14082376	SAND SET BRICK PAVERS IN RIG...	ROW Paving Permit	0		84		ISLA BAHIA	DR		Closed
<input type="checkbox"/>	<a href="#">PM-14082585</a>	SAND SET BRICK DRIVEWAY & POOL DECK FOR SFR ~...	SAND SET BRICK DRIVEWAY & PO...	Residential Paving Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082584</a>	DRAINAGE FOR SFR BP14082376	DRAINAGE FOR SFR BP14082376	Plumbing Residential Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082583</a>	LAWN IRRIGATION SYSTEM FOR SFR BP14082376	LAWN IRRIGATION SYSTEM FOR S...	Plumbing Irrigation Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082582</a>	GENERAL LANDSCAPE FOR SFR BP14082376	GENERAL LANDSCAPE FOR SFR BP...	Landscape Installation Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082581</a>	NEW ALUMINUM FENCE & GATE BP 14082376	NEW ALUMINUM FENCE & GATE BP...	Fence Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">PM-14082580</a>	NEW SITEWALL/PRIVACY WALL FOR SFR BP14082376	NEW SITEWALL/PRIVACY WALL FO...	Fence Permit	0		84		ISLA BAHIA	DR		Void
<input type="checkbox"/>	<a href="#">PM-14082579</a>	NEW AC SYSTEM FOR SFR BP14082376	NEW AC SYSTEM FOR SFR BP1408...	Mechanical HVAC New Install Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082578</a>	NATURAL GAS SYSTEM FOR SFR BP14082376 ~ ~ ~W-REPL...	NATURAL GAS SYSTEM FOR SFR B...	Plumbing Gas Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082577</a>	PLUMBING FOR NEW SFR BP14082376 ~ ~TBD changed to...	PLUMBING FOR NEW SFR BP14082376	Plumbing Residential Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082576</a>	LOW VOLTAGE FOR NEW SFR BP14082376	LOW VOLTAGE FOR NEW SFR BP14...	Electrical Low Voltage Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082575</a>	ELECTRICAL FOR NEW SFR BP14082376	ELECTRICAL FOR NEW SFR BP140...	Electrical Residential Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082574</a>	NEW ROOF 5509 SQ FT FLAT BP14082376 ~REV2 3/15/1...	NEW ROOF 5509 SQ FT FLAT BP1...	Re-Roof Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-14082376</a>	NEW 3 STORY SINGLE FAMILY RESIDENCE: 5 BEDROOMS,...	84 ISLA BAHIA DR - NEW 3 ST...	Residential New Construction Permit	0		84		ISLA BAHIA	DR		Complete
<input type="checkbox"/>	<a href="#">PM-13120674</a>	TOTAL DEMO OF 4000 SQ FT SFR ~ ~ ~RECORDED NOC ...	TOTAL DEMO OF 4000 SQ FT SFR	Residential Demolition Permit	0		84		ISLA BAHIA	DR	OLD	Complete
<input type="checkbox"/>	<a href="#">PM-13120136</a>	SEWER & WATER CAP FOR COMPLETE DEMO	SEWER & WATER CAP FOR COMPLE...	Plumbing Sewer Cap Permit	4.29		84		ISLA BAHIA	DR	OLD	Complete
<input type="checkbox"/>	<a href="#">PM-07051948</a>	REPALCE 40 GAL WATERHEATER	REPALCE 40 GAL WATERHEATER	Plumbing Water Heater Exact Changeout	0		84		ISLA BAHIA	DR	OLD	Complete
<input type="checkbox"/>	<a href="#">PM-01011493</a>	RESURFACE EXISTING ASPHALT DRIVEWAY FOR SFR ~REVI...	RESURFACE EXISTING ASPHALT D...	Residential Paving Permit	0		84		ISLA BAHIA	DR	OLD	Complete



CITY OF FORT LAUDERDALE

# PUBLIC NOTICE

## BOARD OF ADJUSTMENT MEETING

**DATE:** June 12, 2024

**TIME:** 6:00 P.M.

**CASE:** PLN-BOA-24050001

### Sec 47-19.2. B- Architectural features in residential districts.

- A variance from the maximum 3-foot or one-third ( $\frac{1}{3}$ ) of the required yard, whichever is less, for an unenclosed balcony encroachment into the required yard to allow an additional 0.8-foot encroachment for a total encroachment of 3.8 feet.

### Sec 47-5.30- Table of dimensional requirements for the RS-4.4 district. (Note A).

- A variance from the 25-foot minimum rear yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed rear yard setback of 21.2 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT  
700 N.W. 19<sup>TH</sup> AVENUE (LOBBY)  
FORT LAUDERDALE, FL., 33311  
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:  
<https://www.fortlauderdale.gov/government/BOA>  
[www.youtube.com/cityoffortlauderdale](https://www.youtube.com/cityoffortlauderdale)  
To view more information about this item, please visit:  
[www.fortlauderdale.gov/government/BOA](https://www.fortlauderdale.gov/government/BOA)

*This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.*

*In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a*



**SIGN NOTICE**

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use. Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

**AFFIDAVIT OF POSTING SIGNS**

STATE OF FLORIDA  
BROWARD COUNTY  
BOA CASE NO. PLN-BOA-24050001

APPLICANT: David MacNeil

PROPERTY: 84 Isla Bahia Drive

PUBLIC HEARING DATE: July 10, 2024

BEFORE ME, the undersigned authority, personally appeared Stephanie J. Toothaker, who upon being duly sworn and cautioned, under oath deposes and says:

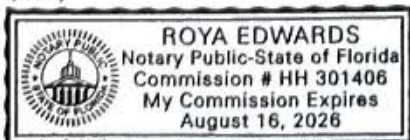
1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit of \$100.00 (initial here)

Stephanie J. Toothaker  
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 25 day of June, 2024

(SEAL)



Roya Edwards  
NOTARY PUBLIC  
MY COMMISSION EXPIRES:







CITY OF FORT LAUDERDALE

# PUBLIC NOTICE

## BOARD OF ADJUSTMENT MEETING

DATE: JULY 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24050001

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\* A variance from the maximum 3-foot or one-third (1/3) of the required yard, whichever is less, for an unenclosed balcony encroachment into the required yard to allow an additional 0.8-foot encroachment for a total encroachment of 3.8 feet.

**Sec 47-5.30- Table of dimensional requirements for the RS-4.4 district. (Note A).**

\* A variance from the 25-foot minimum rear yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed rear yard setback of 21.2 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT  
700 N.W. 1ST AVENUE (CORBT)  
FORT LAUDERDALE, FL 33311  
CONTACT: 954-838-4500

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:  
<https://www.fortlauderdale.gov/development/BOA>  
[www.fortlauderdale.com/Pages/BoardofAdjustment.aspx](https://www.fortlauderdale.com/Pages/BoardofAdjustment.aspx)  
To view more information about this item, please visit:  
[www.fortlauderdale.gov/government/BOA](https://www.fortlauderdale.gov/government/BOA)



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CITY OF FORT LAUDERDALE

# PUBLIC NOTICE

## BOARD OF ADJUSTMENT MEETING

DATE: JULY 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24050003

### Sec. 47-19.2, B- Architectural features in residential districts.

\*A variance from the maximum 3-foot or one-third (1/3) of the required yard, whichever is less, for all unenclosed balcony encroachment into the required yard to allow an additional 0.8-foot encroachment for a total encroachment of 3.8 feet.

### Sec. 47-5.30- Table of dimensional requirements for the RS-4.4 district (Note A).

\*A variance from the 25-foot minimum rear yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed rear yard setback of 21.2 feet.

FOR MORE INFORMATION CONTACT THE CITY ENGINEER:  
JULIE W. HARTMAN, ESQ.  
CITY OF FORT LAUDERDALE  
CIVIL ENGINEER

FOR MORE INFORMATION CONTACT THE BOARD OF ADJUSTMENT:  
BOA-24050003  
CITY OF FORT LAUDERDALE  
CIVIL ENGINEER

City of Fort Lauderdale, Florida. All rights reserved. This document is the property of the City of Fort Lauderdale and is loaned to you for your use only. It is not to be distributed, copied, or otherwise used without the express written permission of the City of Fort Lauderdale. If you have any questions regarding this document, please contact the City of Fort Lauderdale at (954) 376-2200.

**SIGN NOTICE**

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

**AFFIDAVIT OF POSTING SIGNS**

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-24050001

APPLICANT: David MacNeil

PROPERTY: 84 Isla Bahia Drive, Fort Lauderdale, FL 33316

PUBLIC HEARING DATE: June 12, 2024

BEFORE ME, the undersigned authority, personally appeared Stephanie J. Toothaker (authorized agent), who upon being duly sworn and cautioned, under oath deposes and says:

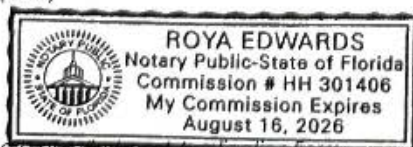
1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission Case**.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit \$1 (initial here)

Stephanie J. Toothaker  
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 28 day of May, 2024

(SEAL)



Roya Edwards  
NOTARY PUBLIC  
MY COMMISSION EXPIRES:







# CITY OF FORT LAUDERDALE PUBLIC NOTICE

CASE: PLN-BOA-24050001

DATE: June 12, 2024

TIME: 6:00 P.M.

- Sec 47-19.2, B- Architectural features in residential districts.**  
• A variance from the maximum 3-foot or one-third (1/3) of the required yard, whichever is less, for an unenclosed balcony encroachment into the required yard to allow an additional 0.8-foot encroachment for a total encroachment of 3.8 feet.
- Sec 47-5.30- Table of dimensional requirements for the RS-4.4 district. (Note A).**  
• A variance from the 25-foot minimum rear yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed rear yard setback of 21.2 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT  
100 N.W. 15th AVENUE SUITE 200  
FORT LAUDERDALE, FL 33311  
CONTACT: 954-838-3300

NO NOTICE AND HEARING BY THE BOARD OF ADJUSTMENT REQUIRED FOR THIS VARIANCE. THE BOARD OF ADJUSTMENT SHALL REVIEW AND APPROVE THIS VARIANCE. THE BOARD OF ADJUSTMENT SHALL REVIEW AND APPROVE THIS VARIANCE. THE BOARD OF ADJUSTMENT SHALL REVIEW AND APPROVE THIS VARIANCE.





CITY OF FORT LAUDERDALE

# PUBLIC NOTICE

## BOARD OF ADJUSTMENT MEETING

CASE: PUN-BOA-2408001

TIME: 6:00 P.M.

DATE: June 12, 2024

**Sec. 47-19.2. b. Architectural features in residential districts.**  
 \* A variance from the maximum 3-foot or one-third (1/3) of the required yard, whichever is less, for an unenclosed balcony encroachment into the required yard to allow an enclosed 3-foot encroachment for a total encroachment of 3.8 feet.

**Sec. 47-8.30. Table of dimensional requirements for the R3-3.4 district, (Use A)**  
 \* A variance from the 25-foot minimum rear yard requirement of Section 47-8.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed rear yard setback of 21.2 feet.

FOR MORE INFORMATION, CONTACT:  
 CITY OF FORT LAUDERDALE  
 PLANNING DEPARTMENT  
 200 N. W. 11TH STREET  
 FORT LAUDERDALE, FL 33301  
 TELEPHONE: 774-2000







CITY OF FORT LAUDERDALE  
**PUBLIC NOTICE**

**BOARD OF ADJUSTMENT MEETING**

DATE: June 12, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24050001

**Sec. 47-19.2, B- Architectural features in residential districts.**  
\*A variance from the maximum 3-foot or one-third (1/3) of the required yard, whichever is less, for an unenclosed balcony encroachment into the required yard to allow an additional 0.5-foot encroachment for a total encroachment of 3.8 feet.

**Sec. 47-5.30. Table of dimensional requirements for the RS-4.4 district. (Note A).**  
\*A variance from the 20-foot minimum rear yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed rear yard setback of 21.2 feet.

**Sec. 47-5.30. Table of dimensional requirements for the RS-4.4 district. (Note A).**  
\*A variance from the 20-foot minimum rear yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed rear yard setback of 21.2 feet.

Department of Planning and Community Development  
1000 N. University Blvd., Suite 100  
Fort Lauderdale, FL 33324  
Phone: 754.371.2311  
Fax: 754.371.2311

For more information, visit the City of Fort Lauderdale website at [www.fortlauderdale.gov](http://www.fortlauderdale.gov) or call the City Clerk's Office at 754.371.2311.  
If you have any questions, please contact the City Clerk's Office at 754.371.2311.  
www.fortlauderdale.gov/cityclerk





BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 01/30/2024 APPLICATION FORM: BOA

GENERAL INFORMATION  
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

**BOARD OF ADJUSTMENT MEETING REQUEST:** Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

**APPLICATION DEADLINE:** Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

**ONLINE SUBMITTAL PROCESS:** Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

**DETERMINATION OF COMPLETENESS:** Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

**PAYMENT OF FEES:** All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

**PUBLIC SIGN NOTICE:** Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

**EXAMPLE VARIANCE SUBMITTAL**

Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

**QUESTIONS:** Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: [boardofadjustment@fortlauderdale.gov](mailto:boardofadjustment@fortlauderdale.gov)

Phone: 954-828-6520, Option 5

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input checked="" type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

## Page 1: BOA - Applicant Information Sheet

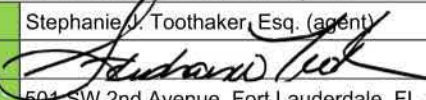
**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

<b>Case Number</b>	
<b>Date of complete submittal</b>	

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

<b>Property Owner's Name</b>	David MacNeil
<b>Property Owner's Signature</b>	If a signed agent letter is provided, no signature is required on the application by the owner.
<b>Address, City, State, Zip</b>	84 Isla Bahia Drive, Fort Lauderdale, FL 33316
<b>E-mail Address</b>	
<b>Phone Number</b>	
<b>Proof of Ownership</b>	<input type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

**NOTE:** If **AGENT** is to represent **OWNER**, notarized letter of consent is required

<b>Applicant / Agent's Name</b>	Stephanie J. Toothaker, Esq. (agent)
<b>Applicant / Agent's Signature</b>	
<b>Address, City, State, Zip</b>	501 SW 2nd Avenue, Fort Lauderdale, FL 33301
<b>E-mail Address</b>	stephanie@toothaker.org, cc: roya@toothaker.org
<b>Phone Number</b>	954.648.9376
<b>Agent Authorization Form Submitted</b>	<input type="checkbox"/>

<b>Include ANY Related code case/permit #</b>	N/A
<b>Existing / New</b>	Existing: <input type="checkbox"/> (balcony)      New: <input type="checkbox"/> (enclosed structure)
<b>Project Address</b>	Address: 84 Isla Bahia Drive, Fort Lauderdale, FL 33316
<b>Legal Description</b>	See Survey
<b>Tax ID Folio Numbers</b> <i>(For all parcels in development)</i>	504213160140
<b>Variance/Special Exception Request</b> <i>(Provide a brief description of your request)</i>	Requesting balcony encroachment of 0.8 feet into the rear setback. Requesting enclosed structure encroachment of 3.8 feet into the rear setback.
<b>Applicable ULDR Sections</b> <i>(Include all code sections)</i>	Section 47-19.2.B & Section 47-5.30

<b>Current Land Use Designation</b>	Low
<b>Current Zoning Designation</b>	RS-4.4
<b>Current Use of Property</b>	Single-Family Residential
<b>Site Adjacent to Waterway</b>	<input checked="" type="checkbox"/> <b>Yes</b> <input type="checkbox"/> <b>No</b>

Setbacks (indicate direction N, S, E, W)		Required	Proposed
Front	S	25 feet	30 feet (existing)
Side	E	10 feet (up to 22 feet)	12.5 feet (existing)
Side	W	10 feet (up to 22 feet)	18 feet (existing)
Rear	S	25 feet (waterway)	21.2 feet (enclosed structure), 25.2 (balcony)

**Page 2a: Board of Adjustment (BOA) Criteria for Variance Request**

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type *N/A* for the questions below and complete page 2b of this application form. Note. A narrative must be submitted in addition to this page.

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

Please find attached responses

**CRITERIA:** Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

Please find attached responses

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

Please find attached responses.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

Please find attached responses.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

Please find attached responses.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

Please find attached responses.

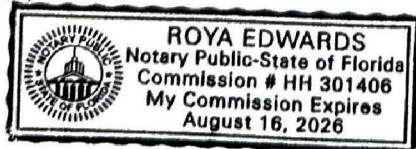
**AFFIDAVIT:** I, Stephanie J. toothaker the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

*Stephanie J. toothaker*  
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 06 day of MAY, 2024

(SEAL)



*Roya Edwards*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES:

Please see the **Variance Exhibit** and **Architectural Plans** provided in this application package for a clear portrayal of where the existing balcony and proposed enclosed structure are located in relation to the Residence and setbacks, abutting properties, and right-of-way.

## **2. REQUESTED VARIANCE**

We are respectfully requesting a variance from the following:

### **ULDR Section Sec. 47-19.2.B Accessory Buildings, Structures and Equipment, General:**

1. A variance from the maximum 3 foot balcony encroachment into the required yard to allow an additional 0.8 encroachment for a total encroachment of 3.8 feet.

### **ULDR Section 47-5.30 Table of Dimensional Requirements for the RS-4.4 District**

2. A variance from the 25 foot minimum rear yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed setback of 21.2 feet into the rear yard.

## **3. CRITERIA FOR APPROVAL OF BOA VARIANCE REQUEST**

- a. *That special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and*

**RESPONSE:** The balcony remaining open does not allow the Applicant to reasonably use the Property and Residences to its full potential due to the lack of shade, security, privacy, air conditioning, and protection of the elements. Enclosing the balcony is permitted by the ULDR, but the current placement of the balcony exists, so the Applicant cannot reasonably enclose it without encroaching into the setbacks.

- b. *That circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:*

**RESPONSE:** The existing balcony is spacious and faces northwest which creates a special circumstance due to the direct sun intrusions in the afternoon/evening. The Applicant requests to enclose the balcony for protection from the elements and sun. Additionally, the Applicant purchased the Property without the knowledge of the existing balcony encroachment non-conformity which creates a special circumstance that does not allow the Applicant to enclose the balcony without encroaching into the setback. A majority of the newer residences in the City are built correctly and without existing encroachments into the setback.

- c. *That the Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and*

**RESPONSE:** The current conditions deprive the Applicant of their right to enclose the balcony without encroaching into the rear setback. Other property owners in the RS-4.4 zoning have residences that were built in conformance with the ULDR. This variance request does not result in a more profitable use of the Property, however, it increases the safety, protection from the elements, noise reduction, privacy, and comfort of the Residence's habitats which are of utmost importance to the Applicant.

d. *That the unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and*

**RESPONSE:** These variance requests are a unique hardship that is not self-created due to the existing boundaries of the Residence and balcony. The Applicant is requesting a variance of the rear setback which abuts the Intercoastal Waterway and has no direct impact on neighboring residences which respects the ULDR and neighbor impacts.

e. *That the variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.*

**RESPONSE:** The variance requests are minimal. The existing balcony encroachment request is under one (1) foot and the enclosed structure encroachment request is less than 16% of the required setback measurement. The variance is compatible with the RS-4.4 zoning code because many property owners proposed building additions and enclose balconies. However, the Applicant is not proposing to extend the structure further past the existing bounds of the balcony which requests the smallest possible variance. Lastly, the variance requests are for the rear setback which abuts the Intercoastal Waterway which provides an approximate 155 foot buffer between the proposed enclosed structure and the adjacent property to the rear. This creates a scenario with the least possible impacts to adjacent neighbors.

We believe denial of this request would create an unnecessary hardship under the facts of this case. Thank you for your consideration and should you have any questions, please do not hesitate to let me know.

Respectfully,

*/s/ Stephanie J. Toothaker*

Stephanie J. Toothaker, Esq.

## Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. **Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE.** The applicant will need to meet with staff **PRIOR** to submitting the BOA application submittal via [Lauderbuild](#). \*Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.

- **Preliminary BOA Meeting** - The applicant and/or agent met with staff on the following date: 03/13/2024
- **Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. \*Submit the complete application form along with your submittal. **Page 4** of the BOA application is due **AFTER** sign(s) are posted.
- **Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
- **Agent Authorization Form**- Authorization from **ALL** Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
- **Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- **Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
- **Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. \*Must be the most recent survey and the date on the survey should not exceed one (1) year. **Copy sets of Survey must be at half-size scale 11x17"**.
- **Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents. **Copy sets of Plans must be at half-size scale 11x17"**.
- **Elevations**- If applicable (Elevations may be required by staff upon application submittal).
- **Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
- **Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
- **Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
  - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
  - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
  - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19<sup>TH</sup> Avenue, Fort Lauderdale, Florida 33311**

**City of Fort Lauderdale- Zoning Division (BOA)  
700 N.W. 19th Avenue  
Fort Lauderdale, Florida 33311**

**How To order a Tax Map and Notice List-** To order a tax map and notice list, please contact Heather Hanson at [hhanson@bcpa.net](mailto:hhanson@bcpa.net) or call 954-357-6855 OR Kenny Gibbs at [kgibbs@bcpa.net](mailto:kgibbs@bcpa.net) or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

**How to Submit Your Application submittal-** Submittals must be conducted through the City's Online Citizen Access portal- [LauderBuild](#). No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

**Please Note: All copy sets must be clear, accurate and legible. All non-plan documents should be 8 1/2" x 11". Plans must be folded to 8 1/2" x 11".**



<b>Site Address</b>	84 ISLA BAHIA DRIVE, FORT LAUDERDALE FL 33316-2331	<b>ID #</b>	5042 13 16 0140
<b>Property Owner</b>	MACNEIL, DAVID F DAVID F MACNEIL TR	<b>Millage</b>	0312
<b>Mailing Address</b>	84 ISLA BAHIA DR FORT LAUDERDALE FL 33316	<b>Use</b>	01-01
<b>Abbr Legal Description</b>	ISLA BAHIA 47-27 B LOT 13		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

\* 2024 values are considered "working values" and are subject to change.

**Property Assessment Values**

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$2,965,170	\$10,571,810	\$13,536,980	\$13,536,980	
2023	\$2,965,170	\$10,571,810	\$13,536,980	\$13,329,860	\$250,677.29
2022	\$2,965,170	\$9,976,450	\$12,941,620	\$12,941,620	\$239,548.69

**2024\* Exemptions and Taxable Values by Taxing Authority**

	County	School Board	Municipal	Independent
<b>Just Value</b>	\$13,536,980	\$13,536,980	\$13,536,980	\$13,536,980
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH 22</b>	\$13,536,980	\$13,536,980	\$13,536,980	\$13,536,980
<b>Homestead 100%</b>	\$25,000	\$25,000	\$25,000	\$25,000
<b>Add. Homestead</b>	\$25,000	0	\$25,000	\$25,000
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$13,486,980	\$13,511,980	\$13,486,980	\$13,486,980

**Sales History**

Date	Type	Price	Book/Page or CIN
11/13/2020	D-T	\$100	116976571
5/30/2013	WD-Q	\$5,500,000	111583660
7/24/2003	QCD		35743 / 986
11/1/1991	QCD	\$100	18937 / 2
2/1/1990	QCD	\$100	

**Land Calculations**

Price	Factor	Type
\$130.00	22,809	SF
<b>Adj. Bldg. S.F. (Card, Sketch)</b>		12547
<b>Units/Beds/Baths</b>		1/5/8.5
<b>Eff./Act. Year Built: 2021/2020</b>		

**Special Assessments**

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



This document prepared by and return to:

Robert C. Aument  
DASPIN & AUMENT, LLP  
300 S. Wacker Drive  
Suite 2200  
Chicago, Illinois 60606

Parcel Identification (Folio) No (s):

504213-16-0140

**DEED IN TRUST**

THE GRANTOR, IMAGINATION PROPERTIES 84 ISLA BAHIA, LLC  
N/K/A DM84 ISLA BAHIA LLC, a Florida limited liability company, as  
Grantor, of the State of Florida, for and in consideration of \$10.00 Dollars, and other  
good and valuable considerations in hand paid, Conveys and Warrants unto DAVID  
F. MACNEIL, as Trustee of the DAVID F. MACNEIL TRUST DATED JUNE 6, 2007,  
as Grantee, whose address is 84 Isla Bahia Drive, Fort Lauderdale, FL 33301,  
(hereinafter referred to as "said trustee" regardless of the number of trustees), and  
unto all and every successor or successors in trust under said trust agreement, the  
following described real estate in the County of Broward and State of Florida, to wit:

**LOT 13, OF ISLE BAHIA, ACCORDING TO THE PLAT THEREOF, AS  
RECORDED IN PLAT BOOK 47, PAGE 27, OF THE PUBLIC RECORDS OF  
BROWARD COUNTY, FLORIDA.**

TO HAVE AND TO HOLD the said premises with the appurtenances upon the trusts and for the uses and purposes herein and in said trust agreement set forth.

Full power and authority are hereby granted to said trustee to improve, manage, protect and subdivide said premises or any part thereof: to dedicate parks, streets, highways or alleys; to vacate any subdivision or part thereof, and to resubdivide said property as often as desired; to contract to sell; to grant options to purchase; to sell on any terms; to convey either with or without consideration; to convey said premises or any part thereof to a successor or successors in trust and to grant to such successor or successors in trust all of the title, estate, powers and authorities vested in said trustee; to donate, to dedicate, to mortgage, pledge or otherwise encumber said property, or any part thereof; to lease said property, or any part thereof, from time to time, in possession or reversion, by leases to commence in present or in future, and upon any terms and for any period or periods of time, not exceeding in the case of any single demise the term of 198 years, and to renew or extend leases upon any terms and for any period or periods of time and to amend, change or modify leases and the terms and provisions thereof at any time or times hereafter; to contract to make leases and to grant options to lease and options to renew leases and options to purchase the whole or any part of the reversion and to contract respecting the manner of fixing the amount of present or future rentals; to partition or to exchange said property, or any part thereof, for other real or personal property; to grant easements or charges of any kind; to release, convey or assign any right, title or interest in or about or easement appurtenant to said premises or any part thereof; and to deal with said property and every part thereof in all other ways and for such other considerations as it would be lawful for any person owning the same to deal with the same, whether similar to or different from the ways above specified, at any time or times hereafter.

In no case shall any party dealing with said trustee in relation to said premises, or to whom said premises or any part thereof shall be conveyed, contracted to be sold, leased or mortgaged by said trustee, be obliged to see to the application of any purchase money, rent, or money borrowed or advanced on said premises, or be obliged to see that the terms of this trust have been complied with, or be obliged to inquire into the necessity or expediency of any act of said trustee, or be obliged or privileged to inquire into any of the terms of said trust agreement; and every deed, trust deed, mortgage, lease or other instrument executed by said trustee in relation to said real estate shall be conclusive evidence in favor of every person relying upon or claiming under any such conveyance, lease or other instrument, (a) that at the time of the delivery thereof the trust created by this Indenture and by said trust agreement was in full force and effect; (b) that such conveyance or other instrument was executed in accordance with the trusts, conditions and limitations contained in this Indenture and in said trust agreement or in some amendment thereof and binding upon all beneficiaries thereunder; (c) that said trustee was duly authorized and empowered to execute and deliver every such deed, trust deed, lease, mortgage or other instrument;

and (d) if the conveyance is made to a successor or successors in trust, that such successor or successors in trust have been properly appointed and are fully vested with all the title, estate, rights, powers, authorities, duties and obligations of its, his or their predecessor in trust.

The interest of each and every beneficiary hereunder and of all persons claiming under them or any of them shall be only in the earnings, avails and proceeds arising from the sale or other disposition of said real estate, and such interest is hereby declared to be personal property, and no beneficiary hereunder shall have any title or interest, legal or equitable, in or to said real estate as such, but only an interest in the earnings, avails and proceeds thereof as aforesaid.

IN WITNESS WHEREOF, the Grantor aforesaid has signed and sealed these presents this 13<sup>th</sup> day of November 2020.

Signed, sealed and delivered in the presence of:

**DM84 ISLA BAHIA LLC, a Florida limited liability company**

Jennifer Frantz  
Witness Signature  
Jennifer Frantz  
Printed Witness Name

By: [Signature]  
Name: David F. MacNeil, as Trustee of the David F. MacNeil Trust dated June 7, 2007  
Its: Member

[Signature]  
Witness Signature  
FIACOMO MARIOLI  
Printed Witness Name

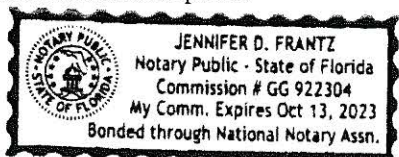
STATE OF Florida )  
  ) SS  
COUNTY OF Highlands )

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that David F. MacNeil, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that she signed, sealed and delivered the said instrument as her free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and official notarial seal this 13<sup>th</sup> day of November 2020.

My commission expires:

Jennifer Frantz  
Notary Public





# BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000  
I.D. Number: BOAAAF

## AGENT AUTHORIZATION FORM

I \_\_\_\_\_ (“Owner”) as the current title owner of the real  
[Print First and Last Name of the title Owner OR Name of Corporation]  
 property located at \_\_\_\_\_ (“Property”), do hereby authorize  
[Print Property Address]  
 \_\_\_\_\_ (“Authorized Agent”) to act as my agent regarding the submittal  
[Print First and Last Name of Agent]  
 of a variance/special exception application to the City of Fort Lauderdale and appear at any and all  
 scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and  
 location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special  
 exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to  
 accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding  
 all issues related to my pending variance/special exception application. I understand and agree that, as the  
 Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception  
 application, all required hearing appearances related to my variance/special exception application, and any  
 request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and  
 or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and  
 agree, the City will mail or deliver all notices relating to my pending variance/special exception application to  
 my property address, as listed on my variance/special exception application. I further understand and agree,  
 the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized  
 Agent's failure to comply with any terms or conditions outlined in my variance/special exception application,  
 and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before  
 the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS  
 AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,  
 representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from  
 any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes  
 of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,  
 including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the  
 action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my  
 employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION  
**BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM**

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000  
I.D. Number: BOAAA

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms, and I was not induced by the City, its employees and/or agents, or anyone, to execute this

Agent Authorization Form. **\*Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

WITNESS:

Melissa MacNeil  
Witness Signature  
Melissa MacNeil  
Print Name  
March 19<sup>th</sup>, 2024  
Date

[Signature]  
Signature - Owner/Authorized Individual  
DAVID MacNEIL  
Print Name - Owner/ Authorized Individual  
OWNER  
Print Title - Authorized Individual

STATE OF Florida  
COUNTY OF Broward

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 19<sup>th</sup> day of march, 2024. by David macneil, an individual who is personally known to me  or has produced \_\_\_\_\_ as identification

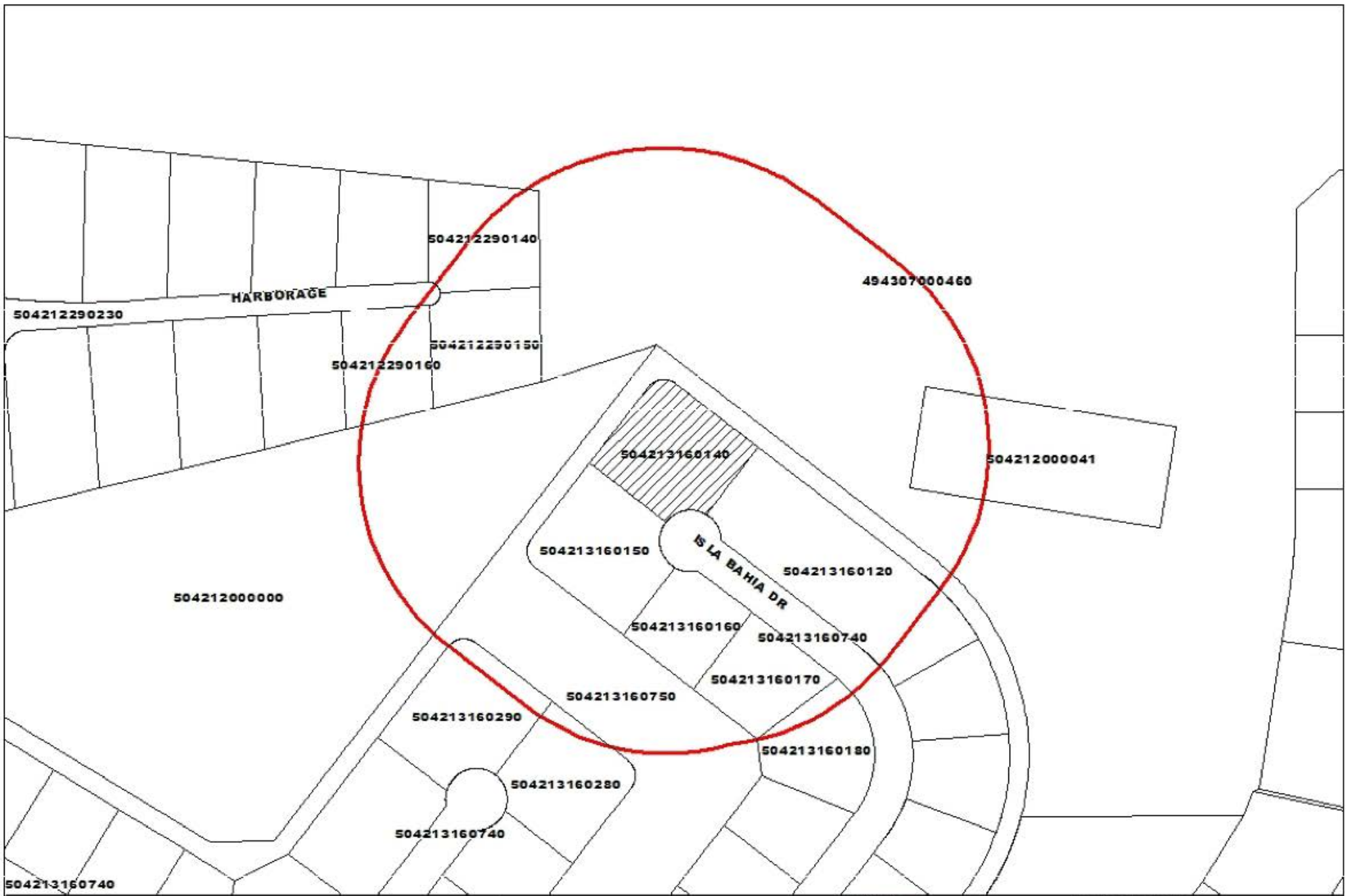
[NOTARY SEAL]



Sharyn L Wellnitz  
Comm.: HH 246990  
Expires: March 30, 2026  
Notary Public - State of Florida

[Signature]  
(Signature of Notary Public- State of Florida)  
30 March 2026  
My Commission Expires:  
Sharyn L wellnitz  
Print, Type, or Stamp Commissioned  
Name of Notary Public)

FOLIO_NUMB	NAME_LINE_	ADDRESS_LI	CITY	STATE	ZIP
494307000460	TIITF/STATE OF FLORIDA	1314 MARCINSKI RD	JUPITER	FL	33477
504212000041	SUBMERGED LANDS LLC	832 NE 26 ST	WILTON MANORS	FL	33305
504212290140	CLINE,GIBBONS D & SIGRUN U	PO BOX 22748	FORT LAUDERDALE	FL	33335
504212290150	RILEY,JAMES B & JENNY B	15 HARBORAGE ISLE DR	FORT LAUDERDALE	FL	33316
504212290160	HIRSCH,LELAND	16 HARBORAGE ISLE DR	FORT LAUDERDALE	FL	33316
504212290230	THE HARBORAGE ASSN IC	21 HARBORAGE	FORT LAUDERDALE	FL	33316
504213160120	WEST,CHARLES E JR	1323 SE 17 ST #148	FORT LAUDERDALE	FL	33316
504213160140	MACNEIL,DAVID F	84 ISLA BAHIA DR	FORT LAUDERDALE	FL	33316
504213160150	RIELLY,PHILIP	83 ISLA BAHIA DR	FORT LAUDERDALE	FL	33316
504213160160	LOBDELL,JON A & BEVERLY S	PO BOX 460729	FORT LAUDERDALE	FL	33346
504213160170	FRIEDMAN,ROBERT T	77 ISLA BAHIA DR	FORT LAUDERDALE	FL	33316
504213160180	CARMEL,BRETT M & LISA	75 ISLA BAHIA DR	FORT LAUDERDALE	FL	33316
504213160280	GILL,CARL C & DIANE M	10 ISLA BAHIA TER	FORT LAUDERDALE	FL	33316
504213160290	MD UNION CORP	8 ISLA BAHIA TER	FORT LAUDERDALE	FL	33316
504213160740	COMPANY SIX-C INC	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301
504213160750	COMPANY SIX-C,INC DDCTD PUBLIC	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301



MARTY KIAR  
BROWARD COUNTY PROPERTY APPRAISER



R4 ISLA RAHA DR  
DATE OF PRINT: 02/28/2024















May 2, 2024

**VIA LAUDERBUILD**  
BOARD OF ADJUSTMENT  
C/O MOHAMMED MALIK, ZONING ADMINISTRATOR/LIAISON  
CITY OF FORT LAUDERDALE  
100 NORTH ANDREWS AVENUE  
FORT LAUDERDALE, FL 33311

**RE: Variance Request for 84 Isla Bahia Drive, Fort Lauderdale, FL 33316**

Dear Honorable Members of the Board of Adjustment:

This firm represents David and Melissa MacNeil (the “**Applicant**”), owners of the real property located at 84 Isla Bahia Drive, Fort Lauderdale, FL 33316, Folio No. 504213160140 (the “**Property**”). The Property has an underlying land use designation of Low Residential (“**Low**”) and is zoned Residential Single Family/Low Density District (“**RS-4.4**”). On behalf of the Applicant, we are respectfully requesting approval of a variance from the Unified Land Development Regulations (“**ULDR**”) Sections 47-5.30 which establishes the dimensional requirements for structures built in the RS-4.4 zoning district and Section 47-19.2.B which establishes the permitted balcony encroachments.

### **1. PROJECT DESCRIPTION**

The Property is 22,809 square feet and located at the terminus of Isla Bahia Drive cul-da-sac along the Intercoastal Waterway. The building is a single-family primary residence on the Property totaling 12,894 square feet (“**Residence**”).

There are two (2) variances associated with this request:

- (1) An after-the-fact variance to permit an 0.8 foot existing outdoor balcony encroachment into the rear setback
- (2) A proposed variance to enclose the same existing outdoor balcony and create a room, resulting in a 3.8 foot structure encroachment into the rear setback.

The existing balcony and proposed enclosed structure are located at the northwest corner of the Residence’s second floor and directly abut the Intercoastal Waterway.

The Applicants purchased the Property and Residence without knowledge of the existing balcony encroachment that may have resulted from an error in construction. The Applicant filed a building permit to enclose the balcony and create an additional room attached to the Residence, but soon halted the process upon knowledge of the non-conformities. They are now seeking variances to remedy the non-conformities and come into compliance with the ULDR. These variance requests are not a result of a code violation. The Residence meets all other ULDR requirements. The proposed enclosed structure is structurally sound and meets the Florida Building Code (“**FBC**”) requirements. Please refer to the **Structural Plan Set** and **Structural Report** provided.

**Stephanie J. Toothaker, Esq.**  
land use development political strategy procurement

Please see the Variance Exhibit and Architectural Plans provided in this application package for a clear portrayal of where the existing balcony and proposed enclosed structure are located in relation to the Residence and setbacks, abutting properties, and right-of-way.

## 2. REQUESTED VARIANCE

We are respectfully requesting a variance from the following:

### ULDR Section Sec. 47-19.2.B Accessory Buildings, Structures and Equipment, General:

1. A variance from the maximum 3 foot balcony encroachment into the required yard to allow an additional 0.8 encroachment for a total encroachment of 3.8 feet.

### ULDR Section 47-5.30 Table of Dimensional Requirements for the RS-4.4 District

2. A variance from the 25 foot minimum rear yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a decrease of 3.8 feet for a proposed setback of 21.2 feet into the rear yard.

## 3. CRITERIA FOR APPROVAL OF BOA VARIANCE REQUEST

- a. *That special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and*

**RESPONSE:** The balcony remaining open does not allow the Applicant to reasonably use the Property and Residences to its full potential due to the lack of shade, security, privacy, air conditioning, and protection of the elements. Enclosing the balcony is permitted by the ULDR, but the current placement of the balcony exists, so the Applicant cannot reasonably enclose it without encroaching into the setbacks.

- b. *That circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:*

**RESPONSE:** The existing balcony is spacious and faces northwest which creates a special circumstance due to the direct sun intrusions in the afternoon/evening. The Applicant requests to enclose the balcony for protection from the elements and sun. Additionally, the Applicant purchased the Property without the knowledge of the existing balcony encroachment non-conformity which creates a special circumstance that does not allow the Applicant to enclose the balcony without encroaching into the setback. A majority of the newer residences in the City are built correctly and without existing encroachments into the setback.

- c. *That the Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and*

**RESPONSE:** The current conditions deprive the Applicant of their right to enclose the balcony without encroaching into the rear setback. Other property owners in the RS-4.4 zoning have residences that were built in conformance with the ULDR. This variance request does not result in a more profitable use of the Property, however, it increases the safety, protection from the elements, noise reduction, privacy, and comfort of the Residence's habitats which are of utmost importance to the Applicant.

d. *That the unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and*

**RESPONSE:** These variance requests are a unique hardship that is not self-created due to the existing boundaries of the Residence and balcony. The Applicant is requesting a variance of the rear setback which abuts the Intercoastal Waterway and has no direct impact on neighboring residences which respects the ULDR and neighbor impacts.

e. *That the variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.*

**RESPONSE:** The variance requests are minimal. The existing balcony encroachment request is under one (1) foot and the enclosed structure encroachment request is less than 16% of the required setback measurement. The variance is compatible with the RS-4.4 zoning code because many property owners proposed building additions and enclose balconies. However, the Applicant is not proposing to extend the structure further past the existing bounds of the balcony which requests the smallest possible variance. Lastly, the variance requests are for the rear setback which abuts the Intercoastal Waterway which provides an approximate 155 foot buffer between the proposed enclosed structure and the adjacent property to the rear. This creates a scenario with the least possible impacts to adjacent neighbors.

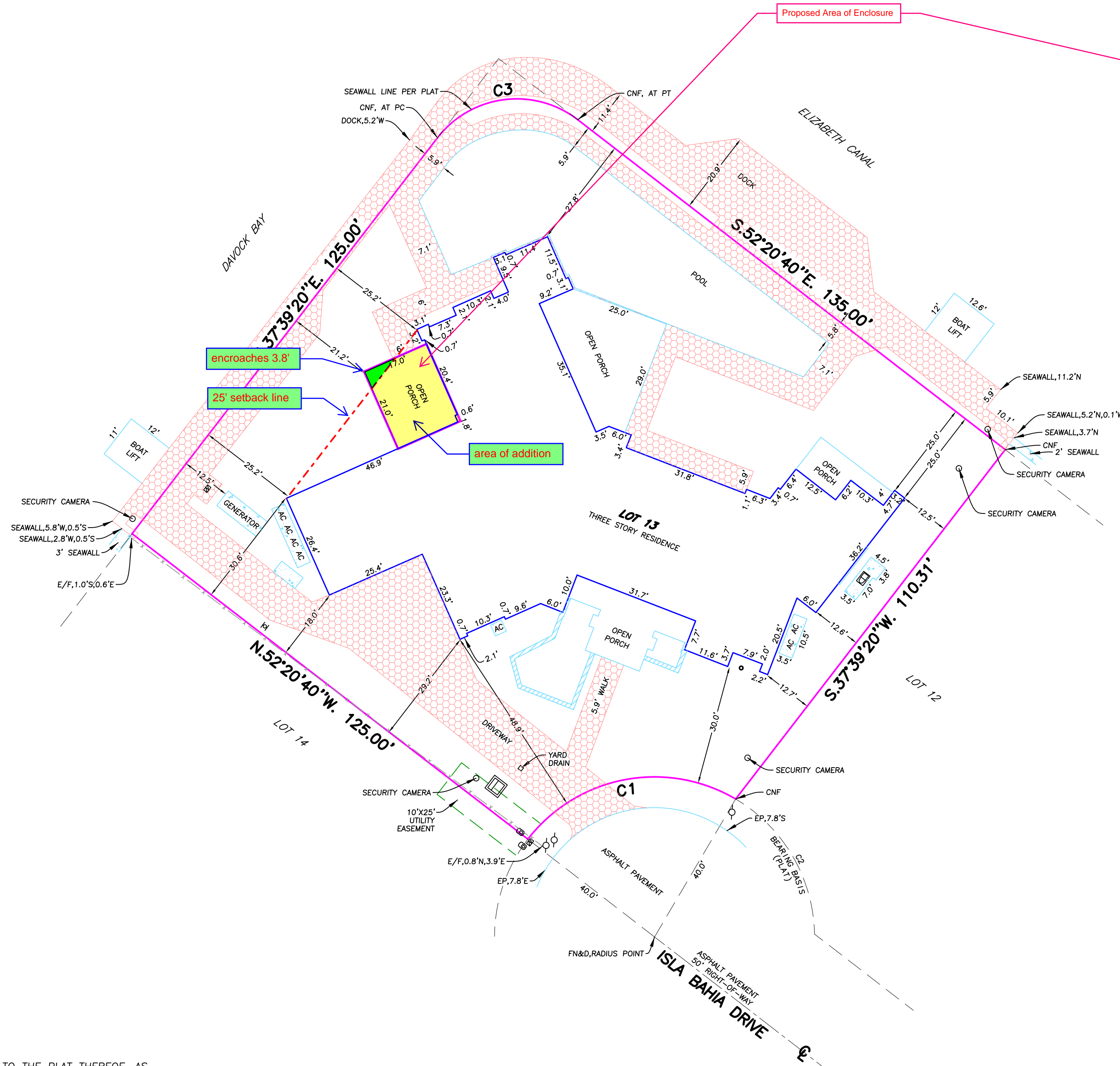
We believe denial of this request would create an unnecessary hardship under the facts of this case. Thank you for your consideration and should you have any questions, please do not hesitate to let me know.

Respectfully,

*/s/ Stephanie J. Toothaker*

Stephanie J. Toothaker, Esq.





- LEGEND**
- FP&L BOX
  - CONTROL VALVE
  - GUY ANCHOR
  - WATER METER
  - FIRE HYDRANT
  - CABLE JUNCTION BOX
  - ELECTRIC SERVICE
  - POOL EQUIPMENT
  - POWER/LIGHT POLE
  - SPRINKLER SYSTEM
  - CATCH BASIN
  - CLEAN OUT
  - MANHOLE
  - WELL
  - WATER VALVE
  - BRICK/TILE PAVERS
  - CENTERLINE
  - CONCRETE/CHAT
  - CONCRETE WALL
  - ELEVATION
  - METAL FENCE
  - OVERHEAD WIRES
  - WOOD DECK/DOCK
  - WOOD/PVC FENCE

- ABBREVIATIONS**
- AC AIR CONDITIONER
  - AE ANCHOR EASEMENT
  - BC BUILDING CORNER
  - BM BENCHMARK
  - BW BACK OF WALK
  - C CALCULATED
  - CNF CORNER NOT FOUND
  - DE DRAINAGE EASEMENT
  - E/F END/FENCE
  - EP EDGE OF PAVEMENT
  - EW EDGE OF WATER
  - F/C FENCE/CORNER
  - FF FINISH FLOOR
  - F/L FENCE/LINE
  - FIP FOUND IRON PIPE
  - FIR FOUND IRON ROD
  - FN FOUND NAIL
  - FN&D FOUND NAIL & DISC
  - FN&T FOUND NAIL & TAB
  - FP&L FLORIDA POWER & LIGHT
  - GAR GARAGE
  - GEN GENERATOR
  - INSTR INSTRUMENT
  - OP OPEN PORCH
  - ORB OFFICIAL RECORD BOOK
  - M MEASURED
  - NTS NOT TO SCALE
  - PB PLAT BOOK
  - PC POINT OF CURVATURE
  - POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - PG PAGE
  - PRC POINT OF REVERSE CURVE
  - PRM PERMANENT REFERENCE MONUMENT
  - PT POINT OF TANGENCY
  - R RECORD
  - RAD RADIAL
  - RW RIGHT-OF-WAY
  - SN&D SET NAIL & DISC 5495
  - SP SCREENED PORCH
  - SP&C SET 1/2" PIN & CAP 5495
  - UE UTILITY EASEMENT

**SURVEYOR'S NOTES**

- BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH.
- LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER WEBSITE.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
- UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE INDICATED ON SKETCH.
- FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS OTHERWISE INDICATED ON SKETCH.
- FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
- IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
- THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
- PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7" WIDE UNLESS OTHERWISE NOTED.
- EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS
- OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
- NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.

LEGAL DESCRIPTION  
 LOT 13, OF ISLA BAHIA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 47, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:  
 MACNEIL, DAVID F  
 DAVID F MACNEIL TR

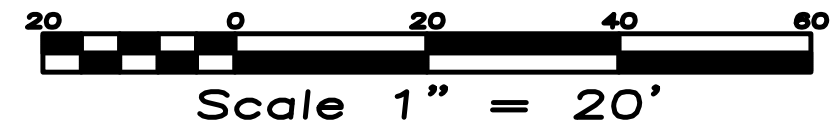
PROPERTY ADDRESS  
 84 ISLA BAHIA DRIVE  
 FORT LAUDERDALE, FL 33316

BOUNDARY SURVEY  
 INVOICE # 44369  
 SURVEY DATE 06/29/23

FLOOD ZONE X0.2%/AH 5  
 MAP DATE 08/18/14  
 MAP NUMBER 125105 0576H

**CURVE TABLE**

NUMBER	DELTA	CHORD BEARING	RADIUS'	ARC'	LC'
C1	82°49'09"	S.79°03'54"W.	40.00	57.82	52.91
C2	58°29'55"	S.30°16'34"E.	40.00	40.84	39.09
C3	90°00'00"	N.82°39'20"E.	25.00	39.27	35.36



**ATLANTIC COAST SURVEYING, INC.**

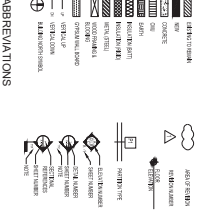
*Paul J. Stowell*

PAUL J. STOWELL  
 PROFESSIONAL LAND SURVEYOR  
 FLORIDA CERTIFICATION NO. 5241  
 ATLANTIC COAST SURVEYING, INC.  
 13798 NW 4th Street, Suite 306  
 Sunrise, FL 33325  
 P: 954.587.2100 E: info@acsiweb.net

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE FLORIDA MECHANICAL CODE, THE FLORIDA ELECTRICAL CODE, AND THE FLORIDA PLUMBING AND FIXTURES CODE, AS APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE FLORIDA MECHANICAL CODE, THE FLORIDA ELECTRICAL CODE, AND THE FLORIDA PLUMBING AND FIXTURES CODE, AS APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE FLORIDA MECHANICAL CODE, THE FLORIDA ELECTRICAL CODE, AND THE FLORIDA PLUMBING AND FIXTURES CODE, AS APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
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11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

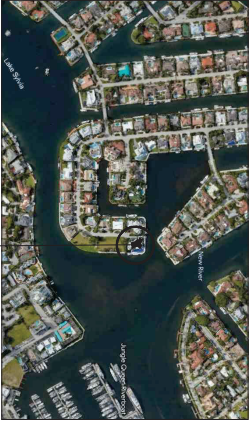
**SYMBOLS**



**ABBREVIATIONS**

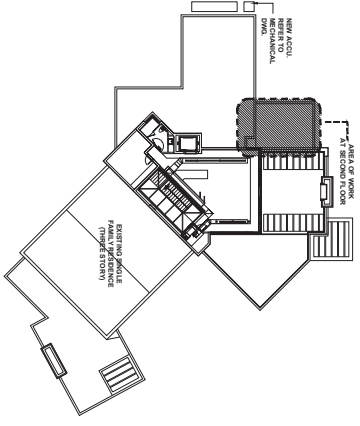
- A - AIR CONDITIONING
- B - BALCONY
- C - CLOSET
- D - DOWN
- E - ELECTRICAL
- F - FINISH
- G - GARAGE
- H - HALL
- I - INTERIOR
- J - JOINT
- K - KITCHEN
- L - LIVING
- M - MECHANICAL
- N - NORTH
- O - OPEN
- P - PAVEMENT
- Q - QUARTERS
- R - ROOF
- S - STAIRS
- T - TERRACE
- U - UP
- V - VENTILATION
- W - WALL
- X - EXTERIOR
- Y - YARD
- Z - ZONE

**LOCATION MAP**



84 ISLA BAHIA DRIVE, FORT LAUDERDALE, FL 33316

**AREA OF WORK**



**PROJECT NAME:**

**ISLA BAHIA RESIDENCE**  
84 ISLA BAHIA DRIVE, FORT LAUDERDALE  
FL 33316

**PROJECT DESCRIPTION:**

REAR PORCH  
CONSTRUCTION  
FOR  
EXISTING RESIDENCE

**SQUARE FOOTAGE CALCULATIONS**

DESCRIPTION	SQ. FT.
REAR PORCH	1,200
TOTAL	1,200

**APPLICABLE CODES:**

- FLORIDA BUILDING CODE
- FLORIDA MECHANICAL CODE
- FLORIDA ELECTRICAL CODE
- FLORIDA PLUMBING AND FIXTURES CODE
- INTERNATIONAL RESIDENTIAL CODE
- INTERNATIONAL MECHANICAL CODE
- INTERNATIONAL ELECTRICAL CODE
- INTERNATIONAL PLUMBING AND FIXTURES CODE

**SCOPE OF WORK:**

- REAR PORCH CONSTRUCTION
- REAR PORCH FOUNDATION
- REAR PORCH WALLS
- REAR PORCH FLOORING
- REAR PORCH ROOFING
- REAR PORCH MECHANICAL
- REAR PORCH ELECTRICAL
- REAR PORCH PLUMBING
- REAR PORCH FINISHES
- REAR PORCH LANDSCAPING

**INDEX:**

- 01 - FLOOR PLAN
- 02 - SECTION A-A
- 03 - SECTION B-B
- 04 - SECTION C-C
- 05 - SECTION D-D
- 06 - SECTION E-E
- 07 - SECTION F-F
- 08 - SECTION G-G
- 09 - SECTION H-H
- 10 - SECTION I-I
- 11 - SECTION J-J
- 12 - SECTION K-K
- 13 - SECTION L-L
- 14 - SECTION M-M
- 15 - SECTION N-N
- 16 - SECTION O-O
- 17 - SECTION P-P
- 18 - SECTION Q-Q
- 19 - SECTION R-R
- 20 - SECTION S-S
- 21 - SECTION T-T
- 22 - SECTION U-U
- 23 - SECTION V-V
- 24 - SECTION W-W
- 25 - SECTION X-X
- 26 - SECTION Y-Y
- 27 - SECTION Z-Z

**Andrew Dunlap**  
Architectural Designer  
Fort Lauderdale, FL 33309

**Andrew Dunlap**  
Professional Engineer  
Fort Lauderdale, FL 33309

**PROJECT NAME:**  
ISLA BAHIA RESIDENCE

**PROJECT ADDRESS:**  
84 ISLA BAHIA DRIVE  
FORT LAUDERDALE  
FL 33316

**PROJECT NUMBER:**  
2024

**PERMIT SET**  
11.28.2025

NO.	REVISION	DATE
1	ISSUANCE	11.28.2025

SHEET NO.  
**G-1**



**Andrew Dunlap**  
 Registered Architect  
 Architectural Design  
 Certificate of Registration No. 458977



**PERMIT SET**  
 11.28.2023

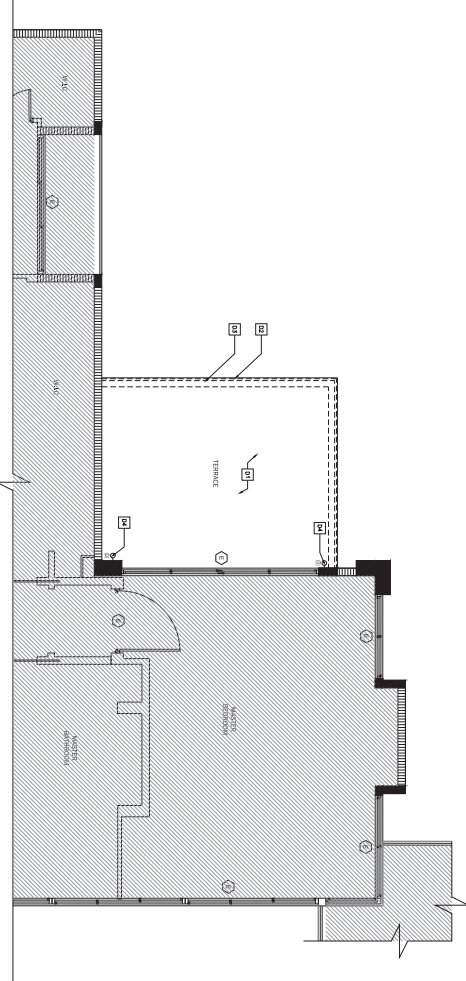
**DEMOLITION PLAN**  
 SHEET NO. **D-1**

- PLAN SYMBOLS**
- EXISTING WALLS/CONCRETE
  - EXISTING TO BE DEMOLISHED
  - - - - - OUTLINED ROOM
  - ▬ FINISH WALL
  - ▬ JAMB FINISH WALL
  - WINDOW TAG
  - ⊙ SHOWN DELETED

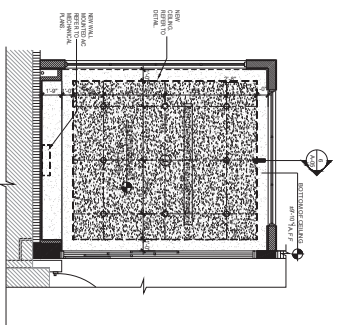
**APPROXIMATE ROOMS**

1110  
 1111  
 1112

- DEMOLITION PLAN NOTE**
- 1. EXISTING WALLS TO BE DEMOLISHED TO
  - 2. REMOVE WALL TO RELOCATE WINDOW TO
  - 3. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 4. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 5. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 6. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 7. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 8. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 9. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 10. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 11. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 12. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 13. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 14. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 15. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 16. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 17. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 18. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 19. REMOVE EXISTING WALL AND RELOCATE WINDOW TO
  - 20. REMOVE EXISTING WALL AND RELOCATE WINDOW TO







7.2 REFLECTING CEILING PLAN

7.3 NOT USED

7.4 NOT USED

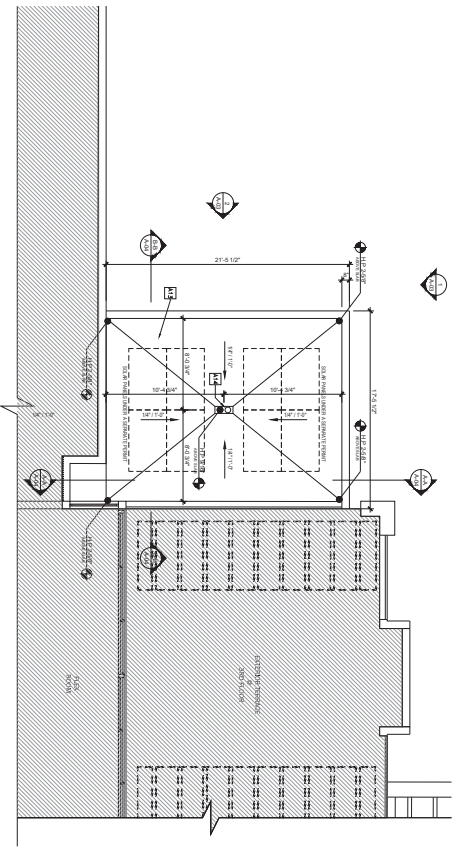


**NOTES**

1. REFLECTING WALLS SHALL BE CONCRETE OR GYPSUM BOARD WITH A REFLECTIVE FINISH.
2. REFLECTING FLOORS SHALL BE POLISHED CONCRETE OR POLISHED GYPSUM BOARD WITH A REFLECTIVE FINISH.
3. REFLECTING CEILING SHALL BE GYPSUM BOARD WITH A REFLECTIVE FINISH.
4. REFLECTING PANELS SHALL BE ALUMINUM OR STAINLESS STEEL WITH A REFLECTIVE FINISH.
5. REFLECTING DOORS SHALL BE ALUMINUM OR STAINLESS STEEL WITH A REFLECTIVE FINISH.
6. REFLECTING WALLS SHALL BE CONCRETE OR GYPSUM BOARD WITH A REFLECTIVE FINISH.
7. REFLECTING FLOORS SHALL BE POLISHED CONCRETE OR POLISHED GYPSUM BOARD WITH A REFLECTIVE FINISH.
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9. REFLECTING PANELS SHALL BE ALUMINUM OR STAINLESS STEEL WITH A REFLECTIVE FINISH.
10. REFLECTING DOORS SHALL BE ALUMINUM OR STAINLESS STEEL WITH A REFLECTIVE FINISH.

**GENERAL NOTES**

1. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
2. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
3. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
4. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
5. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
6. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
7. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
8. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
9. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
10. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.



7.1 THIRD FLOOR ROOF PLAN

**Andrew Dunlap**  
Principal Architect  
1100 14th Street, Suite 100  
Denver, Colorado 80202  
Phone: 303.733.4477  
Fax: 303.733.4478  
www.dunlap03.com

**PERMIT SET**  
11.28.2023

**PROJECT NAME**  
84 BAHIA RESIDENCE

**PROJECT NUMBER**  
15-CR-0018-0001

**PROJECT ADDRESS**  
84 BAHIA RESIDENCE  
15-CR-0018-0001

**PROJECT NUMBER**  
15-CR-0018-0001

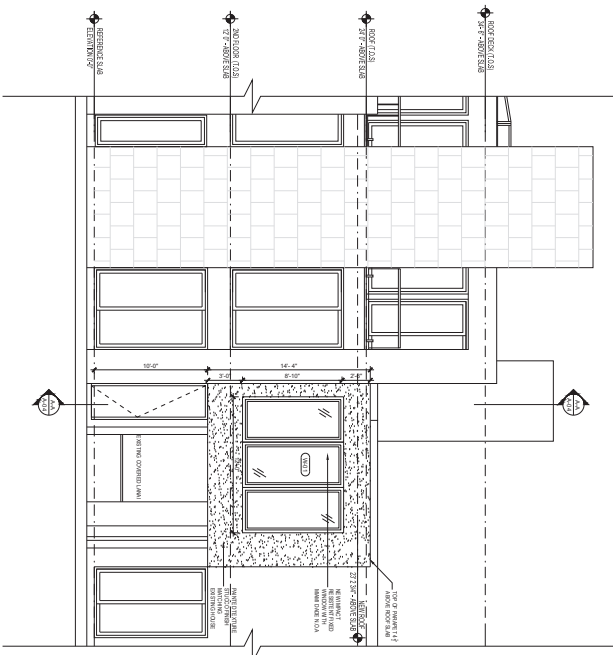
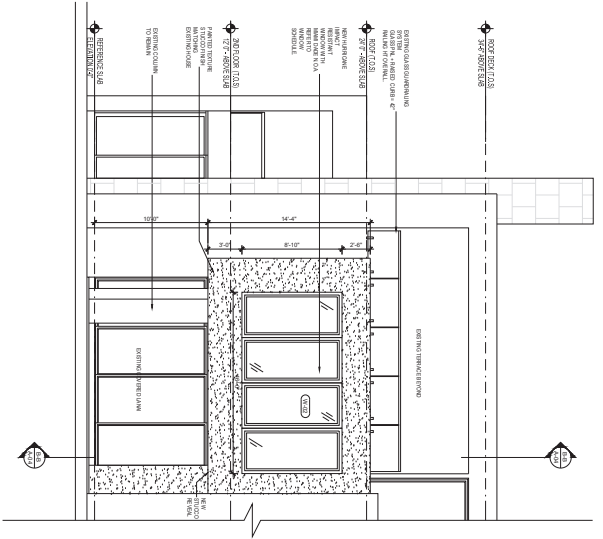
**PROVIDED**  
8TH FLOOR ROOF  
PLAN AND SECTION

**SHEET NO.**  
A-02

**DATE**  
11/28/2023

**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/28/2023



2.1 LEFT REAR ELEVATION  
 1.1 LEFT FRONT ELEVATION  
 A-03 SHEET NO. A-03



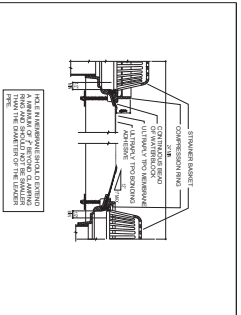
**Andrew Dunlap**  
 ARCHITECT  
 10000 15th Avenue  
 Colorado Springs, CO 80907



PERMIT SET  
 11.08.2023

PROJECT NAME:  
**84 BAHIA RESIDENCE**  
 PROJECT ADDRESS:  
 4450 S. LAUREL DRIVE  
 CO. SPRING, CO. 80907  
 PROJECT NUMBER:  
 202307  
 SHEET NAME:  
 ELEVATIONS  
 SHEET NO.  
**A-03**





1-1 PRIMARY/SECONDARY ROOF DRAIN  
SCALE: 1/4"=1'-0"

WINDOWS SCHEDULE			
MARK	SIZE	WINDOW TYPE	LOCATION
W1	8'0" x 7'0"	SLIDING WINDOW GLAZING	REAR PORCH/SCREENED PORCH
W2	8'0" x 7'0"	SLIDING WINDOW GLAZING	REAR PORCH/SCREENED PORCH
W3	8'0" x 7'0"	SLIDING WINDOW GLAZING	REAR PORCH/SCREENED PORCH

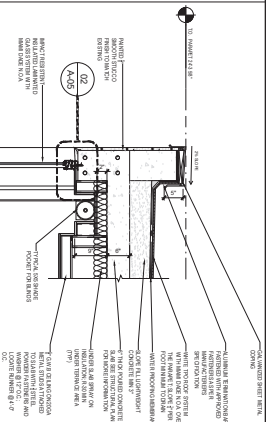
AS PER DOOR SCHEDULE

AS PER DOOR SCHEDULE E

AS PER DOOR SCHEDULE

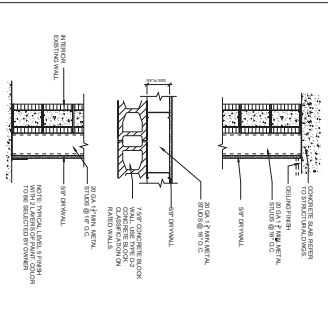
DETAILS: 1. WINDOW TYPE: SLIDING WINDOW GLAZING. 2. WINDOW TYPE: SLIDING WINDOW GLAZING. 3. WINDOW TYPE: SLIDING WINDOW GLAZING.

1-2 WINDOW SCHEDULE  
SCALE: 1/4"=1'-0"

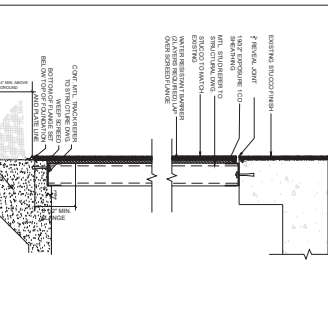


1-3 CAP FINISH TERMINATION  
SCALE: 1/4"=1'-0"

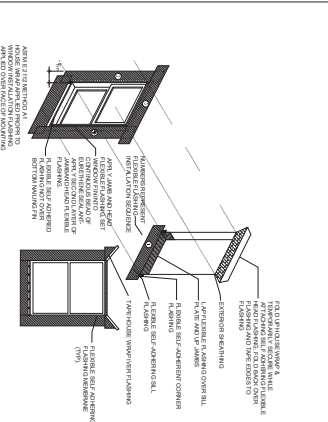
NOT USED



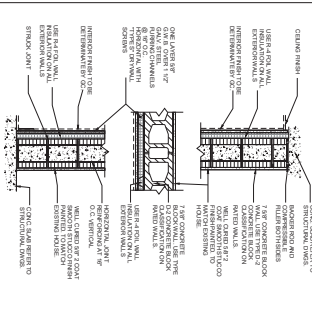
1-1 TYPICAL INTERIOR WALL  
SCALE: 1/4"=1'-0"



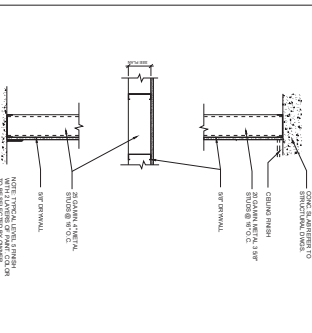
1-2 NEW EXTERIOR WALL DETAIL  
SCALE: 1/4"=1'-0"



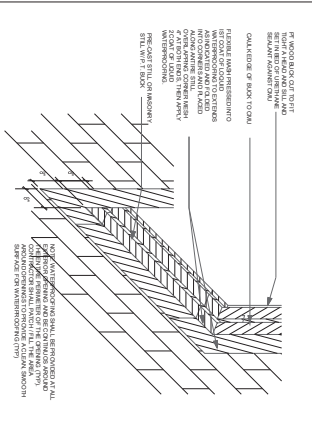
1-3 OPENING FLASHING DETAIL @ FRAMED WALL  
SCALE: 1/4"=1'-0"



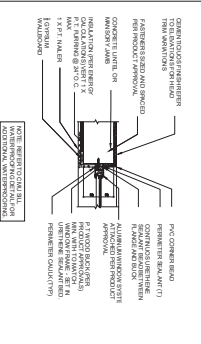
1-4 CMU WALL WITH STUCCO AND GWB  
SCALE: 1/4"=1'-0"



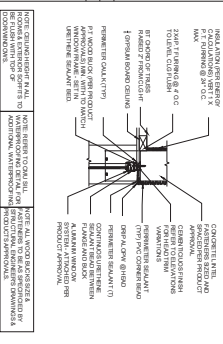
1-5 TYPICAL FRAMING WALL DETAIL  
SCALE: 1/4"=1'-0"



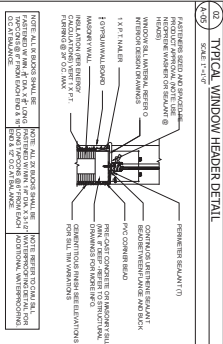
1-6 OPENING FLASHING DETAIL @ MASONRY WALL  
SCALE: 1/4"=1'-0"



1-7 TYPICAL WINDOW JAMB DETAIL  
SCALE: 1/4"=1'-0"

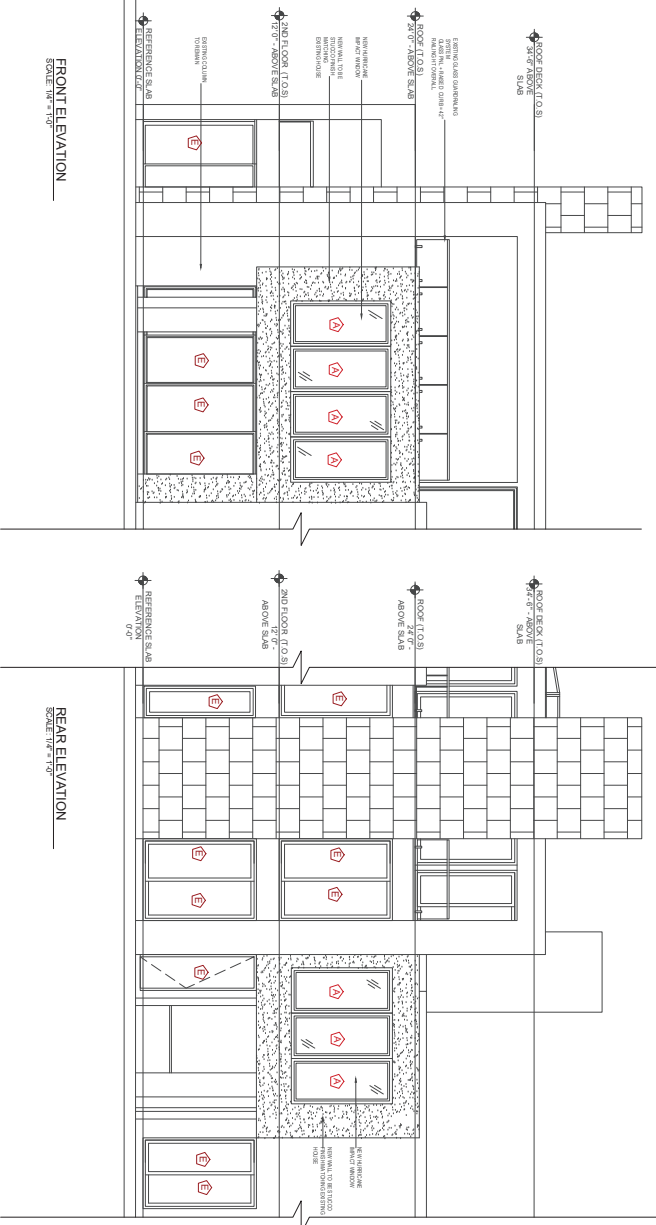


1-8 TYPICAL WINDOW HEADER DETAIL  
SCALE: 1/4"=1'-0"



1-9 TYPICAL WINDOW SILL DETAIL  
SCALE: 1/4"=1'-0"





FRONT ELEVATION  
SCALE 1/4" = 1'-0"

REAR ELEVATION  
SCALE 1/4" = 1'-0"

WIND PRESSURES	
SYMBOLOGY	PRESSURE
	+0.18 (20.3)
	-0.18 (20.3)
	+0.18 (20.3)
	-0.18 (20.3)

PROVIDE SHOP DRAWINGS FOR  
ALL NEW WINDOWS & DOORS. BY OTHERS  
ALL EXTERIOR WORK REQUIRES  
SEPARATE PERMITS

sheet:  
S-0.1

Daniel Corbett  
 PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 16580  
 EXPIRES 12/31/2025

**ENCLOSURE**  
 84 ISLA BAHIA DR.  
 FORT LAUDERDALE, FL 33316

NO.	DESCRIPTION	DATE

555 W Prospect Road  
 Oakland Park, FL 33309  
 Phone: (954) 778-8004  
 Fax: (954) 778-8015  
 info@biagiengineering.com

**BIAGI**  
 ENGINEERING

### STRUCTURAL NOTES

**GENERAL ENGINEERING AND CONSTRUCTION**

CONCRETE SHALL BE CAST AND CURED ACCORDING TO THE PROVISIONS OF THE ACI 308.1R-09 CONCRETE MANUAL AND THE ACI 308.3R-09 CONCRETE MANUAL. THE MIXTURE DESIGN SHALL BE APPROVED BY THE ENGINEER AND SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE MIXTURE DESIGN SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE MIXTURE DESIGN SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

### REINFORCED CONCRETE

CONCRETE SHALL BE CAST AND CURED ACCORDING TO THE PROVISIONS OF THE ACI 308.1R-09 CONCRETE MANUAL AND THE ACI 308.3R-09 CONCRETE MANUAL. THE MIXTURE DESIGN SHALL BE APPROVED BY THE ENGINEER AND SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE MIXTURE DESIGN SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

### STEEL REINFORCEMENT

STEEL REINFORCEMENT SHALL BE SUPPLIED BY AN ACSI APPROVED SUPPLIER. THE STEEL SHALL BE SUPPLIED IN THE FORM OF BARS AND SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE STEEL SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

### ACI STANDARD HOOKS (in.)

BAR SIZE	0	1	2	3	4	5	6	7	8	9	10	11	12
DEVELOPMENT LENGTH	12	14	16	18	20	22	24	26	28	30	32	34	36
MINIMUM EMBEDMENT	4	4	4	4	4	4	4	4	4	4	4	4	4
MINIMUM BEND RADIUS	4	4	4	4	4	4	4	4	4	4	4	4	4



**NOTES**

1. DEVELOPMENT LENGTH SHALL BE AS SHOWN IN THE TABLE ABOVE.

2. DEVELOPMENT LENGTH SHALL BE AS SHOWN IN THE TABLE ABOVE.

3. DEVELOPMENT LENGTH SHALL BE AS SHOWN IN THE TABLE ABOVE.

### ATTENTION MODIFICATION TO FASTING STRUTS

ATTENTION MODIFICATION TO FASTING STRUTS SHALL BE AS SHOWN IN THE ATTACHED DRAWING. THE FASTING STRUTS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE FASTING STRUTS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

### STEEL BAR LINKING

STEEL BAR LINKING SHALL BE AS SHOWN IN THE ATTACHED DRAWING. THE LINKING SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE LINKING SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

### LUMBER

LUMBER SHALL BE SUPPLIED BY AN ACSI APPROVED SUPPLIER. THE LUMBER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE LUMBER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

### STEEL BAR SPECIFICATIONS

STEEL BAR SPECIFICATIONS SHALL BE AS SHOWN IN THE ATTACHED DRAWING. THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

### LEFT HAND DRAWING

LEFT HAND DRAWING SHALL BE AS SHOWN IN THE ATTACHED DRAWING. THE DRAWING SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE DRAWING SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

### SEAL STUDENT NOMINATION

SEAL STUDENT NOMINATION SHALL BE AS SHOWN IN THE ATTACHED DRAWING. THE NOMINATION SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE NOMINATION SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

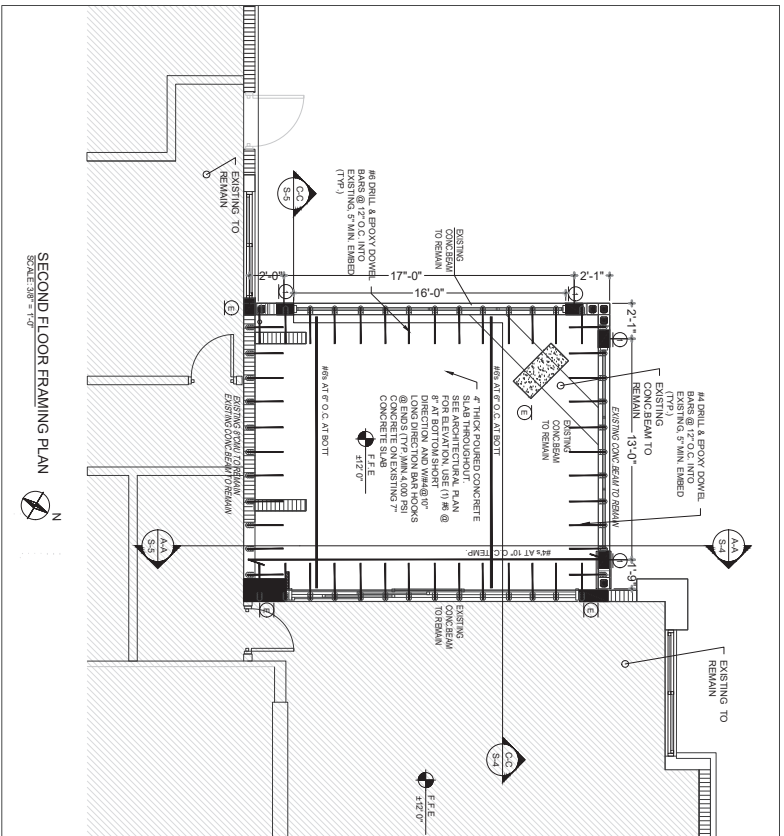
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NOTES

**ENCLOSURE**

84 ISLA BAHIA DR.  
FORT LAUDERDALE, FL 33316



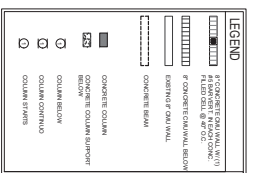


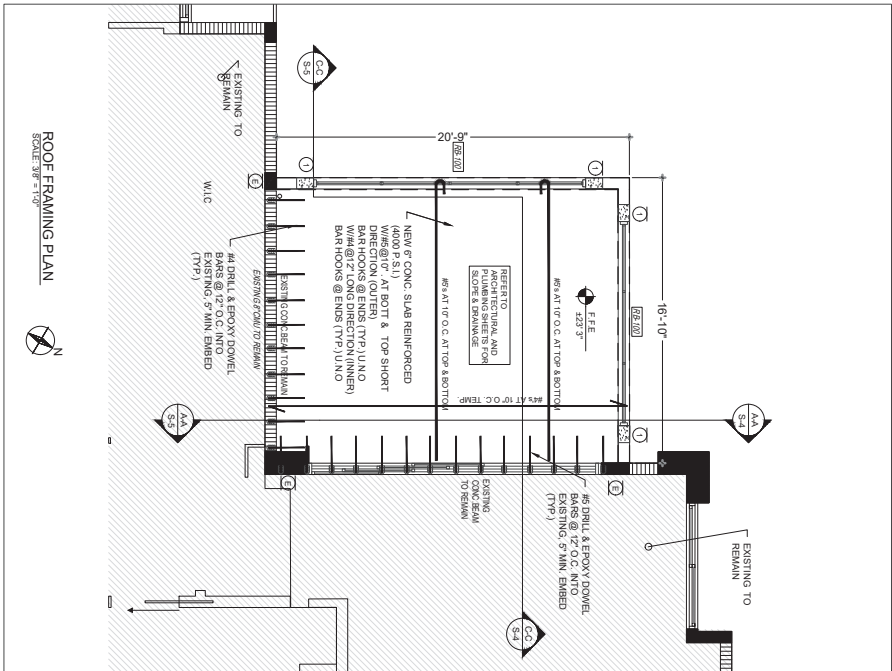
**ROOF & 2ND LEVEL BEAMS SCHEDULE**

SYMBOL DESCRIPTION	SIZE	REINFORCEMENT	TERMINATION	STARTING POINT	NOTE/COMMENT
1B-10	12\"/>				

**CONCRETE COLUMN SCHEDULE**

1A - 18\"/>





ROOF FRAMING PLAN  
SCALE: 3/8\"/>

ROOF & 2ND LEVEL BEAMS SCHEDULE						
SYMBOL	DESCRIPTION	SIZE	REINFORCEMENT	ELEV. AT FIN.	SLABING	NOTICEMARK
1A	1\"/>					
1B	1\"/>					

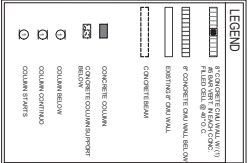
NOTE: ALL BEAMS TO BE 24\"/>

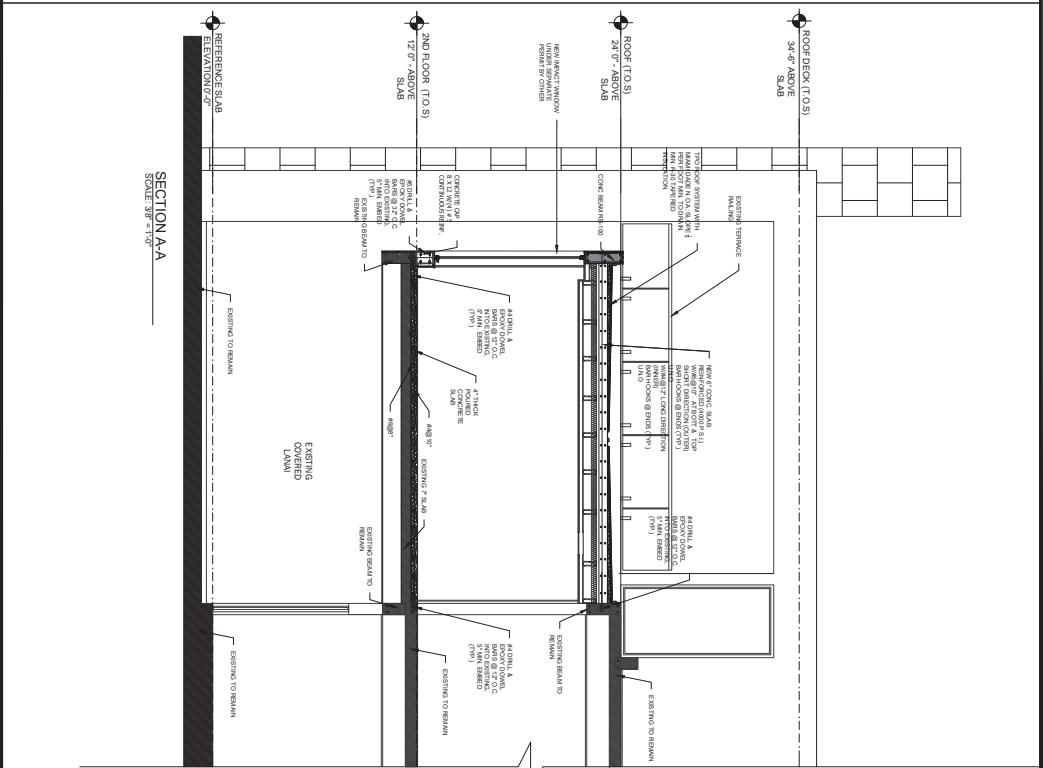
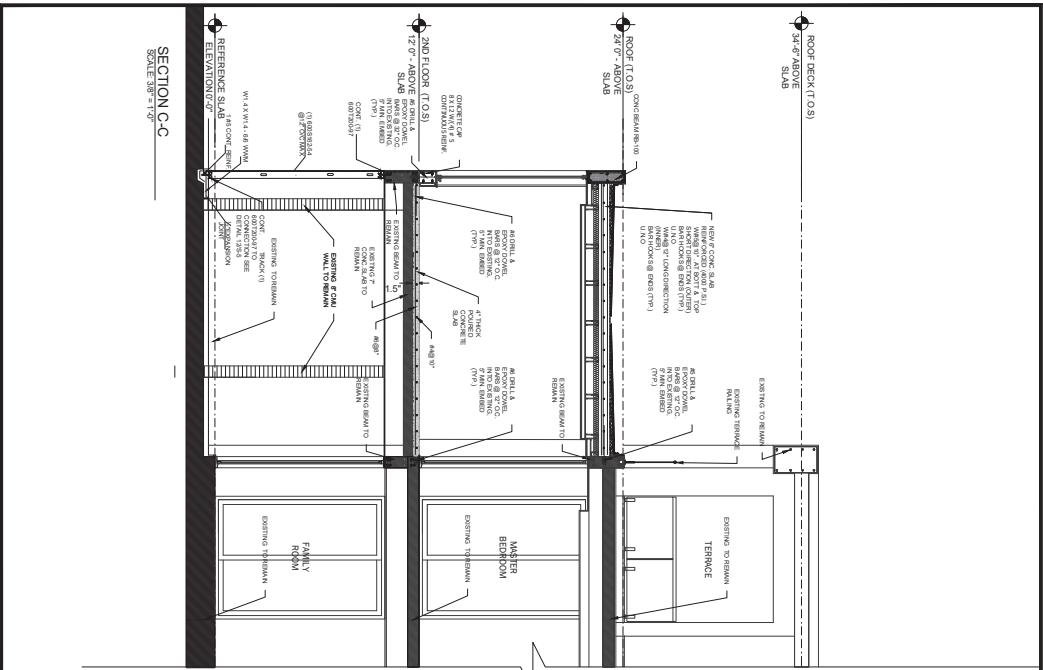
NOTE: BEAMS 1A, 1B BEAMS TO BE REMOVED FOR REMOVAL OF 2ND FLOOR. 1A BEAMS TO BE REMOVED FOR REMOVAL OF 2ND FLOOR. 1B BEAMS TO BE REMOVED FOR REMOVAL OF 2ND FLOOR.

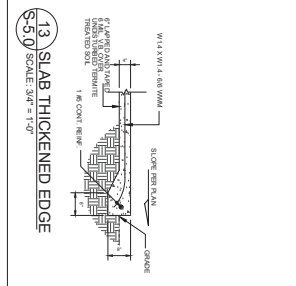
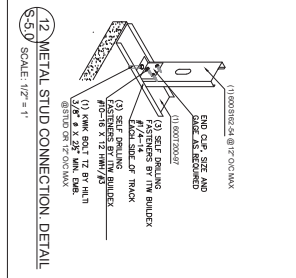
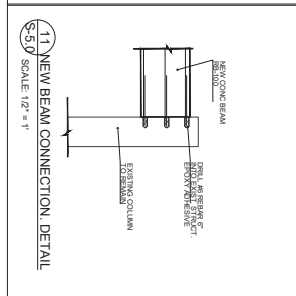
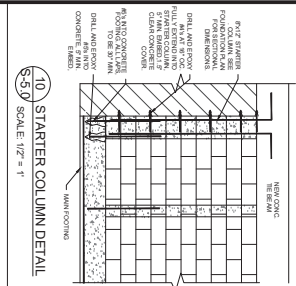
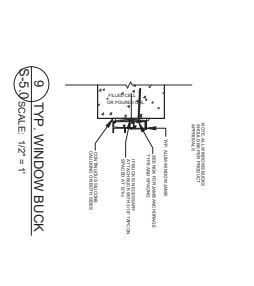
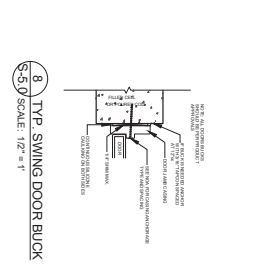
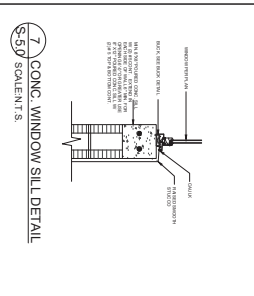
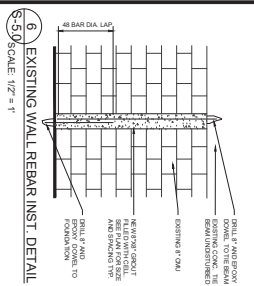
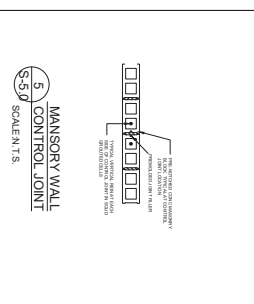
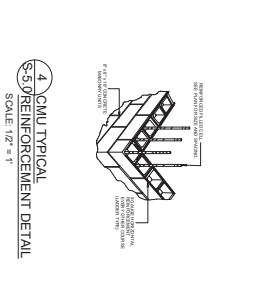
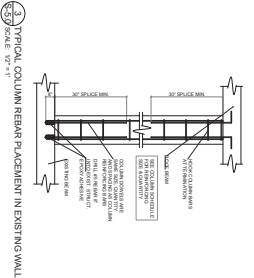
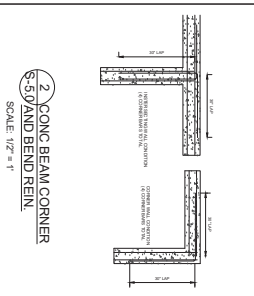
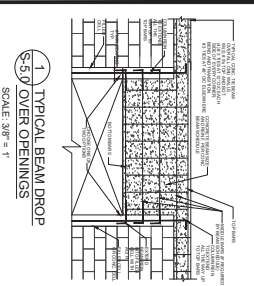
NOTE: ALL BEAMS TO BE 24\"/>

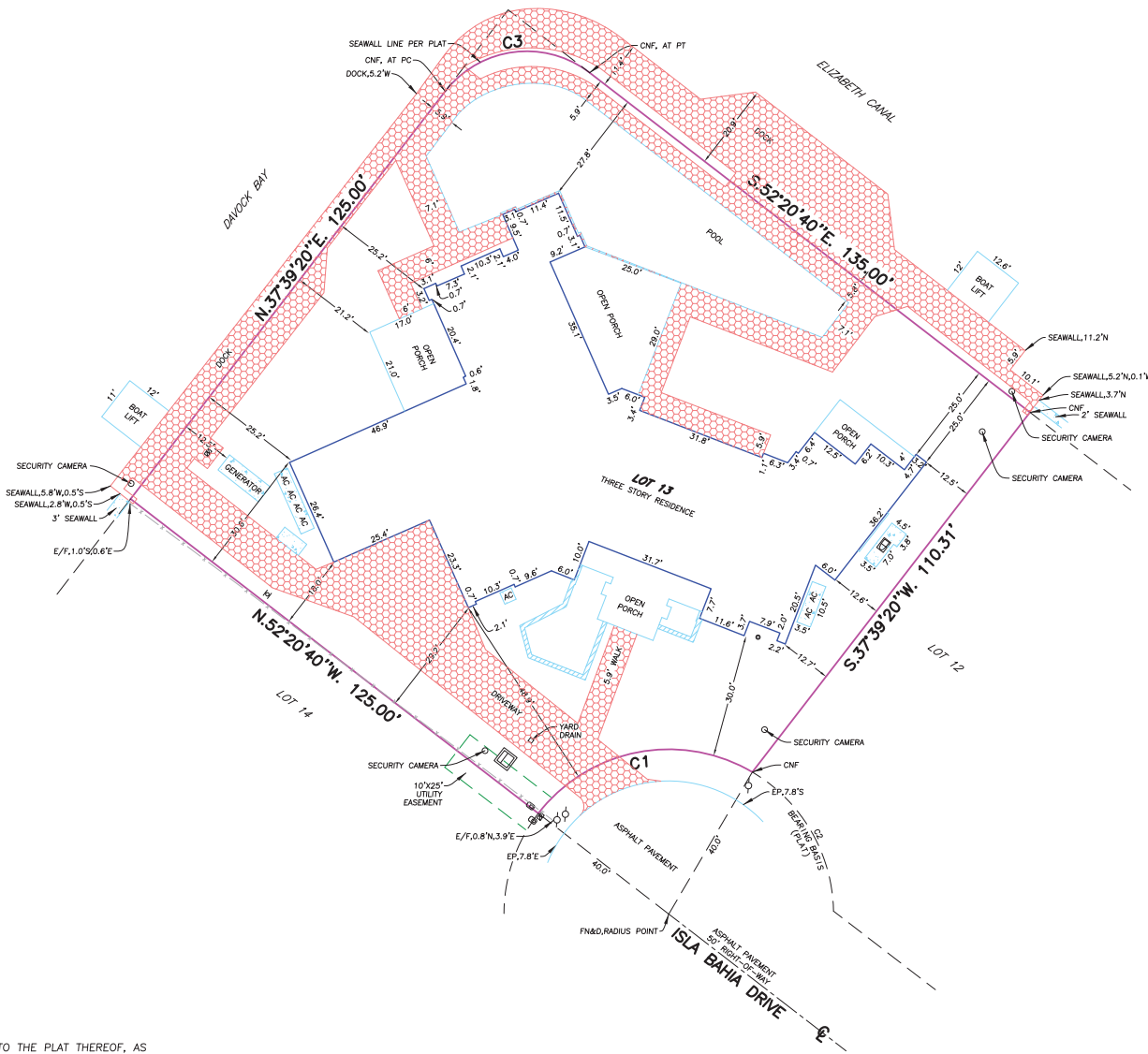
NOTE: BEAMS 1A, 1B BEAMS TO BE REMOVED FOR REMOVAL OF 2ND FLOOR. 1A BEAMS TO BE REMOVED FOR REMOVAL OF 2ND FLOOR. 1B BEAMS TO BE REMOVED FOR REMOVAL OF 2ND FLOOR.

CONCRETE COLUMN SCHEDULE	
1A	24\"/>
1B	24\"/>









PAUL J. STOWELL  
 LICENSE NUMBER  
 5241  
 STATE OF FLORIDA  
 REGISTERED LAND SURVEYOR

Digitally signed  
 by Paul J  
 Stowell  
 Date:  
 2023.11.27  
 16:27:07 -05'00'

**LEGEND**

FR&L BOX	CATCH BASIN
CONTROL VALVE	CLEAN OUT
GULY ANCHOR	MANHOLE
WATER METER	WELL
FIRE HYDRANT	WATER VALVE
CABLE JUNCTION BOX	
ELECTRIC SERVICE	
POOL EQUIPMENT	
POWER/LIGHT POLE	
SPRINKLER SYSTEM	
BRICK/TILE PAVERS	
CENTERLINE	
CONCRETE/CHAT	
CONCRETE WALL	
ELEVATION	
METAL FENCE	
OVERHEAD WIRES	
WOOD DECK/DOCK	
WOOD/PVC FENCE	

**ABBREVIATIONS**

AC	AIR CONDITIONER
AE	ANCHOR EASEMENT
BC	BUILDING CORNER
BM	BENCHMARK
BW	BACK OF WALK
C	CALCULATED
CNF	CORNER NOT FOUND
DE	DRAINAGE EASEMENT
EP	EDGE OF PAVEMENT
EW	EDGE OF WATER
F/C	FENCE/CORNER
FF	FINISH FLOOR
F/L	FENCE/LINE
FIP	FOUND IRON PIPE
FN	FOUND IRON ROD
FN	FOUND NAIL
FN&D	FOUND NAIL & DISC
FN&T	FOUND NAIL & TAG
FR&L	FLORIDA POWER & LIGHT
GAR	GARAGE
GEN	GENERATOR
INSTR	INSTRUMENT
OP	OPEN PORCH
ORB	OFFICIAL RECORD BOOK
M	MEASURED
NCS	NOT TO SCALE
PB	PLAT BOOK
PC	POINT OF CURVATURE
POR	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PG	PAGE
PRC	POINT OF REVERSE CURVE
PRM	PERMANENT REFERENCE MONUMENT
PT	POINT OF TANGENCY
R	RECORD
RAD	RADIAL
RW	RIGHT-OF-WAY
SN&D	SET NAIL & DISC 5495
SP	SCREENED PORCH
SP&C	SET 1/2" PIN & CAP 5495
UE	UTILITY EASEMENT

**SURVEYOR'S NOTES**

1. BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER WEBSITE.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE INDICATED ON SKETCH.
6. FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS OTHERWISE INDICATED ON SKETCH.
7. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
8. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
9. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
10. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
11. EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS
12. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
13. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.

LEGAL DESCRIPTION  
 LOT 13, OF ISLA BAHIA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 47, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:  
 MACNEIL, DAVID F  
 DAVID F MACNEIL TR

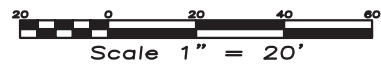
PROPERTY ADDRESS  
 84 ISLA BAHIA DRIVE  
 FORT LAUDERDALE, FL 33316

BOUNDARY SURVEY  
 INVOICE # 44369  
 SURVEY DATE 06/29/23

FLOOD ZONE X0.2%/AH 5  
 MAP DATE 08/18/14  
 MAP NUMBER 125105 0576H

**CURVE TABLE**

NUMBER	DELTA	CHORD BEARING	RADIUS	ARC	LC
C1	62°49'08"	S.79°03'54"W	40.00	57.82	52.91
C2	58°29'55"	S.30°16'34"E	40.00	40.84	39.09
C3	90°00'00"	N.82°39'20"E	25.00	39.27	35.36



**ATLANTIC COAST SURVEYING INC.**

PAUL J. STOWELL  
 PROFESSIONAL LAND SURVEYOR  
 FLORIDA CERTIFICATION NO. 5241  
 13704 NW 4th Street, Suite 306  
 Sunrise, FL 33325  
 P: 954.587.2100 E: info@accsweb.net