



## **BOARD OF ADJUSTMENT MEETING NOTICE**

**Date:** June 28<sup>th</sup>, 2024

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, July 10<sup>th</sup>, 2024 at 6:00 pm.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19<sup>th</sup> Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA)

<b>CASE:</b>	<b>PLN-BOA- 24050004</b>
<b>OWNER:</b>	CORAL RIDGE YACHT CLUB INC
<b>AGENT:</b>	STEPHEN K. TILBROOK, ESQ
<b>ADDRESS:</b>	2800 YACHT CLUB BLVD, FORT LAUDERDALE, FL 33304
<b>LEGAL DESCRIPTION:</b>	PARCEL I: YACHT CLUB SITE OF RESUBDIVISION OF BLOCK 6 PORTIONS OF BLOCK 5 AND 4 OF CORAL RIDGE SOUTH ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED. TOGETHER WITH: A PORTION OF YACHT CLUB BOULEVARD CUL-DE-SAC, ADJACENT TO YACHT CLUB SITE, RESUBDIVISION OF BLOCK 8 AND PORTIONS OF BLOCKS 5 AND 4 OF CORAL RIDGE SOUTH ADDITION. PARCEL "C": A PARCEL OF LAND BEING A PORTION OF "CORAL BAY" AS SHOWN ON THE PLAT OF "CORAL RIDGE SOUTH ADDITION". ACCORDING TO THE PLAT THEREOF RECORDED. PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY)
<b>ZONING DISTRICT:</b>	P - PARKS RECREATION AND OPEN SPACE
<b>COMMISSION DISTRICT:</b>	1
<b>REQUESTING:</b>	<b><u>Sec 47-8.30 Table of dimensional requirements. (Note A)</u></b> <ul style="list-style-type: none"> <li>• Requesting a variance from the minimum 25 feet rear yard setback requirement to be reduced to 5 feet to install a retractable awning extending 20 feet into the required 25-foot rear yard setback, a total variance reduction request of 20 feet.</li> </ul>

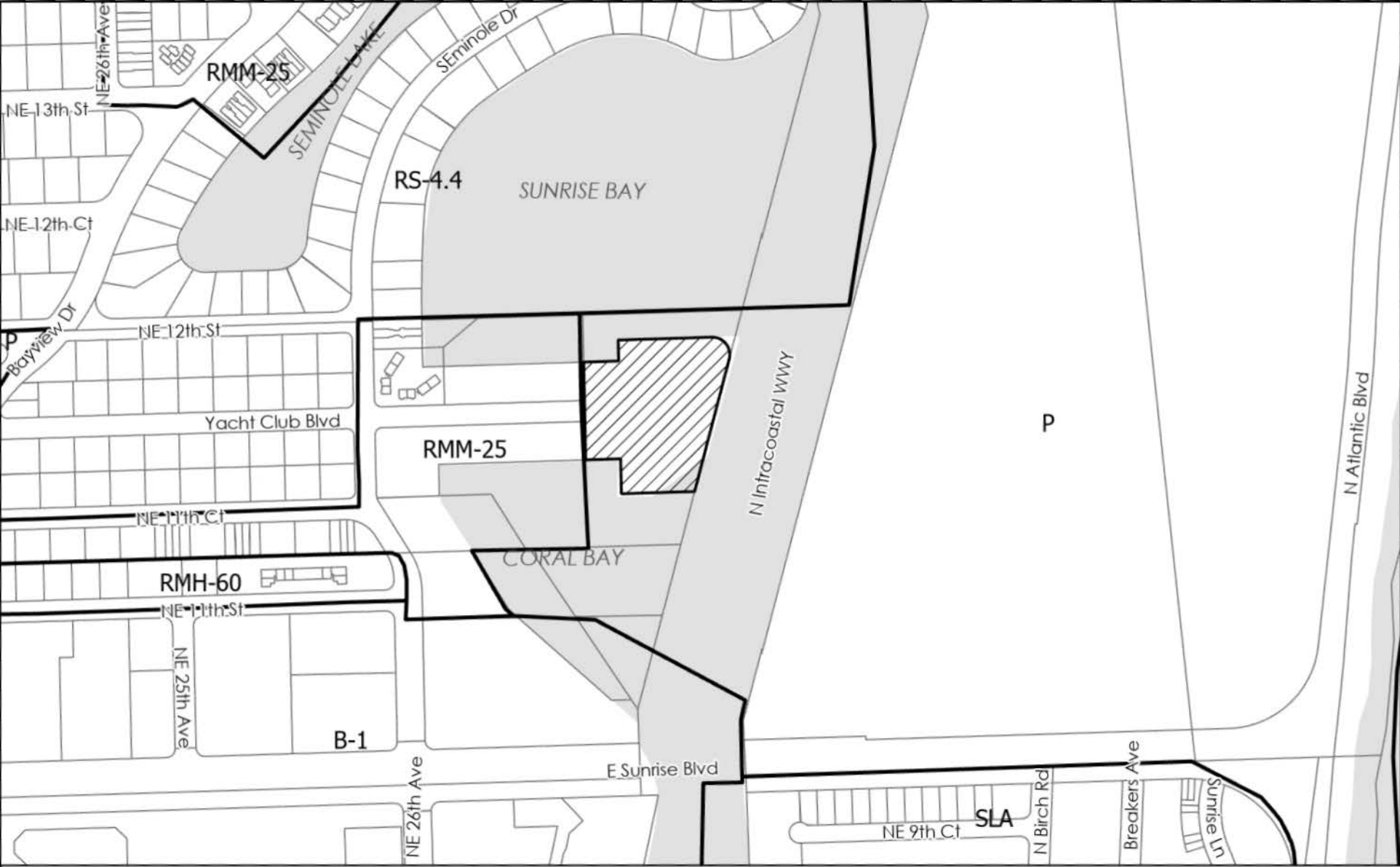
**To watch and listen to the meeting, please visit:**  
<https://www.fortlauderdale.gov/government/BOA> OR  
[www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK  
ZONING ADMINISTRATOR



**Florida Statutes, Sec. 286.0105**

**NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.**




PLN-BOA-24050004


**LEGEND**

-  Municipal Boundary
-  Subject Site

N



0 150 300 US Feet



# PLN-BOA- 24050004

## Sec. 47-8.30. - Table of dimensional requirements. (Note A)

<i>Requirements</i>	<i>District</i>						
	<i>CF</i>	<i>CF-H</i>	<i>CF-S</i>	<i>CF-HS</i>	<i>P</i>	<i>T</i>	<i>U</i>
<i>Maximum height (ft.)</i>	60*	35*	35*	35*	60*	60*	60*
<i>Minimum lot size (sq. ft.)</i>	None	10,000	10,000	10,000	None	None	None
<i>Minimum lot width (ft.)</i>		100	100	100	None	None	None
<i>Maximum FAR</i>	1.0*	1.0*	1.0*	1.0*	None	None	None
<i>Maximum square feet of gross floor area</i>	None	10,000*	10,000*	House of worship: 10,000*  School: 10,000 total*	None	None	None
<i>Minimum front yard (ft.)</i>	25	25	25	25	25*	None	25
<i>Minimum corner yard (ft.)</i>	25	25	25	25	25*	None	25
<i>Minimum side yard (ft.):</i>							
When contiguous to residential property	25	20	20	20	25*	None	30
All others	25	20	20	20	25*	None	25
<i>Minimum rear yard (ft.):</i>							

When contiguous to residential property	25	20	20	20	25*	None	30
All others	25	20	20	20	25*	None	25

Note A: Dimensional regulations may be subject to additional requirements, see Section 47-23, Specific Location Requirements, and Section 47-25, Development Review Criteria.

\*An increase in the maximum dimensional requirements, as provided herein, is subject to the requirements of a site plan level III permit, see Section 47-24.2, except for the height of any building or structure within a T district which is located within an airport boundary at which time the height of such building or structure shall be regulated by the height limits specified by the Federal Aviation Administration (FAA) Regulation No. FAR Part 77.

(Ord. No. C-97-19, § 1(47-8.4), 6-18-97; [Ord. No. C-10-13, § 1, 4-20-10](#))

# Record

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<input type="checkbox"/>	<a href="#">Record_Permit_or_Account#</a>	<a href="#">Record Description</a>	<a href="#">Applicant on Name</a>	<a href="#">Record Type</a>	<a href="#">Balance</a>	<a href="#">Planner Name</a>	<a href="#">Street #</a>	<a href="#">Dir</a>	<a href="#">Street Name</a>	<a href="#">Type</a>	<a href="#">Unit # (start)</a>	<a href="#">Status</a>
<input type="checkbox"/>	<a href="#">BLD-CNC-22030001.R005</a>	FENCE AND CONCRETE WALL REMOVED	BLD-CNC-22030001	Plan Revision	0		2800		YACHT CLUB	BLVD		Awaiting
<input type="checkbox"/>	<a href="#">LND-INST-22060021.R002</a>	LANDSCAPE REVISION	LND-INST-22060021	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">BLD-COC-24050028</a>		fir-smu-22030003	Change of Contractor (PRE-ISSUANCE ONLY)	0		2800		YACHT CLUB	BLVD		Open
<input type="checkbox"/>	<a href="#">PLN-BOA-24050004</a>		CORAL RIDGE YACHT CLUB /VARIANCE	Z- Board of Adjustment (BOA)	318		2800		YACHT CLUB	BLVD		Open
<input type="checkbox"/>	<a href="#">BLD-SHUT-24040886</a>	INSTALLATION OF ROLL-UP SHUTTERS FOR BLD-CNC-2203...	Shutter Permit	Structural Permit	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">BLD-SHUT-WT-24040009</a>	INSTALLATION OF ROLL-UP SHUTTERS	Online Walk-Thru-Shutters	Walk-Thru-Shutters	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">ELE-COM-22030023.R004</a>	LUMINOUS SCHEDULE AND PANEL CHANGES	ELE-COM-22030023	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">TAM-MOT-24040010</a>	AT&T proposals to install 20' of new conduit to pu...	A02RX3D	Maintenance of Traffic Application	0	Mario Huayamave	800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">MEC-COM-22030018.R002</a>	CRYC-POINT BR MECH REVISION- DUCT WORK RELOCATION	MEC-COM-22030018	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">ELE-COM-22030023.R003</a>	CRYCY-POINT BAR - PANEL RELOCATION REV	ELE-COM-22030023	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">BLD-CNC-22030001.D003</a>	DOOR AND FRAMING INFO	Document Type : Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">LND-INST-22060021.R001</a>	LANDSCAPE AND HARDSCAPE REV 7 & 8	LND-INST-22060021	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">TAM-MOT-24020056</a>	JB0001424068 - Install new Underground facilities	JB0001424068	Maintenance of Traffic Application	0	Mario Huayamave	800		YACHT CLUB	BLVD		Disapproved
<input type="checkbox"/>	<a href="#">PLB-GAS-22070015.R001</a>	GAS RISER REVISION	CRYC-POINT BAR - GAS RISER R...	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">BLD-CNC-22030001.R004</a>	STRUCT REV FOR RETAINING WALL WITH CIVIL CHANGES	2800 YACHT CLUB BLVD - CRYC-...	Plan Revision	0		2800		YACHT CLUB	BLVD		Awaiting
<input type="checkbox"/>	<a href="#">BLD-GEN-24010373</a>	Install Retractable Fabric Canopy at rear of R st...	Accessory Structural Permit	Structural Permit	39.75		2800		YACHT CLUB	BLVD		Awaiting
<input type="checkbox"/>	<a href="#">ELE-LV-24010161</a>	Installation of audio-visual system for BLD-CNC-22...	Electrical Low Voltage Permit	Electrical Permit	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	<a href="#">FIR-GEN-24010025</a>	INSTALL A WET FIRE SPRINKLER SYSTEM TO NEW YACHT ...	Sprinkler System Above ground	Fire Permit	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">BLD-ROOF-24010205</a>	NEW ROOF STANDING SEAM METAL - CONCRETE-WOOD FLAT...	R-Roof Permit	Structural Permit	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">MEC-COM-23120023</a>	Installation of Walk In Cooler in kitchen	Coral Ridge Point Bar	Mechanical Commercial Permit	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">PLB-COM-22030011.R002</a>	REVISION 5- GAS PIPING AND RISER UPDATED	CRYC-POINT BAR- REV 5- PLUMB	Plan Revision	0		2800		YACHT CLUB	BLVD		Awaiting
<input type="checkbox"/>	<a href="#">ELE-COM-22030023.R002</a>	ELECTRICAL REV 6 CHANGES TO ELEC IN BAR AND CANOPY	CYRC-POINT BAR ELEC REV 6	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">BLD-CNC-22030001.R003</a>	ARCH AND STRUCT REV 6	2800 YACHT CLUB BLVD - CRYC-...	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">BLD-CNC-22030001.D002</a>	ELEVATION CERT	Document Type : Under Const...	Deferred Submittal (Electronic Document Submittal)	0		2800		YACHT CLUB	BLVD		Awaiting
<input type="checkbox"/>	<a href="#">BLD-CNC-22030001.D001</a>	SPOT SURVEY	Document Type : Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">BE23100171</a>	NEIGHBOR STATES CONSTRUCTION STARTING AT 6:30AM		Building Code Cas		Wilson Quint r...	2800		YACHT CLUB	BLVD		Closed
<input type="checkbox"/>	<a href="#">MEC-COM-22030018.R001</a>	MECHANICAL REVISION FOR ADDING AIR CURTAIN	CRYC POINT BAR-MECH REV 4	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">MEC-COM-23070020</a>	Sub-Mechanical Permit Mechanical Plans	Yacht Club	Mechanical Commercial Permit	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">PLB-GAS-23070014</a>	INSTALLATION OF NATURAL GAS	Coral Ridge Yacht Club	Plumbing Gas Permit	0		2800		YACHT CLUB	BLVD		Open
<input type="checkbox"/>	<a href="#">ELE-COM-22030023.R001</a>	ELECTRICAL REVISION 4	CRYC POINT BAR-ELEC REV 4	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">BLD-CNC-22030001.R002</a>	CIVIL REV TO ADD FIRE SERVICE, FIRE HYDRANT	2800 YACHT CLUB BLVD - CRYC-...	Plan Revision	270		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">BLD-CNC-22030001.R001</a>	REV 4	2800 YACHT CLUB BLVD - CRYC ...	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">PLB-COM-22030011.R001</a>	REVISE GREASE TRAP	CRYC POINT BAR- PLUMB REV	Plan Revision	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	<a href="#">PLB-COM-23060036</a>	Redesign of Point Bar Restaurant	coral ridge yacht club inc	Plumbing Commercial Permit	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">FIR-ALARM-23050007</a>	FIRE ALARM FOR BLD-CNC-22030001	CORAL RIDGE YACHT CLUB - POI...	Fire Alarm System Permit	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	<a href="#">ELE-LV-23040007</a>	low voltage electrical plans	Coral Ridge Yacht Club	Electrical Low Voltage Permit	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">ELE-COM-23040015</a>	Electrical plans	Coral Ridge Yacht Club	Electrical Commercial Permit	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">PLB-COM-23040012</a>	PLUMBING SUB PERMIT TO COMMERCIAL PROPERTY	CORAL RIDGE	Plumbing Commercial Permit	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">BE23030003</a>	CONSTRUCTION BEGINNING BY 7AM ALOT OF LOUD NOISE		Building Code Cas		Hctor Suar z e	2800		YACHT CLUB	BLVD		Closed
<input type="checkbox"/>	<a href="#">ENG-SITE-23010004</a>	EROSION CONTROL/MITIGATION FOR POINT BAR	CRYC POINT BAR-MITIGATION	ROW Site Plan and Erosion Control Permit	0		2800		YACHT CLUB	BLVD		Issued

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<input type="checkbox"/>	<u>Record_Permit_or_Account#</u>	<u>Record Description</u>	<u>Application Name</u>	<u>Record Type</u>	<u>Balance</u>	<u>Planner Name</u>	<u>Sheet #</u>	<u>Dr</u>	<u>Sheet Name</u>	<u>Type</u>	<u>Unit # (start)</u>	<u>Status</u>
<input type="checkbox"/>	CE22090474	NO OVERNIGHT ANKERING SIGNS PUT UP ALONG THE LAKE e		Cod Cas		MICHELLES	2800		YACHT CLUB	BLVD		Closed
<input type="checkbox"/>	LND-TREE-22070022	TREE REMOVAL FOR BLD-CDEM-22070007 Total r plac ...	Tr R moval DEMO OF RESTAUR...	Landscap Tr R moval-R location P rmit	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	PLB-SEW-22070006	SEWER CAP AND WATER METER CAP	CYRC-POINT BAR-PL CAP OFF	Plumbing S w r Cap P rmit	0		2800		YACHT CLUB e	BLVD		Completed
<input type="checkbox"/>	BLD-BARR-22070002	TEMP FENCE FOR DEMO OF EXISTING RESTAURANT	CYRC-POINT BAR-TEMP FENCE	T mporary Construction Barri r P rmit	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	BLD-CDEM-22070007	TOTAL DEMO	CYR-POINT BAR- DEMO	Commercial D molition P rmit	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	ELE-COM-22070045	ELECTRICAL FOR BLD-CDEM-22070007	CRYC-POINT BAR- ELECTRICAL C...	El ctrical Comm rcial P rmit	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	PLB-GAS-22070028	PLUMBING GAS CAP OFF FOR BLD-CDEM-22070007	CRYC-POINT BAR-PL GAS CAP OFF	Plumbing Gas P rmit	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	PLB-MET-22070010e	2" METER WATER SERVICE e	CRYC-POINT BAR-2" METER e	Plumbing M t r Install P rmit	0		2800		YACHT CLUB	BLVD		Awaiting C
<input type="checkbox"/>	BLD-CPAV-22070006e	ONSITE PAVING e	CRYC-POINT BAR-ONSITE PAVING e	Comm rcial Paving P rmit e	0		2800		YACHT CLUB	BLVD		Awaiting C
<input type="checkbox"/>	TAM-MOT-22070036 e		Coral Ridg Yacht Club e	Maint nanc of Traffic Application e	0 e		2800 e		YACHT CLUB e	BLVD e		Completed
<input type="checkbox"/>	PLB-GAS-22070015	GAS FOR BLD-CNC-22030001 e	CYRCO POINT BAR-GAS FOR REST...	Plumbing Gas P rmit e	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	LND-INST-22060021	LANDSCAPE FOR BLD-CNC-22030001 e	CYRC POINT BAR-LANDSCAPE FOR...	Landscap Installation P rmit e	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	ENG-SEW-22060003 e	CONNECTING TO SANITARY MAN HOLE	CRYC-POINT BAR-SANITARY MAN ... e	ROW S w r P rmit e	460 e		2800		YACHT CLUB	BLVD		Awaiting C
<input type="checkbox"/>	BE22050053	CORAL RIDGE YACHT CLUB - UNPERMITTED WORK IN THE... e		Building Cod Cas		Mary Rich	2800		YACHT CLUB	BLVD		Closed
<input type="checkbox"/>	BE22040165	BACKFLOW CCN 6W37-M7VK CORAL RIDGE YACHT CLUB M... e	BACKFLOW CORAL RIDGE YACHT C...	Building Cod Cas		H ctor Suar z e	2800		YACHT CLUB	BLVD		Closed e
<input type="checkbox"/>	ELE-COM-22030023 e	ELECTRICAL FOR BLD-CNC-22030001	CRYC-POINT BAR-ELECTRICAL	El ctrical Comm rcial P rmit e	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	ELE-LV-22030013	LOW VOLTAGE FOR BLD-CNC-22030001	CRCY-POINT BAR-LV PHONE DATE e	El ctrical Low Voltag P rmit e	0 e		2800 e		YACHT CLUB e	BLVD		Awaiting C
<input type="checkbox"/>	MEC-COM-22030018	MECHANICAL FOR BLD-CNC-22030001	CRYCO-POINT BAR-MECHANICAL	M chanical Commercial P rmit	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	MEC-COM-22030019 e	KITCHEN HOODS (3) FOR BLD-CNC-22030001 e	CRYC-POINT BAR-KITCHEN HOOD	M chanical Commercial P rmit	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	MEC-COM-22030020 e	WALK IN COOLER FOR BLD-CNC-22030001 e	CRYCO-POINT BAR-WALK IN COOLER e	M chanical Commercial P rmit e	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	PLB-COM-22030011	PLUMBING FOR BLD-CNC-22030001	CRYC-POINT BAR- PLUMBING	Plumbing Comm rcial P rmit	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	PLB-IRR-22030008	ONSITE IRRIGATION FOR BLD-CNC-22030001 e	CRYC-POINT BAR-ONSITE IRRIGA... e	Plumbing Irrigation P rmit e	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	FIR-ALARM-22030012 e	FIRE ALARM FOR BLD-CNC-22030001	CRYC-POINT BAR-FIRE ALARM	Fir Alarm Syst m P rmit	0		2800		YACHT CLUB	BLVD		Awaiting C
<input type="checkbox"/>	FIR-SSA-22030011	FIRE SPRINKLER FOR BLD-CNC-22030001	CRYC-POINT BAR-FIRE SPRINKLER	Sprinkl r Syst m Abov ground e	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	FIR-SMU-22030003	FIRE MAIN FOR BLD-CNC-22030001	und fin d	Sprinkl r Main Und rground	0		2800 e		YACHT CLUB e	BLVD		Awaiting F
<input type="checkbox"/>	FIR-SUPP-22030002 e	FIRE SUPPRESSION FOR BLD-CNC-22030001 e	CRYC-POINT BAR-FIRE SUPPRESSION	Fir Suppr ssion P rmit	0 e		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	BLD-CNC-22030001 e	REDEVELOPMENT OF POINT BAR RESTAURANT e	2800 YACHT CLUB BLVD - CRYC-... e	Comm rcial N w Construction P rmit e	270 e		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	LND-TREE-22020025 e	TREE REMOVAL e	Tr R moval e	Landscap Tr R moval-R location P rmit e	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	FIR-ALARM-21070032	FIRE ALARM SYSTEM UPGRADE e	FIRE ALARM SYSTEM UPGRADE e	Fir Alarm Syst m P rmit	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	FIR-ALARM-21070014 e	Fir Alarm Syst m Upgrad	oral Ridg Yacht Club	Fir Alarm Syst m P rmit e	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	BE21060004e	M t r/S rial 339341 UNKNOWNe	BACKFLOW Coral Ridg Yacht C... e	Building Cod Cas e		H ctor Suar z e	2800		YACHT CLUB	BLVD		Closed
<input type="checkbox"/>	UDP-A21024	Am nd Sit Plan L v III - D mo xisting "Point ...	CRYC Point Bar e	AR- Administrativ R vi w e	0	Yvonn R dding e	2800 e		YACHT CLUB e	BLVD		Approved e
<input type="checkbox"/>	ELE-COM-21050030	R conn ct xisting l ctrical to n w walk-in fr z r e	walk in fr z r	El ctrical Commercial P rmit	0 e		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	MEC-HVCHG-21030016_R001	Walk-In Fr z r	MEC-HVCHG-21030016 e	Plan R vision e	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	ELE-COM-21040074	ELECTRIC FOR BLD-ACC-21040010 e	cryc	El ctrical Commercial P rmit	0		2800		YACHT CLUB	BLVD		Completed
<input type="checkbox"/>	ELE-COM-21040071 e	hook up pow r to construction job sit trail r e	cryc e	El ctrical Comm rcial P rmit e	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	BLD-ACC-21040010e	TEMPORARY CONSTRUCTION TRAILER e		Acc ssory Structur P rmit e	0		2800		YACHT CLUB	BLVD		Issued
<input type="checkbox"/>	CE21040251 e	CALLER STATES THERE IS CONSTRUCTION, PLUMBING, EL... e		Cod Cas e		L onard Champagn e	800		YACHT CLUB	BLVD		Closed
<input type="checkbox"/>	MEC-HVCHG-21030016 e	REPLACE WALK-IN FREEZER e	Coral Ridg Yacht Club e	M chanical HVAC Chang out P rmit e	0 e		2800 e		YACHT CLUB e	BLVD e		Issued e
<input type="checkbox"/>	PLB-BF-21020003 e	REPLACE BACKFLOW 2" Wilkins 975XL RP e	Backflow r plac m nt e	Plumbing Backflow Installation P rmit e	0 e		2800 e		YACHT CLUB e	BLVD e		Completed e

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<input type="checkbox"/>	<a href="#">Record, Permit, or Account #</a>	<a href="#">Record Description</a>	<a href="#">Application Name</a>	<a href="#">Record Type</a>	<a href="#">Balance</a>	<a href="#">Planner Name</a>	<a href="#">Treet #</a>	<a href="#">Dir</a>	<a href="#">Treet Name</a>	<a href="#">Type</a>	<a href="#">Unit # (start)</a>	<a href="#">Stat</a>
<input type="checkbox"/>	<a href="#">PLB-WAT-21020050</a>	Backflow r plac m nt 2" Wilkins 975XL RP	Backflow r plac m nt e	Plumbing Wat r H at r Exact Chang out	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">ELE-LV-21020015</a>	LOW VOLTAGE (BLD-CALT-21020008)		El ctrical Low Voltag P rmit	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">FIR-ALARM-21020008</a> e	FIRE ALARM (BLD-CALT-21020008) e		Fir Alarm Syst m P rmit e	-105 e		2800 e		YACHT CLUB e	BLVD e		Void
<input type="checkbox"/>	<a href="#">MEC-COM-24020010</a> e	MECHANICAL (BLD-CALT-21020008) e		M chanical Commercial P rmit e	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">PLB-COM-21020009</a> e	PLUMBING (BLD-CALT-21020008) e		Plumbing @ommercial P rmit e	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">ELE-COM-21020022</a>	ELECTRICAL (BLD-CALT-21020008)		El ctrical Comm rcial P rmit	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">BLD-CALT-21020008</a> e	CORAL RIDGE YACHT CLUB : INTERIOR REMODEL ... e	INT. REMODEL;CORAL RIDGE YAC... e	Comm rcial Alt ration P rmit	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">BLD-BDSP-20120017</a> e	INSTALL 2 NEW WOOD PILES ER 000431224 DR 0075554 e		Boatlift-Dock-S awall-Pil P rmit e	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">CE20090803</a> e	Q-ALERT:614888-Coral Ridg Yacht Club//This stab... e		Cod Cas e		Vaughn Malakius e	2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">ALM-REG-20090020</a> e			R sid nt/Busin ss Alarm R gistration e	0 e		2800 e		YACHT CLUB e	BLVD e		Clos
<input type="checkbox"/>	<a href="#">CE20080011</a>	Q-ALERT:571541//party s t for 08/09/2020 and 08/1... e		Cod Cas e		MICHAELJ e	2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">BT-RLN-REN-20070420</a>		R staurant-Loung -Nightclub...	R staurant - Loung - Nightclub Busin ss Tax R n wal	0		2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">BT-RLN-REN-20070414</a> e		R staurant-Loung -Nightclub ... e	R staurant - Loung - Nightclub Busin ss Tax R n wal	0 e		2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">PLN-ZONV-19100006</a>		494236060010	Z- Zoning V rification L tt r	0							In Pr
<input type="checkbox"/>	<a href="#">PM-19091485</a>	EMERGENCY REPAIR SERVICE FEEDERS ~ ~NOC ~ ~09/23/... e	EMERGENCY REPAIR SERVICE FEE... e	El ctrical Commercial P rmit	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">PM-18102633</a> e	ELECTRICAL FOR WALK-IN COOLER BP 18072630 ~ ~ ~10...	ELECTRICAL FOR WALK-IN COOLE...	El ctrical Comm rcial P rmit e	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">VIO-CE18101911_1</a>	R quir d Fir Backflow d vic has not b n e	CORAL RIDGE YACHT CLUB INC	Violation-BLD H aringe	0 e		2800 e		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">CE18101911</a>	R quir d Fir Backflow d vic has not b n, insta...	CORAL RIDGE YACHT CLUB INC	Building Cod Cas			2800		YACHT CLUB	BLVD		Clos e
<input type="checkbox"/>	<a href="#">PM-18072630</a> e	CHANGE OUT WALK IN COOLER ~ ~8/13/18 RECHECK FLOO... e	CHANGE OUT WALK IN COOLER e	M chanical Comm rcial P rmit e	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">VIO-CE18061206_1</a> e	THE FOLLOWING PERMIT(S) WERE LEFT TO EXPIRE: e	CORAL RIDGE YACHT CLUB INC	Violation-BLD H aring	0		2800		YACHT CLUB	BLVD		Clos e
<input type="checkbox"/>	<a href="#">CE18061206</a>	FLOOR, THE FOLLOWING PERMIT(S) WERE LEFT TO EXPIR... e	CORAL RIDGE YACHT CLUB INC e	Building Cod Cas			2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">PM-18051284</a>	PLUMBING BP 18051280	PLUMBING BP 18051280 e	Plumbing Fixtur R plac m nt P rmit e	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">PM-18051283</a> e	ELECTRICAL FOR BP 18051280	ELECTRICAL FOR BP 18051280	El ctrical Comm rcial P rmit e	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">PM-18051280</a> e	INTERIOR AND EXTERIOR RENOVATIONS INCLUDING BAR ~... e	INTERIOR AND EXTERIOR RENOVA... e	Comm rcial Alt ration P rmit e	0		2800		YACHT CLUB	BLVD		Void e
<input type="checkbox"/>	<a href="#">VIO-CE17121525_1</a> e	REQUIRED FIRE BACKFLOW HAS NOT BEEN INSTALLED e	CORAL RIDGE YACHT CLUB INC	Violation-BLD H aring	0 e		2800 e		YACHT CLUB e	BLVD		Clos e
<input type="checkbox"/>	<a href="#">CE17121525</a> e	REQUIRED FIRE BACKFLOW HAS NOT BEEN INSTALLED, , ... e	CORAL RIDGE YACHT CLUB INC e	Building Cod Cas			2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">PM-17082580</a>	INSTALL PATIO RAILINGS ON 2ND FLOOR ~B400 7/24/18	INSTALL PATIO RAILINGS ON 2N... e	Comm rcial Alt ration P rmit e	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">PM-17051310</a>	WATERPROOFING ROOF 4300 SF ~ ~NOC	WATERPROOFING ROOF 4300 SF	R -Roof P rmit	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">VIO-CE17050617_1</a>	TENNIS COURT WAS TURNED INTO A PARKING LOT, NO	CORAL RIDGE YACHT CLUB INC	Violation-BLD H aring	0		2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">VIO-CE17050617_2</a> e	TENNIS COURT WAS TURNED INTO A PARKING LOT, NO e	CORAL RIDGE YACHT CLUB INC	Violation-BLD H aring e	0		2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">CE17050617</a>	TENNIS COURT WAS TURNED INTO A PARKING LOT, NO, P... e	CORAL RIDGE YACHT CLUB INC	Building Cod Cas			2800		YACHT CLUB	BLVD		Clos e
<input type="checkbox"/>	<a href="#">PM-16091807</a>	ELEC FOR ENTRY GATES SYSTEM BP #16091805	ELEC FOR ENTRY GATES SYSTEM ...	El ctrical Comm rcial P rmit e	0 e		2800 e		YACHT CLUB e	BLVD		Com
<input type="checkbox"/>	<a href="#">PM-16091805</a> e	INSTALL 10 X 5 ALUM FENCE W/KEYPAD AND 2 GATES ~R...	INSTALL 10 X 5 ALUM FENCE W/...	F nc P rmit	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">PM-15102580</a>	10 YEAR RECERT e	10 YEAR RECERT e	Building R c rtification e	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">VIO-CE15091008_1</a> e	REQUIRED 10 YR RECERT SAFETY INSPECTION	CORAL RIDGE YACHT CLUB INC	Violation-BLD H aring	0		2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">CE15091008</a> e	REQUIRED 10 YR RECERT SAFETY INSPECTIONe	CORAL RIDGE YACHT CLUB INC e	Building Cod Cas			2800		YACHT CLUB	BLVD		Clos
<input type="checkbox"/>	<a href="#">PL-V15007</a>	P2 - CUL DE SAC RIGHT OF WAY VACATION	GATE- CORAL RIDGE YACHT CLUB...	DRC- Vacation of Right-of-Way	100 e	RANDALL ROBINSON	2800		YACHT CLUB	BLVD		Clos e
<input type="checkbox"/>	<a href="#">PL-PRW15010</a> e	PRESUB - ROW DISCUSSION	GATE- CORAL RIDGE YACHT CLUB... e	DRC- Pr -D v lopm nt	1720 e		2800		YACHT CLUB	BLVD		Clos e
<input type="checkbox"/>	<a href="#">PM-15062214</a>	SUPPLY AND INSTALL NEW DOCK ELECTRICAL SERVICE AN... e	SUPPLY AND INSTALL NEW DOCK ...	El ctrical R sid ntial P rmit	0		2800		YACHT CLUB	BLVD		Com
<input type="checkbox"/>	<a href="#">PM-15041387</a>	BACKFLOW INSTALL X2	BACKFLOW INSTALL X2	Plumbing Backflow Installation P rmit e	0		2800 e		YACHT CLUB e	BLVD e		Com

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<input type="checkbox"/>	<a href="#">Record_Permit_or_Account #</a>	<a href="#">Record Descr pt on</a>	<a href="#">Appl cat on Name</a>	<a href="#">Record Type</a>	<a href="#">Balance</a>	<a href="#">Planner Name</a>	<a href="#">treet #</a>	<a href="#">D r</a>	<a href="#">treet Name e</a>	<a href="#">Type</a>	<a href="#">Un t # (start)</a>	<a href="#">tat s</a>
<input type="checkbox"/>	<a href="#">PM-15010890</a>	RECERTIFY BACKFLOW	RECERTIFY BACKFLOW	Plumbing Backflow Installation P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-15010361</a>	RECETIFTY BACKFLOW	RECETIFTY BACKFLOW	Plumbing Backflow Installation P rmit e	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">VIO-CE15010055_2</a> e	THE FOLLOWING PERMITS WERE LEFT TO EXPIRE: e	CORAL RIDGE YACHT CLUB INC e	Violation-BLD H aring	0 e		2800 e		YACHT CLUB e	BLVD e		Compli d
<input type="checkbox"/>	<a href="#">VIO-CE15010055_1</a> e	THE FOLLOWING PERMITS WERE LEFT TO EXPIRE: e	CORAL RIDGE YACHT CLUB INC	Violation-BLD H aring e	0		2800		YACHT CLUB	BLVD		Compli d
<input type="checkbox"/>	<a href="#">CE15010055e</a>	THE FOLLOWING PERMITS WERE LEFT TO EXPIRE: , MEC... e	CORAL RIDGE YACHT CLUB INC e	Building Cod Cas e			2800		YACHT CLUB	BLVD		Clos d e
<input type="checkbox"/>	<a href="#">PM-14120753</a>	ELECTRICAL FOR RENOVATION BP14120704	ELECTRICAL FOR RENOVATION BP... e	El ctrical Comm rcial P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-14120704</a>	INTERIOR RENOVATION ~(INSULATION,DRYWALL,PAINT,FL... e	INTERIOR RENOVATION	Comm rcial Alt ration P rmit e	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">VIO-CE14101375_1</a> e	OCCUPANT-USE HOSES HAVE NOT BEEN INSPECTED BY A	CORAL RIDGE YACHT CLUB INC	Violation-FIR H aring	0		2800		YACHT CLUB	BLVD		Clos d
<input type="checkbox"/>	<a href="#">CE14101375</a> e	OCCUPANT-USE HOSES HAVE NOT BEEN INSPECTED BY A, ... e	CORAL RIDGE YACHT CLUB INC e	Fir Cod Cas e			2800		YACHT CLUB	BLVD		Clos d
<input type="checkbox"/>	<a href="#">PM-14072128</a>	TILE AND FLAT REROOF 4256.42 LOW AND 31873.13 ~STEEP	TILE AND FLAT REROOF 4256.42... e	R -Roof P rmit	0 e		2800 e		YACHT CLUB e	BLVD e		Compl t
<input type="checkbox"/>	<a href="#">PM-12121348</a> e	WOOD FENCE 6 FT X 100 FT	WOOD FENCE 6 FT X 100 FT	F nc P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-12031285</a>	REPLACE 4 AIR HANDLERS ~RENEW AND CHANGE OF CONT ... e	REPLACE 4 AIR HANDLERS	M chanical HVAC Chang out P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-11060365</a>	REPLACE TWO 10 TON CHILLED WATER AIR HANDLERS e	REPLACE TWO 10 TON CHILLED W... e	M chanical HVAC Chang out P rmit e	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-11050721</a>	REPLACE 8 WINDOWS IMPACT	REPLACE 8 WINDOWS IMPACT	Window and Door P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-09011387</a>	DOCK EXTENSION 20 LF x 5' EXPEDITED PERMIT ~	DOCK EXTENSION 20 LF x 5' ...	Boatlift-Dock-S awall-Pil P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-08101510</a> e	COMMERCIAL PAVER DRIVEWAY ON SITE e	COMMERCIAL PAVER DRIVEWAY ON...	Comm rcial Paving P rmit e	0		2800		YACHT CLUB	BLVD		Compl te
<input type="checkbox"/>	<a href="#">PM-07071166</a>	40 YEAR RECERTIFICATION	40 YEAR RECERTIFICATION	Building R c rtification	0 e		2800 e		YACHT CLUB e	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-06112657</a> e	REPIPE EXISTING AREA DRAIN TO NEW DRAINFIELD	REPIPE EXISTING AREA DRAIN T...	Plumbing Commercial P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-06111884</a>	INSTALL 2 LIGHT OUTLETS	INSTALL 2 LIGHT OUTLETS	El ctrical Commercial P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-06110689</a>	El ctric as p r prnt	El ctric as p r prnt	El ctrical Commercial P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-06102524</a>	INSTALL 1" cooking tow r wtr mtr	INSTALL 1" cooking tow r wtr...	Plumbing Commercial P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-06101164</a>	FABRICATE & INSTALL ONE FRAME & COVER TO ... e	FABRICATE & INSTALL ONE FRAM...	Awning-Canopy P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-06100814</a>	INSTALL DRAIN FOR DUMPSTER BP 05101373	INSTALL DRAIN FOR DUMPSTER B...	Plumbing Commercial P rmit e	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-06091087</a>	updat fir alarm	updat fir alarm	Fir Alarm Syst m P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-06052039</a> e	r -roof til 1400 sq ft ~n w p rmit issu d # 14...	r -roof til 1400 sq ft	R -Roof P rmit	0 e		2800 e		YACHT CLUB e	BLVD		Void
<input type="checkbox"/>	<a href="#">PM-06041918</a>	int rior alt ration 1950 sf ~b-r ch ck 9/21/6 f	int rior alt ration 1950 sf	Comm rcial Alt ration P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-05101373</a>	DUMPSTER ENCLOSURE REPLACEMENT ~FOUNDATION REV., ...	DUMPSTER ENCLOSURE REPLACEMENT	Acc ssory Structur P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-05051268</a> e	PLUMBING FOR NEW DOCKS BP 04101567	PLUMBING FOR NEW DOCKS BP 04...	Plumbing Comm rcial P rmit e	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-04122253</a> e	ELECTRIC DOCK #04101567 e	ELECTRIC DOCK #04101567 e	El ctrical R sid ntial P rmit e	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-04101567</a> e	INSTALL DOCK 5'X120' & 5'X60' & 8 PILINGS e	INSTALL DOCK 5'X120' & 5'X60... e	Boatlift-Dock-S awall-Pil P rmit e	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-04100958</a> e	DEMO SHED 10' X 20' ~ ~ ~ CLOSED PER FINA... e	DEMO SHED 10' X 20' e	Comm rcial D molition P rmit e	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-04012131</a>	INSTALL SMOKE DETECTORS,TOTAL 74	INSTALL SMOKE DETECTORS,TOTA...	El ctrical Comm rcial P rmit e	0 e		2800 e		YACHT CLUB e	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-04011715</a> e	ELECTRIC EMERGENCY LIGHTS & EXIT SIGNS e	ELECTRIC EMERGENCY LIGHTS & ...	Fir Em erg ncy Lights P rmit e	0		2800		YACHT CLUB	BLVD		Compl te
<input type="checkbox"/>	<a href="#">PM-03110912</a>	REPAIR TRUSSES 10 CORAL RIDGE YACHT CLUB e	REPAIR TRUSSES 10 CORAL RIDG...	Comm rcial Alt ration P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-03090320</a> e	REPIPE AND REPAIR SANITARY PIPING	REPIPE AND REPAIR SANITARY P...	Plumbing Commercial P rmit	0		2800		YACHT CLUB	BLVD		Compl te
<input type="checkbox"/>	<a href="#">PM-03080074</a> e	REMOVE & REPL WTR & PUMPOUT LINES FOR DOC...	REMOVE & REPL WTR & PUMPOUT ...	Plumbing Commercial P rmit e	0		2800		YACHT CLUB	BLVD		Compl te
<input type="checkbox"/>	<a href="#">PM-03071688</a>	INSTALL DOCK FIRE LINES	INSTALL DOCK FIRE LINES	Sprinkl r Syst m Abov ground	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-03062377</a>	UPGRADE EXIST FIRE ALARM SYSTEM P rmit void ...	UPGRADE EXIST FIRE ALARM SYS...	Fir Alarm Syst m P rmit	0		2800		YACHT CLUB	BLVD		Void
<input type="checkbox"/>	<a href="#">PM-03061918</a>	REM & REPL ELECT EQUIPMENT FOR REPLANKING OF ... e	REM & REPL ELECT EQUIPMENT F...	El ctrical Comm rcial P rmit	0		2800		YACHT CLUB	BLVD		Compl t
<input type="checkbox"/>	<a href="#">PM-03060559</a>	REMOVE AND REPLACE EXISTING DOCK	REMOVE AND REPLACE EXISTING ... e	Boatlift-Dock-S awall-Pil P rmit e	0 e		2800 e		YACHT CLUB e	BLVD e		Compl t



# Record

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<input type="checkbox"/>	<u>Record, Permit, or Account #</u>	<u>Record Description</u>	<u>Application Name</u>	<u>Record Type</u>	<u>Balance</u>	<u>Planner Name</u>	<u>Sheet #</u>	<u>Dir</u>	<u>Sheet Name</u>	<u>Type</u>	<u>Unit # (start)</u>	<u>Status</u>
<input type="checkbox"/>	<a href="#">PM-03030902</a> e	CHANGE OUT (2) 3TON CONDENSER UNITS ~CHANGE OF CO...	CHANGE OUT (2) 3TON CONDENSE...	Mchanical HVAC Change out Permit	0		2800		YACHT CLUB	BLVD		Comp
<input type="checkbox"/>	<a href="#">PM-01111718</a>	INSTALL FIRE SUPPRESSION SYSTEM	INSTALL FIRE SUPPRESSION SYSTEM	Fire Suppression Permit	0		2800		YACHT CLUB	BLVD		Comp
<input type="checkbox"/>	<a href="#">PM-01101051</a>	REPLACE NAT GAS WTR HTR IN LAUNDRY ROOM	REPLACE NAT GAS WTR HTR IN L...	Plumbing Water Heater Exact Change out e	0 e		2800 e		YACHT CLUB e	BLVD e		Comp
<input type="checkbox"/>	<a href="#">PM-01101003</a>	INSTALL NEW 7 SQ TILE ROOF BAR ADDITION BP ~01031874 e	INSTALL NEW 7 SQ TILE ROOF B...	R -Roof Permit	0		2800		YACHT CLUB	BLVD		Comp
<input type="checkbox"/>	<a href="#">PM-01100672</a>	INSTALL BRICK PAVERS/PATIO AND PISA RETAINING WALL	INSTALL BRICK PAVERS/PATIO A...	Commercial Paving Permit	0		2800		YACHT CLUB	BLVD		Comp
<input type="checkbox"/>	<a href="#">PM-01090399</a>	INSTALL (2) 27'X40'VINYL AWNINGS/(1) 27'X24'AWNING	INSTALL (2) 27'X40'VINYL AWN...	Awning-Canopy Permit	0		2800		YACHT CLUB	BLVD		Comp
<input type="checkbox"/>	<a href="#">PM-01082021</a>	INSTALL ONE K/HOOD AS PER PLANS01031874	INSTALL ONE K/HOOD AS PER PL...	Mchanical Commercial Permit	0		2800		YACHT CLUB	BLVD		Comp
<input type="checkbox"/>	<a href="#">PM-01081222</a>	REMOVE FICUS TREE INFESTED W/RODENTS/12-1/2"	REMOVE FICUS TREE INFESTED W...	Landscape Removal-Relocation Permit e	0		2800		YACHT CLUB	BLVD		Expir
<input type="checkbox"/>	<a href="#">PM-01080094</a>	PLUMBING REMODEL FOR BP01031874	PLUMBING REMODEL FOR BP01031874	Plumbing Commercial Permit	0		2800		YACHT CLUB	BLVD		Comp
<input type="checkbox"/>	<a href="#">PM-01072088</a> e	EL INSTALLATION TO NEW BAR	EL INSTALLATION TO NEW BAR	Electrical Commercial Permit	0 e		2800 e		YACHT CLUB e	BLVD e		Comp
<input type="checkbox"/>	<a href="#">PM-01031874</a>	NEW BAR @ POOLSIDE OF YACHT CLUB 433SF e	NEW BAR @ POOLSIDE OF YACHT ... e	Commercial New Construction Permit e	0		2800		YACHT CLUB	BLVD		Comp
<input type="checkbox"/>	<a href="#">PM-00060005</a> e	REPLACE 3 BOILERS 199000 BTU EACH	REPLACE 3 BOILERS 199000 BTU...	Plumbing Commercial Permit	0		2800		YACHT CLUB	BLVD		Comp
<input type="checkbox"/>	<a href="#">FS-23004591</a>		D tail Account e	Fire Safety Account	0		2800		YACHT CLUB	BLVD		Inacti
<input type="checkbox"/>	<a href="#">FS-23006950</a> e		CORAL RIDGE YACHT CLUB INC	Fire Safety Account e	0 e		2800		YACHT CLUB	BLVD		Activ
<input type="checkbox"/>	<a href="#">AB-0004341</a>		CORAL RIDGE YACHT CLUB INC	Ridnt/Busin ss Alarm Registration	413 e		2800		YACHT CLUB	BLVD		Activ
<input type="checkbox"/>	<a href="#">BL-021204</a>	CLUBS-PRIVATE	CORAL RIDGE YACHT CLUB INC	Restaurant - Lounge - Nightclub Busin ss Tax Receipt	0		2800		YACHT CLUB	BLVD		Op n
<input type="checkbox"/>	<a href="#">BL-063537</a>	RESTAURANT OVER 200 PERSONS e	CORAL RIDGE YACHT CLUB INC e	Restaurant - Lounge - Nightclub Busin ss Tax Receipt	0		2800 e		YACHT CLUB e	BLVD e		Clos



CITY OF FORT LAUDERDALE

# PUBLIC NOTICE

## BOARD OF ADJUSTMENT MEETING

DATE: July 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24050004

### Sec 47-8.30 Table of dimensional requirements. (Note A)

- Requesting a variance from the minimum 25 feet rear yard setback requirement to be reduced to 5 feet to install a retractable awning extending 20 feet into the required 25-foot rear yard setback, a total variance reduction request of 20 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT  
700 N.W. 19<sup>TH</sup> AVENUE (LOBBY)  
FORT LAUDERDALE, FL., 33311  
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:  
<https://www.fortlauderdale.gov/government/BOA>  
[www.youtube.com/cityoffortlauderdale](https://www.youtube.com/cityoffortlauderdale)  
To view more information about this item, please visit:  
[www.fortlauderdale.gov/government/BOA](https://www.fortlauderdale.gov/government/BOA)

*This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.*

*In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a*



Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must POST SIGNS (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-24050004

APPLICANT: Stephen Tilbrook, Esq.

PROPERTY: Coral Ridge Yacht Club

PUBLIC HEARING DATE: July 10, 2024

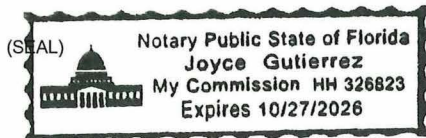
BEFORE ME, the undersigned authority, personally appeared Stephen Tilbrook, who upon being duly sworn and cautioned, under oath deposes and says:

- 1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. (initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 26th day of June, 2024



Signature of Notary Public Joyce Gutierrez, NOTARY PUBLIC, MY COMMISSION EXPIRES:

June 25, 2024

**Coral Ridge Yacht Club**  
**PLN-BOA-24050004**





1. South view of site from waterway.



2. South view of site from waterway.



3. Southeast view of site from waterway.



4. East view of site from waterway.





5. North view of site from waterway.



6. West view of site from Yacht Club Drive



BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 03/18/2024 APPLICATION FORM: BOA

GENERAL INFORMATION  
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

**BOARD OF ADJUSTMENT MEETING REQUEST:** Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

**APPLICATION DEADLINE:** Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

**ONLINE SUBMITTAL PROCESS:** Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

**DETERMINATION OF COMPLETENESS:** Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

**PAYMENT OF FEES:** All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

**PUBLIC SIGN NOTICE:** Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

**EXAMPLE VARIANCE SUBMITTAL**  
Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

**QUESTIONS:** Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: [boardofadjustment@fortlauderdale.gov](mailto:boardofadjustment@fortlauderdale.gov)  
Phone: 954-828-6520, Option 5.

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input checked="" type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

## Page 1: BOA - Applicant Information Sheet

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

<b>Case Number</b>	
<b>Date of complete submittal</b>	

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

<b>Property Owner's Name</b>	Coral Ridge Yacht Club Inc.
<b>Property Owner's Signature</b>	If a signed agent letter is provided, no signature is required on the application by the owner.
<b>Address, City, State, Zip</b>	2800 Yacht Club Blvd, Fort Lauderdale, FL 33304
<b>E-mail Address</b>	nrockwell@cryc.net
<b>Phone Number</b>	954-556-7886 ext 201
<b>Proof of Ownership</b>	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

**NOTE:** If **AGENT** is to represent **PROPERTY OWNER**, an agent authorization form is required (must be notarized)

<b>Applicant / Agent's Name</b>	Stephen Tilbrook, Esq.
<b>Applicant / Agent's Signature</b>	
<b>Address, City, State, Zip</b>	201 E. Las Olas Blvd., Suite 1800, Fort Lauderdale, FL 33301
<b>E-mail Address</b>	stephen.tilbrook@akerman.com
<b>Phone Number</b>	(954) 331-4132
<b>Agent Authorization Form Submitted</b>	<input checked="" type="checkbox"/>

<b>Include ANY Related code case/permit #</b>	
<b>Existing / New</b>	Existing: <input type="checkbox"/> New: <input checked="" type="checkbox"/>
<b>Project Address</b>	Address: 2800 Yacht Club Blvd, Fort Lauderdale, FL 33304
<b>Legal Description</b>	Re-subdivision of Block 6 and portions of Block 5 & 4 of Coral Ridge South Addition, according to the plat thereof, recorded in Plat Boo 41, Page 27, of the public records of Broward County Florida. Said land situate, lying and being in the City of Fort Lauderdale, Broward County, Florida.
<b>Tax ID Folio Numbers</b> <i>(For all parcels in development)</i>	4942 36 06 0010
<b>Variance/Special Exception Request</b> <i>(Provide a brief description of your request)</i>	A variance to allow a retractable fabric awning and structure to extend up to 20 feet into the rear yard setback, resulting in a rear yard setback of 5 feet for the retractable awning.
<b>Applicable ULDR Sections</b> <i>(Include all code sections)</i>	ULDR Sec. 47-8.30

<b>Current Land Use Designation</b>	Parks and Open Space
<b>Current Zoning Designation</b>	P - Parks Recreation and Open Space
<b>Current Use of Property</b>	Private Yacht Club
<b>Site Adjacent to Waterway</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)		Required	Proposed
Front	W	25'	224'
Side	N	25'	9'
Side	S	25'	295'
Rear	E	25'	5'

**Page 2a: Board of Adjustment (BOA) Criteria for Variance Request**

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application. **Note:** A narrative must be submitted in addition to this page.

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

Please see attached responses.

**CRITERIA:** Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

Please see attached responses.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

N/A

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

N/A

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

Please see attached responses.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

Please see attached responses.

**AFFIDAVIT:** I, Stephen Tillbrook the Owner/Agent of said property ATTEST that I am aware of the following:

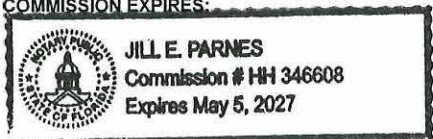
1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Stephen Tillbrook  
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 4th day of June, 2021

(SEAL)

Jill E. Parnes  
NOTARY PUBLIC  
MY COMMISSION EXPIRES:



June 3, 2024

### VARIANCE NARRATIVE

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

**RESPONSE:** Applicant is seeking a variance to permit a retractable awning to extend 20 feet into the 25 foot rear yard setback in the P zoning category, as set forth in Sect. 47-8.30 of the ULDR.

**CRITERIA:** Per section 47-24.12. A.4:

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

**RESPONSE:** The Applicant (CRYC) is a private yacht club with an outdoor restaurant and recreation area. The outdoor restaurant is named the Pointe. CRYC has operated as a private yacht club since 1947 and the property has included an outdoor pool and outdoor restaurant since inception. The Pointe has always included an awning that extends to the edge of the dock in order to provide shade for dining on the waterway. Please see the survey which shows the outdoor pool, the outdoor restaurant and an awning with a 0 setback. The original Point Bar and awning were constructed under a prior zoning category (R-4) and according to permits required at the time. In 1997 the City rezoned the CRYC property to P (Parks, Recreation and Open Space), which lists yacht clubs as a allowable use, but which also required enhanced setbacks. Accordingly, the Point Bar awning became legal non-conforming.

In 2021, CRYC embarked upon a plan to update the yacht club properties, including a replacement of the outdoor restaurant. Please see the approved site plan for the Point Bar project, and please note that the new restaurant building is located outside of the 25 ft rear setback for buildings in the P zoning.

CRYC planned to include an awning along the eastern edge of the Point Bar in order to provide shade for outdoor dining along the waterway. Shade is necessary for outdoor dining, due to the extreme heat and sun in South Florida and due to the effects of global warming. Please see the approved building permit plans which show the proposed retractable awning.

When the contractor sought to obtain a permit for the retractable awning, the permit was flagged due to the 25 ft. rear setback in the P zoning. The zoning official determined that the structural columns that hold the retractable awning do not comply with the P rear setback.

CRYC has always used the waterfront area for dining, which is an expected and reasonable use for a private yacht club in the P zoning. CRYC seeks to continue the use of its waterfront for dining. Shade is an important, necessary and reasonable aspect of waterfront outdoor dining. It is unreasonable to restrict a shade awning within 25 feet of the waterway for a yacht club use. Accordingly, CRYC is seeking a variance to permit a reasonable, retractable awning that extends 20 feet into the 25 foot rear setback.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

**RESPONSE:** CRYC is one of two private yacht clubs located in Fort Lauderdale. The P zoning is unique for private yacht clubs. The circumstances that cause the special condition limiting shade structure in the rear setback along a waterway are therefore unique to a small number of properties and are a marked exception to other properties in the P zoning district. A permanent awning providing shade at the CRYC has existed for over 70 years. The condition of a 25 foot rear yard setback for a shade awning on a private yacht club in the P zoning district is very unique to the Coral Ridge Yacht Club, and is unique to the property at issue. The CRYC is seeking to continue a legal non-conforming condition.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

**RESPONSE:** The literal application of the 25 foot setback for shade structures for yacht club uses in the P zoning deprives the CRYC of a substantial property right enjoyed by other private yacht clubs. First the CRYC has enjoyed an awning for outdoor dining at the Point Bar for over 70 years. It is reasonable and expected that a private yacht club will have an active and successful waterfront dining component with shade. The restriction against a retractable shade awning in the 25 ft setback is an unreasonable restriction on the use of the yacht club property. The applicant is seeking a variance to allow for the permitting of a retractable awning that replaces a prior existing permanent awning, and that is consistent with the approved project site plan. The literal application of the ULDR would deprive the CRYC of a substantial property right to have shaded dining on the waterfront of a private yacht club.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

**RESPONSE: CRYC has always enjoyed a waterfront dining component, and a shade structure has existed in this location for over 70 years. CRYC seeks to continue with the use of a shade structure to provide shade for outdoor dining, in accordance with previously submitted building plans. The shade structure will continue to exist in the setback through the requested variance. The condition is a continuation of a use and is not self created, and it is not the result of a disregard for or ignorance of the ULDR condition. The Applicant is merely seeking an active use for the waterfront property and to use the property in accordance with the approved site plan and historical conditions.**

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be in compatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

**RESPONSE: The variance is a minimum variance to achieve a reasonable use of the CRYC property. The applicant has always enjoyed the use of a shade structure and awning at this location. For over 70 years, the shad structure had a 0 setback. The proposal is for a retractable awning which is the minimum variance necessary for a reasonable shade structure use. In addition, the condition is compatible with historical use and adjoining property owners. The use is compatible with and will not be detrimental to the public welfare as it is consistent with the appearance of an active waterfront use and active yacht club use.**

Thank you for your attention and consideration in this regard.

Yours Very Truly,



Stephen Tilbrook



**Page 2b: Board of Adjustment (BOA) Criteria for Special Exception Request**

Answer **All** questions on this page only *if* you are applying for a **SPECIAL EXCEPTION**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Variance, print or type N/A for the questions below and complete page 2a of this application form. Note: A narrative must be submitted in addition to this page.

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

Please see attached responses.

**CRITERIA:** A special exception shall be granted upon demonstration by a preponderance of the evidence of all of the following criteria: Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.5,

a. Whether the proposed development or use meets the requirements for a special exception as provided by the ULDR; and

N/A

b. Granting of the special exception shall not be incompatible with adjoining properties or the surrounding neighborhood or otherwise contrary to the public interest.

N/A

**AFFIDAVIT:** I, \_\_\_\_\_ the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

\_\_\_\_\_  
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_

(SEAL)

\_\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES:

## Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. **Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE.** The applicant will need to meet with staff **PRIOR** to submitting the BOA application submittal via Lauderbuild. **\*Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.**

- Preliminary BOA Meeting** - The applicant and/or agent met with staff on the following date: 5/2/2024
- Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. \*Submit the complete application form along with your submittal. **Page 4** of the BOA application is due **AFTER** sign(s) are posted.
- Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
- Agent Authorization Form**- Authorization from **ALL** Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
- Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
- Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. \*Must be the most recent survey and the date on the survey should not exceed one (1) year. **Copy sets of Survey must be at half-size scale 11x17"**.
- Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents. **Copy sets of Plans must be at half-size scale 11x17"**.
- Elevations**- If applicable (Elevations may be required by staff upon application submittal).
- Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
- Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
- Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
  - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
  - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
  - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19<sup>th</sup> Avenue, Fort Lauderdale, Florida 33311**

**City of Fort Lauderdale- Zoning Division (BOA)  
700 N.W. 19th Avenue  
Fort Lauderdale, Florida 33311**

**How To order a Tax Map and Notice List-** To order a tax map and notice list, please contact Heather Hanson at [hhanson@bcpa.net](mailto:hhanson@bcpa.net) or call 954-357-6855 OR Kenny Gibbs at [kgibbs@bcpa.net](mailto:kgibbs@bcpa.net) or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

**How to Submit Your Application submittal-** Submittals must be conducted through the City's Online Citizen Access portal- LauderBuild. No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

**Please Note: All copy sets must be clear, accurate and legible. All non-plan documents should be 8 1/2" x 11". Plans must be folded to 8 1/2" x 11".**



<b>Site Address</b>	<b>2800 YACHT CLUB BOULEVARD, FORT LAUDERDALE FL 33304-4542</b>	<b>ID #</b>	4942 36 06 0010
<b>Property Owner</b>	CORAL RIDGE YACHT CLUB INC	<b>Millage</b>	0312
<b>Mailing Address</b>	2800 YACHT CLUB BLVD FORT LAUDERDALE FL 33304-4599	<b>Use</b>	33-03
<b>Abbr Legal Description</b>	CORAL RIDGE SOUTH ADD RESUB OF BLK 6 & POR OF BLK 5 & 4 41-27 B YACHT CLUB SITE, TOG WITH POR OF CORAL BAY DESC AS, COMM AT SE COR LOT 1 BLK 4, E 331.93 TO POB, N 250, E 100, S 100, E 208.60, SW 156.36, W 265.98 TO POB (PAR C) TOG WITH A POR OF SUNRISE BAY DESC AS, COMM NE COR LOT 1 BLK 5 E 460 TO POB, E 454.90, SW 144.95 NWLY 92.86, W 266.77, S 60, W 100 N 135.09 TO POB (PAR D) IN OR 21267/83, TOG WITH POR DESC IN INSTR 114035961		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

\* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$3,674,000	\$1,704,130	\$5,378,130	\$5,378,130	
2023	\$3,674,000	\$1,841,160	\$5,515,160	\$5,515,160	\$141,296.70
2022	\$3,674,000	\$1,841,160	\$5,515,160	\$5,515,160	\$136,945.52

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$5,378,130	\$5,378,130	\$5,378,130	\$5,378,130
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$5,378,130	\$5,378,130	\$5,378,130	\$5,378,130
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$5,378,130	\$5,378,130	\$5,378,130	\$5,378,130

Sales History			
Date	Type	Price	Book/Page or CIN

Land Calculations		
Price	Factor	Type
\$25.00	146,586	SF
\$0.10	53,240	SF
\$0.10	40,283	SF
<b>Adj. Bldg. S.F. (Card, Sketch)</b>		34467
<b>Eff./Act. Year Built: 1970/1955</b>		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F2		
C								
34917						146585		

**2024 FLORIDA NOT FOR PROFIT CORPORATION ANNUAL REPORT**

DOCUMENT# 741663

**Entity Name:** CORAL RIDGE YACHT CLUB, INC.

**Current Principal Place of Business:**

2800 YACHT CLUB BLVD  
FT LAUDERDALE, FL 33304-4542

**Current Mailing Address:**

2800 YACHT CLUB BLVD  
FT LAUDERDALE, FL 33304-4542 US

**FEI Number:** 59-0603864

**Certificate of Status Desired:** Yes

**Name and Address of Current Registered Agent:**

ROCHE, THOMAS F III  
2800 YACHT CLUB BLVD.  
FORT LAUDERDALE, FL 33304 US

*The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.*

**SIGNATURE:** THOMAS F. ROCHE III

02/14/2024

Electronic Signature of Registered Agent

Date

**Officer/Director Detail :**

Title            PRESIDENT  
Name            ROCHE , THOMAS F. III  
Address        2800 YACHT CLUB BLVD  
City-State-Zip: FORT LAUDERDALE FL 33304-4542

Title            VP  
Name            SHEERIN, PAUL JR.  
Address        2800 YACHT CLUB BOULEVARD  
City-State-Zip: FORT LAUDERDALE FL 33304

Title            VP  
Name            CASSELL, KEVIN ANDREW  
Address        2800 YACHT CLUB BLVD.  
City-State-Zip: FORT LAUDERDALE FL 33304

*I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 617, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.*

**SIGNATURE:** THOMAS F. ROCHE III

PRESIDENT

02/14/2024

Electronic Signature of Signing Officer/Director Detail

Date



Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000  
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I Coral Ridge Yacht Club, Inc. ("Owner") as the current title owner of the real  
[Print First and Last Name of the title Owner OR Name of Corporation]  
property located at 2800 Yacht Club Boulevard, Fort Lauderdale, FL 33304 ("Property"), do hereby authorize  
[Print Property Address]

Stephen K. Tilbrook, Esq. ("Authorized Agent") to act as my agent regarding the submittal  
[Print First and Last Name of Agent]

of a variance/special exception application to the City of Fort Lauderdale and appear at any and all  
scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and  
location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special  
exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to  
accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding  
all issues related to my pending variance/special exception application. I understand and agree that, as the  
Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception  
application, all required hearing appearances related to my variance/special exception application, and any  
request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and  
or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and  
agree, the City will mail or deliver all notices relating to my pending variance/special exception application to  
my property address, as listed on my variance/special exception application. I further understand and agree,  
the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized  
Agent's failure to comply with any terms or conditions outlined in my variance/special exception application,  
and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before  
the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS  
AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,  
representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from  
any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes  
of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,  
including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the  
action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my  
employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



**DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION**  
**BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM**

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000  
 I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this Agent Authorization Form. **\*Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

**WITNESS:**

Eryn Roach  
 Witness Signature  
Eryn Roach  
 Print Name  
05/03/2024  
 Date

[Signature]  
 Signature - Owner/Authorized Individual  
KEVIN A. CASSELL  
 Print Name - Owner/ Authorized Individual  
VICE PRESIDENT  
 Print Title - Authorized Individual

STATE OF Florida  
 COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 3 day of May, 2024, by Kevin Cassell, an individual who is personally known to me  or has produced DRIVERS LICENSE Fla as identification

[NOTARY SEAL]

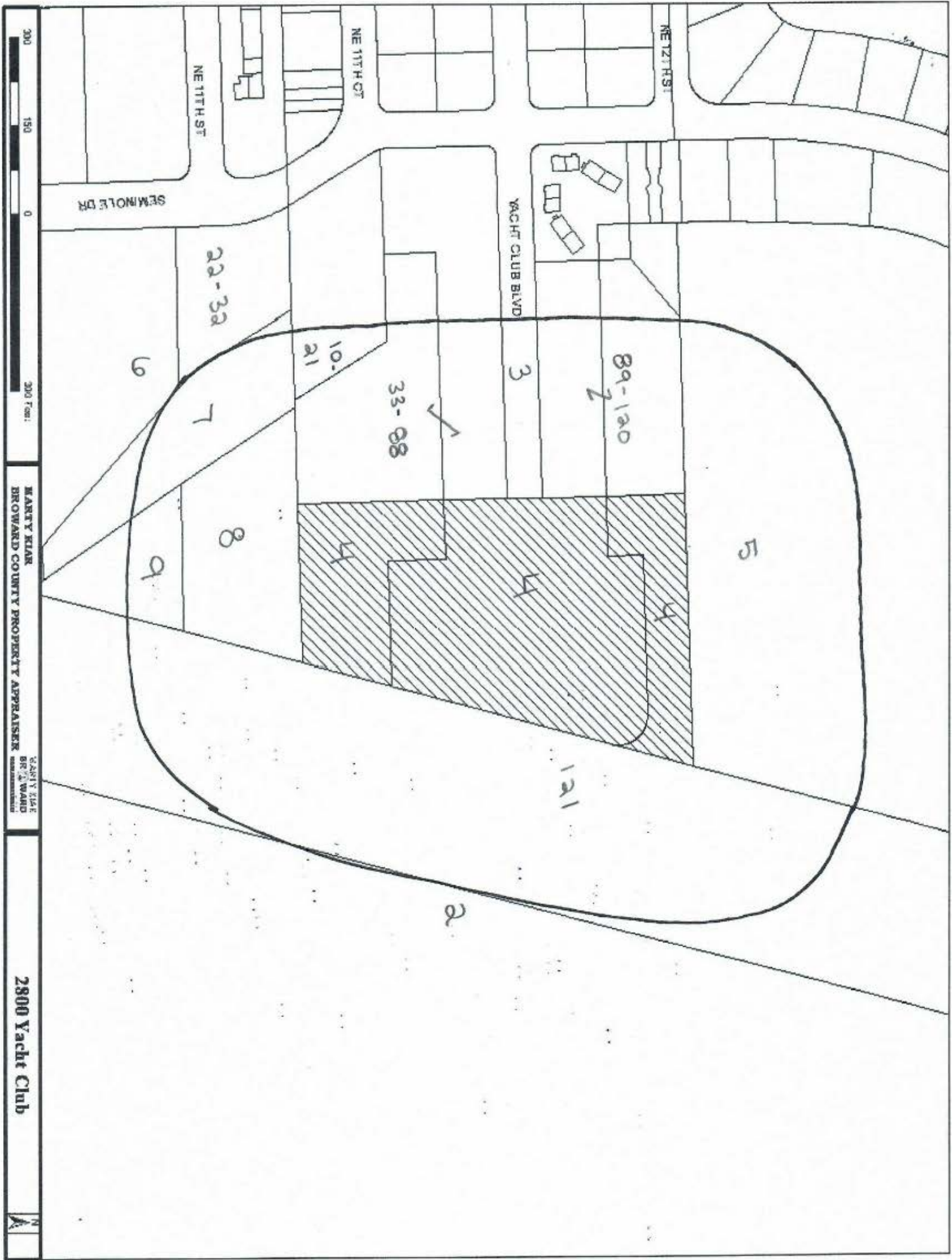


**MICHAEL J. DIERKES**  
 Notary Public  
 State of Florida  
 Comm# HH436073  
 Expires 8/22/2027

[Signature]  
 (Signature of Notary Public- State of Florida)

My Commission Expires:

Print, Type, or Stamp Commissioned Name of Notary Public)



300  
150  
0  
300 Feet

MARTY KIAR  
BROWARD COUNTY PROPERTY APPRAISER  
FLORIDA STATE  
BR. 1 WARD

2800 Yacht Club





**MARTY KIAR**  
BROWARD COUNTY PROPERTY APPRAISER

MARTY KIAR  
BROWARD COUNTY  
PROPERTY APPRAISER

**2800 Yacht Club**





A	B	C	D	E	F	G	H
FOLIO_NUMB	NAME	ADDRESS_LI	CITY	STATE	ZIP	ZIP4	LEGAL
49423600010	TIITF/DNR DIV REC & PARKSHUGH TAYLOR BIRCH ST PARK	DEP DOUGLAS BLDG	TALLAHASSEE	FL	32399		36-49-42LOT 1 LESS PAR 1 & 3 AS IN PB17/13,PT OF LOT 2 LYING E OFINTRACOASTAL W/W R/W ALSO THATPT OF NEW RIVER SOUND IN NE1/4OF SEC 36 LYING E OFINTRACOASTAL W/W R/W & PT OFLOT 5 LYING E OF INTRA W/W R/W,LOT 6 LESS PAR 6 AS INPB 17/13 & LESS RD R/W,ALSO THAT PT OF NEW RIVER SOUNDIN THE SE1/4 LYING E OFINTRACOASTAL W/W R/W
494236050600	PUBLIC LAND% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301		CORAL RIDGE SOUTH ADDITION24-41 BROAD RIGHT OF WAYS DEDICATED PERPLAT LESS POR DESC ININSTR 114035961
494236060010	CORAL RIDGE YACHT CLUB INC	2800 YACHT CLUB BLVD	FORT LAUDERDALE	FL	33304	4599	CORAL RIDGE SOUTH ADD RESUB OFBLK 6 & POR OF BLK 5 & 4 41-27 BYACHT CLUB SITE,TOG WITH POR OFCORAL BAY DESC AS,COMM AT SE CORLOT 1 BLK 4,E 331.93 TO POB,N250,E 100,S 100,E 208.60,SW156.36,W 265.98 TO POB (PAR C)TOG WITH A POR OF SUNRISE BAYDESC AS,COMM NE COR LOT 1 BLK 5E 460 TO POB,E 454.90,SW 144.95NWLY 92.86,W 266.77,S 60,W 100N 135.09 TO POB (PAR D) IN OR21267/83, TOG WITH POR DESC ININSTR 114035961
494236080740	CRYC LLC	2790 SPRING CREEK RD	BARRINGTON	IL	60010		BEACHWAY HEIGHTS UNIT B 25-27 BPT SUNRISE BAY INC IN PLAT OFBEACHWAY HGTS UNIT B 25-27 B
494236300010	SUNRISE HARBOUR MULTIFAMILY INC% RYAN LLC	PO BOX 250509	ATLANTA	GA	30325		SUNRISE HARBOUR PLAT 166-41 BPARCEL A LESS POR DESC AS COMMSE COR PAR A THEN N 97.18, NW32.87 TO POB THEN W 56.49,NW391.75,NW 169.68,N 3.81,NW33.05,E 167.75,SE 519.52 TOPOB
494236300011	SUNRISE HARBOUR MULTIFAMILY INC% MARVIN F POER & CO	3520 PIEDMONT RD NE STE 410	ATLANTA	GA	30305		SUNRISE HARBOUR PLAT 166-41 BPOR PAR A DESC AS COM SE CORPARCEL A THEN N 97.18,NW 32.87,TO POB THEN W 56.49,NW 391.75,NW169.68,N 3.81,NW 33.05,E 167.75,SE 519.52 TO POB
494236300020	SUNRISE HARBOUR MULTIFAMILY INC% MARVIN F POER & CO	3520 PIEDMONT RD NE STE 410	ATLANTA	GA	30305		SUNRISE HARBOUR PLAT 166-41 BPARCEL B
494236300030	SUNRISE HARBOUR MULTIFAMILY INC% MARVIN F POER & CO	3520 PIEDMONT RD NE STE 410	ATLANTA	GA	30305		SUNRISE HARBOUR PLAT 166-41 BPARCEL C
494236BE0010	FEE,DAVID H & TERRESA H	1110 SEMINOLE DR #201	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 201PER CDO CIN #112889205
494236BE0020	SCHROER,JAMES CASPER	1110 SEMINOLE DR #202	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 202PER CDO CIN #112889205
494236BE0030	LEVY,THERESA J & JACKTHERESA J LEVY TR	1110 SEMINOLE DR #203	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 203PER CDO CIN #112889205
494236BE0040	FUNG,KENNY K	15 HUDSON YARDS #66A	NEW YORK	NY	10001		ADAGIO ON THE BAY CONDOUNIT 301PER CDO CIN #112889205
494236BE0050	POLLIN,ROBERT E	1110 SEMINOLE DR UNIT 302	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 302PER CDO CIN #112889205
494236BE0060	O'BYRNE,KAREN G & WALTER	1110 SEMINOLE DR APT 303	FORT LAUDERDALE	FL	33304	4581	ADAGIO ON THE BAY CONDOUNIT 303PER CDO CIN #112889205
494236BE0070	HUTSON,CINDY MCINDY M HUTSON REV TR	1110 SEMINOLE DR #401	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 401PER CDO CIN #112889205
494236BE0080	POLO,DIEGO P & GOENKE PPEIRO,NATALIA	1110 SEMINOLE DR # 402	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 402PER CDO CIN #112889205
494236BE0090	ADG403 INVESTMENTS LLC	1110 SEMINOLE DR #403	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 403PER CDO CIN #112889205
494236BE0100	DAMOORGIAN,DORIAN & PATRICIA	1110 SEMINOLE DR UNIT 501	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 501PER CDO CIN #112889205
494236BE0110	MARTIN,MARIONMARION T MARTIN REV TR	1110 SEMINOLE DR #502	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 502PER CDO CIN #112889205
494236BE0120	MARTIN,MARION TMARION T MARTIN REV TR	1110 SEMINOLE DR #502 & 503	FORT LAUDERDALE	FL	33304		ADAGIO ON THE BAY CONDOUNIT 503PER CDO CIN #112889205
494236BK0010	EML PROPERTIES II LLC	1050 SEMINOLE DR #2A	FORT LAUDERDALE	FL	33304		THE VILLAS OF SUNRISE BAY CONDOUNIT 2-APER CDO BK/PG: 22221/170

A	B	C	D	E	F	G	H
494236BK0020	ARNST,ELAINE PELAINE P ARNST REV TR	1050 SEMINOLE DR #2B	FORT LAUDERDALE FL		33304		THE VILLAS OF SUNRISE BAY CONDOUNIT 2-BPER CDO BK/PG: 22221/170
494236BK0030	DOBSON, GARY J JR & KIMBERLYDOBSON FAM TR	1050 SEMINOLE DR APT 2-C	FORT LAUDERDALE FL		33304		THE VILLAS OF SUNRISE BAY CONDOUNIT 2-CPER CDO BK/PG: 22221/170
494236BK0040	SLAMA,JOSEPH J & ROBBIN E	1050 SEMINOLE DR #3A	FORT LAUDERDALE FL		33304		THE VILLAS OF SUNRISE BAY CONDOUNIT 3-APER CDO BK/PG: 22221/170
494236BK0050	WAGNER,JAMES DJAMES D WAGNER LIV TR	1050 SEMINOLE DR UNIT 3B	FORT LAUDERDALE FL		33304		THE VILLAS OF SUNRISE BAY CONDOUNIT 3-BPER CDO BK/PG: 22221/170
494236BK0060	RIDGE,GARY CWISNEWSKI,THOMAS ETAL	1050 SEMINOLE DR UNIT 3-C	FORT LAUDERDALE FL		33304		THE VILLAS OF SUNRISE BAY CONDOUNIT 3-CPER CDO BK/PG: 22221/170
494236BK0070	PASKOSKI,JUDITH ALTMAN	1050 SEMINOLE DR #4A	FORT LAUDERDALE FL		33304		THE VILLAS OF SUNRISE BAY CONDOUNIT 4-APER CDO BK/PG: 22221/170
494236BK0080	BRAND-EAGON,JANE MEAGON,DOUGLAS P	1050 SEMINOLE DR # 4B	FORT LAUDERDALE FL		33304	3227	THE VILLAS OF SUNRISE BAY CONDOUNIT 4-BPER CDO BK/PG: 22221/170
494236BK0090	MORRIS,MARIANAMARIANA MORRIS REV TR	1050 SEMINOLE DR #4C	FORT LAUDERDALE FL		33304	3227	THE VILLAS OF SUNRISE BAY CONDOUNIT 4-CPER CDO BK/PG: 22221/170
494236BK0100	LAUGHLIN,ABBY H/ELAUGHLIN,ROBERT S	1050 SEMINOLE DR #PHA	FORT LAUDERDALE FL		33304		THE VILLAS OF SUNRISE BAY CONDOUNIT PH-APER CDO BK/PG: 22221/170
494236BK0110	TORRES,ANTONIO & ANNAMARIE	1050 SEMINOLE DR #PHB	FORT LAUDERDALE FL		33304		THE VILLAS OF SUNRISE BAY CONDOUNIT PH-BPER CDO BK/PG: 22221/170
494236NR0010	GILMARTIN,ANN FLAHERTYFLAHERTY,JAMES MICHAEL	105 LEROY AVE	DARIEN CT		06820		CORAL COVE ASSOC CO-OPUNIT 1A
494236NR0020	PETERS,ELISE	1124 SEMINOLE DR #1B	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 1B
494236NR0030	SHEA,THOMAS A H/EELLIOTT,CHARLES D	1124 SEMINOLE DR #1C	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 1C
494236NR0040	SHEA,THOMAS AELLIOTT,CHARLES D	1124 SEMINOLE DR #1D	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 1D
494236NR0050	VINES,VALERIE	1124 SEMINOLE DR #2A	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 2A
494236NR0060	SCHUELER,STEPHEN G	888 INTRACOASTAL DR #4A	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 3A
494236NR0070	ANDERSON,JACKIE	1124 SEMINOLE DR #3B	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 3B
494236NR0080	KULDA,GEORGE SCOTT & ERIN	3 SPINNAKER HILL LN	HULL MA		02045		CORAL COVE ASSOC CO-OPUNIT 3C
494236NR0090	EPPLER,CAROLSEMINARA,JEAN	1124 SEMINOLE DR #3D	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 3D
494236NR0100	SANTARIELLO,JEANNETTE L CAPASSOSANTARIELLO,ROBERT C	16 HUTCHINSON BLVD	SCARSDALE NY		10583	6507	CORAL COVE ASSOC CO-OPUNIT 4A
494236NR0110	MORINEAU,CLAIRE	2770 NE 14 ST #201	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 4B
494236NR0120	GEORGES,JENNIFERBOARDMAN,ANDREW	1455 NE 55 ST	FORT LAUDERDALE FL		33334		CORAL COVE ASSOC CO-OPUNIT 4C
494236NR0130	PARILLO,ROBERT F JRPARILLO,DEBORAH	1124 SEMINOLE DR #4D	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 4D
494236NR0140	HAWTHORNE,BRANDON	1124 SEMINOLE DR UNIT 4-E	FORT LAUDERDALE FL		33304	4554	CORAL COVE ASSOC CO-OPUNIT 4E
494236NR0150	CANTRELL,SHAWN DAVIDCANTRELL,HEIDI ANN	1124 SEMINOLE DR #4F	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 4F
494236NR0160	MIRRER,MICHAEL	2700 YACHT CLUB BLVD #5	FORT LAUDERDALE FL		33304	4514	CORAL COVE ASSOC CO-OPUNIT 5A
494236NR0170	ALLEN,JOHN A & JOAN M	2700 YACHT CLUB BLVD #5-B	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 5B
494236NR0180	LELAND,ALBERT W & FERN D	1 CARTER TALBOT CT	DAYTON OH		45419	2904	CORAL COVE ASSOC CO-OPUNIT 5C
494236NR0190	GUENTHER,DINA KGUNTER,FREDERICK M	316 NUNDA BLVD	ROCHESTER NY		14610		CORAL COVE ASSOC CO-OPUNIT 5D
494236NR0200	BENTZ,MARY DBENTZ,MITCHELL J	2700 YACHT CLUB BLVD #6A	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 6A
494236NR0210	COWAN,BEVERLY MBEVERLY M COWAN TR	2700 YACHT CLUB BLVD #6B	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 6B
494236NR0220	STEWART,KIMBERLY ANNSTANDARD,SUSAN ANGELA	2700 YACHT CLUB BLVD #6C	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 6C
494236NR0230	STEWART,KIMBERLY ANNSTANDARD,SUSAN ANGELA	2700 YACHT CLUB BLVD #6D	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 6D
494236NR0240	CLABBERS,ROBERTUS G WLAUWERS,DAVID J	2700 YACHT CLUB BLVD #7A	FORT LAUDERDALE FL		33304	4531	CORAL COVE ASSOC CO-OPUNIT 7A
494236NR0250	ADAMOWICH,GREGORYSLOBODIAN,KATHERINE	6 SUPERIOR CREEK LN	*TORONRO ON CA		M8Z 6	C5	CORAL COVE ASSOC CO-OPUNIT 7B
494236NR0260	ALFONSO,DANIO V	2700 YACHT CLUB BLVD #7C	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 7C
494236NR0270	ARMSTRONG,DONNA K	2072 CASTLEWAY DR, NE	ATLANTA GA		30345		CORAL COVE ASSOC CO-OPUNIT 7D
494236NR0280	O'BYRNE,WALTER J JR & KAREN G	2700 YACHT CLUB BLVD #7E	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 7E
494236NR0290	STARR,STEPHEN P	815 EDMANDS RD	FRAMINGHAM MA		01701		CORAL COVE ASSOC CO-OPUNIT 7F
494236NR0291	THOMAS,JEREMY	2700 YACHT CLUB BLVD #7G	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 7G
494236NR0300	SCHUSTACK,STEVEN J	2700 YACHT CLUB BLVD APT 7H	FORT LAUDERDALE FL		33304	4556	CORAL COVE ASSOC CO-OPUNIT 7H
494236NR0310	SULLIVAN,TERRENCE & CATHERINE	2720 YACHT CLUB BLVD #8A	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 8A
494236NR0320	MARIAN WILLIAMS 2 AMD & RES TRWILLIAMS,MARIAN TRS	351 NW SPRINGVIEW LOOP	PORT ST LUCIE FL		34986		CORAL COVE ASSOC CO-OPUNIT 8B
494236NR0330	DEPODESTA,ANTHONY L H/EDEPODESTA,CRAIG R	2720 YACHT CLUB BLVD #8C	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 8C
494236NR0340	SEVERN, GARY M H/ESEVERNS,MARIA M % JEFF ANDREWS	2649 FLORIDA BLVD #215	DELRAY BEACH FL		33483		CORAL COVE ASSOC CO-OPUNIT 8D
494236NR0350	SACCO,ELAINE M H/ESACCO,DAMON JOHN	2720 YACHT CLUB BLVD #8E	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 8E
494236NR0360	PASSOMATO,ANDRE JANDRE J PASSOMATO REV TR	2720 YACHT CLUB BLVD #8F	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 8F
494236NR0370	DYKSTERHOUSE,JEFFREYSAYEGH,DANNY	2720 YACHT CLUB BLVD #8G	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 8G
494236NR0380	FONCANNON,MICHAEL JPUCCI,JASON A	9 NASSAU DR #C1	SUMMIT NJ		07901	1715	CORAL COVE ASSOC CO-OPUNIT 8H

A	B	C	D	E	F	G	H
494236NR0390	MARSHALL,DANIEL	2740 YACHT CLUB BLVD #9A	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 9A
494236NR0400	LEATHERS,JAMES H SR	PO BOX 49209	ATLANTA GA		30359		CORAL COVE ASSOC CO-OPUNIT 9B
494236NR0410	HARSHMAN,BRUCE LSTOUFFER,NEILL C	795 FLINT RIDGE RD	PITTSBURGH PA		15243	1101	CORAL COVE ASSOC CO-OPUNIT 9C
494236NR0420	MARION L BROWN TRO'CONNOR,WINIFRED	PO BOX 1906	MOUNTAIN HOME AR		72654	1906	CORAL COVE ASSOC CO-OPUNIT 9D
494236NR0430	DEVINE,KEITH J	2740 YACHT CLUB BLVD #9E	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 9E
494236NR0440	BELL,ALICE H	2740 YACHT CLUB BLVD #9F	FORT LAUDERDALE FL		33304	4560	CORAL COVE ASSOC CO-OPUNIT 9F
494236NR0450	FRANCO,DAVID PFRANCO,LISA M	743 CHESTNUT ST	WABAN MA		02468		CORAL COVE ASSOC CO-OPUNIT 9G
494236NR0460	GREENWOOD,MICHAEL R H/EGREENWOOD,BRUCE R ETAL	2740 YACHT CLUB BLVD APT 9H	FORT LAUDERDALE FL		33304	4560	CORAL COVE ASSOC CO-OPUNIT 9H
494236NR0470	GEORGES,SUSAN	2760 YACHT CLUB BLVD #10A	FORT LAUDERDALE FL		33304	4561	CORAL COVE ASSOC CO-OPUNIT 10A
494236NR0480	GORDON,STEVEN	2760 YACHT CLUB BLVD #10B	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 10B
494236NR0490	KUNG,JASON	2760 YACHT CLUB BLVD APT 10-C	FORT LAUDERDALE FL		33304	4561	CORAL COVE ASSOC CO-OPUNIT 10C
494236NR0500	SCHADEL,LEES M III	2760 YACHT CLUB BLVD #10-D	FORT LAUDERDALE FL		33304	4561	CORAL COVE ASSOC CO-OPUNIT 10D
494236NR0510	JOAN H STROW REV TRSTROW,JOAN H TRSTEE	6333 S 91 E #102	TULSA OK		74133	6345	CORAL COVE ASSOC CO-OPUNIT 10E
494236NR0520	JOHN J WETZEL REV LIV TRWETZEL,JOHN J TRSTEE	2760 YACHT CLUB BLVD #10F	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 10F
494236NR0530	MARTHA J WETZEL REV LIV TRWETZEL,MARTHA J TRSTEE	2402 WINONA AVE APT 7	WINONA LAKE IN		46590	2124	CORAL COVE ASSOC CO-OPUNIT 10G
494236NR0540	LUNSFORD,BRIAN CHRISTOPHER	2760 YACHT CLUB BLVD #10H	FORT LAUDERDALE FL		33304		CORAL COVE ASSOC CO-OPUNIT 10H
							CORAL RIDGE SOUTH ADDITION24-41 BLOTS 3,4,5,6 & 7,BLK 4 TOG WITHPOR CORAL BAY K/A PAR B IN OR21267/83 DESC AS:COMM SE COR LOT1,BLK 4,ELY 155.50 TO POB,NW185.18,WLY 148.67,N 90,E 420,S250,W 176.43 TO POBAKA: UNDERLYING LAND FOR CORALCOVE ASSOCIATION
494236NR9999	CORAL COVE ASSN	2700 YACHT CLUB BLVD	FORT LAUDERDALE FL		33304		
494236NT0010	BURCKHARTT,CARRIE LYNN	2525 NE 27 AVE	FORT LAUDERDALE FL		33305		SUNRISE BAY CLUB CO-OPUNIT 1A
494236NT0020	RODRIGUEZ,J CARLOS & LISABENKO,BARBARA	1900 INTERCOASTAL DR	FORT LAUDERDALE FL		33305		SUNRISE BAY CLUB CO-OPUNIT 1B
494236NT0030	VENBERG,BRYAN	2727 YACHT CLUB BLVD #1C	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 1 C
494236NT0040	CAREY FAM TRSHRINER,KIN H %STEVENS CAREY ESQ	5739 KANAN RD # 530	AGOURA HILLS CA		91301	1601	SUNRISE BAY CLUB CO-OPUNIT 1D
494236NT0050	LARSEN,HERBERT PBROWN,LESLIE W	2727 YACHT CLUB BLVD #1E	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 1E
494236NT0060	ELEANOR F LEUTHEUSER LIV TRLEUTHEUSER,KURT P TRSTEE	2727 YACHT CLUB BLVD #2B	FORT LAUDERDALE FL		33304	4538	SUNRISE BAY CLUB CO-OPUNIT 2A
494236NT0070	ELEANOR F LEUTHEUSER LIV TRLEUTHEUSER,KURT P TRSTEE	2727 YACHT CLUB BLVD #2B	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 2B
494236NT0080	WALDEN,ISABEL R	1720 GUYAN RIVER RD	SALT ROCK WV		25559	5965	SUNRISE BAY CLUB CO-OPUNIT 2C
494236NT0090	EUGENE LEWIS HUDSON 1993 REV TRSHIRLEY HUDSON REV LIV TR ETAL	2727 YACHT CLUB BLVD #2D	FORT LAUDERDALE FL		33304	4547	SUNRISE BAY CLUB CO-OPUNIT 2D
494236NT0100	MASCOT,KEITH EST	2727 YACHT CLUB BLVD #2E	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 2E
494236NT0110	LICA,KATHERINE MKATHERINE M LICA REV TR	2727 YACHT CLUB BLVD APT 2F	FORT LAUDERDALE FL		33304	4539	SUNRISE BAY CLUB CO-OPUNIT 2F
494236NT0120	FARLEY,DENIS P & PATRICIA J	2727 YACHT CLUB BLVD #3A	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 3A
494236NT0130	PRAZAN,MICHAEL JSAYLES,KAREN M	2727 YACHT CLUB BLVD #3B	FORT LAUDERDALE FL		33304	4539	SUNRISE BAY CLUB CO-OPUNIT 3B
494236NT0140	STANTON,MICHAEL	2727 YACHT CLUB BLVD #3C	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 3C
494236NT0150	PUESHEL,JOHN PAUL	2727 YACHT CLUB BLVD #3D	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 3D
494236NT0160	JEROME,KEVIN C H/EBREW,ARTON JEFFREY	2727 YACHT CLUB BLVD #3E	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 3E
494236NT0170	CORDES,JOHN W	2717 YACHT CLUB BLVD #4AB	FORT LAUDERDALE FL		33304	4546	SUNRISE BAY CLUB CO-OPUNIT 4AB
494236NT0180	MCCALL,FRANK	2717 YACHT CLUB BLVD #4C	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 4C
494236NT0190	LATHAM,ROBERT S	2717 YACHT CLUB BLVD #4D	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 4D
494236NT0200	LAMB,EARLENEEARLENE LAMB TR	2717 YACHT CLUB BLVD APT 4E	FORT LAUDERDALE FL		33304	4535	SUNRISE BAY CLUB CO-OPUNIT 4E
494236NT0210	CASEY,WILLIAM R	128 LONG WHARF	NEWPORT RI		02840		SUNRISE BAY CLUB CO-OPUNIT 5A
494236NT0220	CORY,MARCH AMARCH A CORY TR	5339 CRESTLAKE BLVD #5	SARASOTA FL		34233	3710	SUNRISE BAY CLUB CO-OPUNIT 5B
494236NT0230	LARSEN,HERBERT PBROWN,LESLIE W	2717 YACHT CLUB BLVD #5C	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 5C
494236NT0240	CORSARO,THOMAS & MARION	214 GRANGER ST	BLOSSBURG PA		16912	1408	SUNRISE BAY CLUB CO-OPUNIT 5D
494236NT0250	MCBRAYER,JAMES D IIIJAMES DAVID MCBRAYER III REV TR	2717 YACHT CLUB BLVD #5E	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 5E
494236NT0260	WEBB,ERIC LORD,ELEANOR M	400 S FRONT ST	WILMINGTON NC		28401	5012	SUNRISE BAY CLUB CO-OPUNIT 5F
494236NT0270	GUIDO BARNEGG-GOLWIG REV TRCHRISTINE BARNEGG- GOLWIG TR ETAL	2717 YACHT CLUB BLVD #6A	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 6A
494236NT0280	SAAVEDRA,DAMASO W	2717 YACHT CLUB BLVD 6B	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 6B
494236NT0290	REID HARRIS,CAMOLYN H/EPICARDAT,ROBERT NORRIS	2717 YACHT CLUB BLVD #6C	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 6C
494236NT0300	REDA,KHALIL K	2717 YACHT CLUB BLVD #6D	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 6D
494236NT0310	ROBERT J COYNE REV LIV TRCOYNE,ROBERT J TRSTEE	2717 YACHT CLUB BLVD #6E	FORT LAUDERDALE FL		33304		SUNRISE BAY CLUB CO-OPUNIT 6E

A

B

C

D

E

F

G

H

A	B	C	D	E	F	G	H
494236NT9999	SUNRISE BAY ASSN INC	YACHT CLUB BLVD	FORT LAUDERDALE FL		33304		CORAL RIDGE SOUTH ADDITION24-41 BLOTS 3,4,5 & 6,BLK 5 TOG WITHPOR CORAL BAY K/A PAR E & H INOR 21267/83 DESC AS:COMM NE CORLOT 1,BLK 5,ELY 160 TO POB,E 300S 135.09,W 300,N 135.19 TO POBAND PAR H:COMM NE COR LOT 1,BLK5,E 160 TO POB,S 135.19,W 100,N55,BE 128.83 TO POBAKA:UNDERLYING LAND FOR SUNRISEBAY CLUB CO-OP
494307000460	TIITF/STATE OF FLORIDA% FL INLAND NAVIGATION DISTRICT Coral Ridge Association Inc ADAGIO ON THE BAY CONDOMINIUM ASSOCIATION, INC. THE VILLAS OF SUNRISE BAY ASSOCIATION, INC.	1314 MARCINSKI RD PO Box 11298 1110 Seminole Drive C/O MG Property Management 3049 North Federal Highway C/O MG Property Management 3049 North federal Highway	JUPITER FL FORT LAUDERDALE FL FORT LAUDERDALE FL FORT LAUDERDALE FL FORT LAUDERDALE FL		33477 33339 33304 33306 33306		FLORIDA EAST COAST CANAL 17-1 BPOR OF THE FLA EAST COAST CANALLOCATED IN THE CITY OF FORTLAUDERDALE
	CORAL COVE ASSOCIATION						



Coral Ridge Yach Club Looking North 5/2/24



Coral Ridge Yach Club Looking South 5/2/24



Stephen Tilbrook

Akerman LLP  
201 East Las Olas Boulevard  
Suite 1800  
Fort Lauderdale, FL 33301

D: 954 331 4132

T: 954 463 2700

F: 954 463 2224

stephen.tilbrook@akerman.com

June 3, 2024

### VARIANCE NARRATIVE

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

**RESPONSE:** Applicant is seeking a variance to permit a retractable awning to extend 20 feet into the 25 foot rear yard setback in the P zoning category, as set forth in Sect. 47-8.30 of the ULDR.

**CRITERIA:** Per section 47-24.12, A.4:

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

**RESPONSE:** The Applicant (CRYC) is a private yacht club with an outdoor restaurant and recreation area. The outdoor restaurant is named the Pointe. CRYC has operated as a private yacht club since 1947 and the property has included an outdoor pool and outdoor restaurant since inception. The Pointe has always included an awning that extends to the edge of the dock in order to provide shade for dining on the waterway. Please see the survey which shows the outdoor pool, the outdoor restaurant and an awning with a 0 setback. The original Point Bar and awning were constructed under a prior zoning category (R-4) and according to permits required at the time. In 1997 the City rezoned the CRYC property to P (Parks, Recreation and Open Space), which lists yacht clubs as a allowable use, but which also required enhanced setbacks. Accordingly, the Point Bar awning became legal non-conforming.

In 2021, CRYC embarked upon a plan to update the yacht club properties, including a replacement of the outdoor restaurant. Please see the approved site plan for the Point Bar project, and please note that the new restaurant building is located outside of the 25 ft rear setback for buildings in the P zoning.

CRYC planned to include an awning along the eastern edge of the Point Bar in order to provide shade for outdoor dining along the waterway. Shade is necessary for outdoor dining, due to the extreme heat and sun in South Florida and due to the effects of global warming. Please see the approved building permit plans which show the proposed retractable awning.

When the contractor sought to obtain a permit for the retractable awning, the permit was flagged due to the 25 ft. rear setback in the P zoning. The zoning official determined that the structural columns that hold the retractable awning do not comply with the P rear setback.

CRYC has always used the waterfront area for dining, which is an expected and reasonable use for a private yacht club in the P zoning. CRYC seeks to continue the use of its waterfront for dining. Shade is an important, necessary and reasonable aspect of waterfront outdoor dining. It is unreasonable to restrict a shade awning within 25 feet of the waterway for a yacht club use. Accordingly, CRYC is seeking a variance to permit a reasonable, retractable awning that extends 20 feet into the 25 foot rear setback.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

**RESPONSE:** CRYC is one of two private yacht clubs located in Fort Lauderdale. The P zoning is unique for private yacht clubs. The circumstances that cause the special condition limiting shade structure in the rear setback along a waterway are therefore unique to a small number of properties and are a marked exception to other properties in the P zoning district. A permanent awning providing shade at the CRYC has existed for over 70 years. The condition of a 25 foot rear yard setback for a shade awning on a private yacht club in the P zoning district is very unique to the Coral Ridge Yacht Club, and is unique to the property at issue. The CRYC is seeking to continue a legal non-conforming condition.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

**RESPONSE:** The literal application of the 25 foot setback for shade structures for yacht club uses in the P zoning deprives the CRYC of a substantial property right enjoyed by other private yacht clubs. First the CRYC has enjoyed an awning for outdoor dining at the Point Bar for over 70 years. It is reasonable and expected that a private yacht club will have an active and successful waterfront dining component with shade. The restriction against a retractable shade awning in the 25 ft setback is an unreasonable restriction on the use of the yacht club property. The applicant is seeking a variance to allow for the permitting of a retractable awning that replaces a prior existing permanent awning, and that is consistent with the approved project site plan. The literal application of the ULDR would deprive the CRYC of a substantial property right to have shaded dining on the waterfront of a private yacht club.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and



**RESPONSE: CRYC has always enjoyed a waterfront dining component, and a shade structure has existed in this location for over 70 years. CRYC seeks to continue with the use of a shade structure to provide shade for outdoor dining, in accordance with previously submitted building plans. The shade structure will continue to exist in the setback through the requested variance. The condition is a continuation of a use and is not self created, and it is not the result of a disregard for or ignorance of the ULDR condition. The Applicant is merely seeking an active use for the waterfront property and to use the property in accordance with the approved site plan and historical conditions.**

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be in compatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

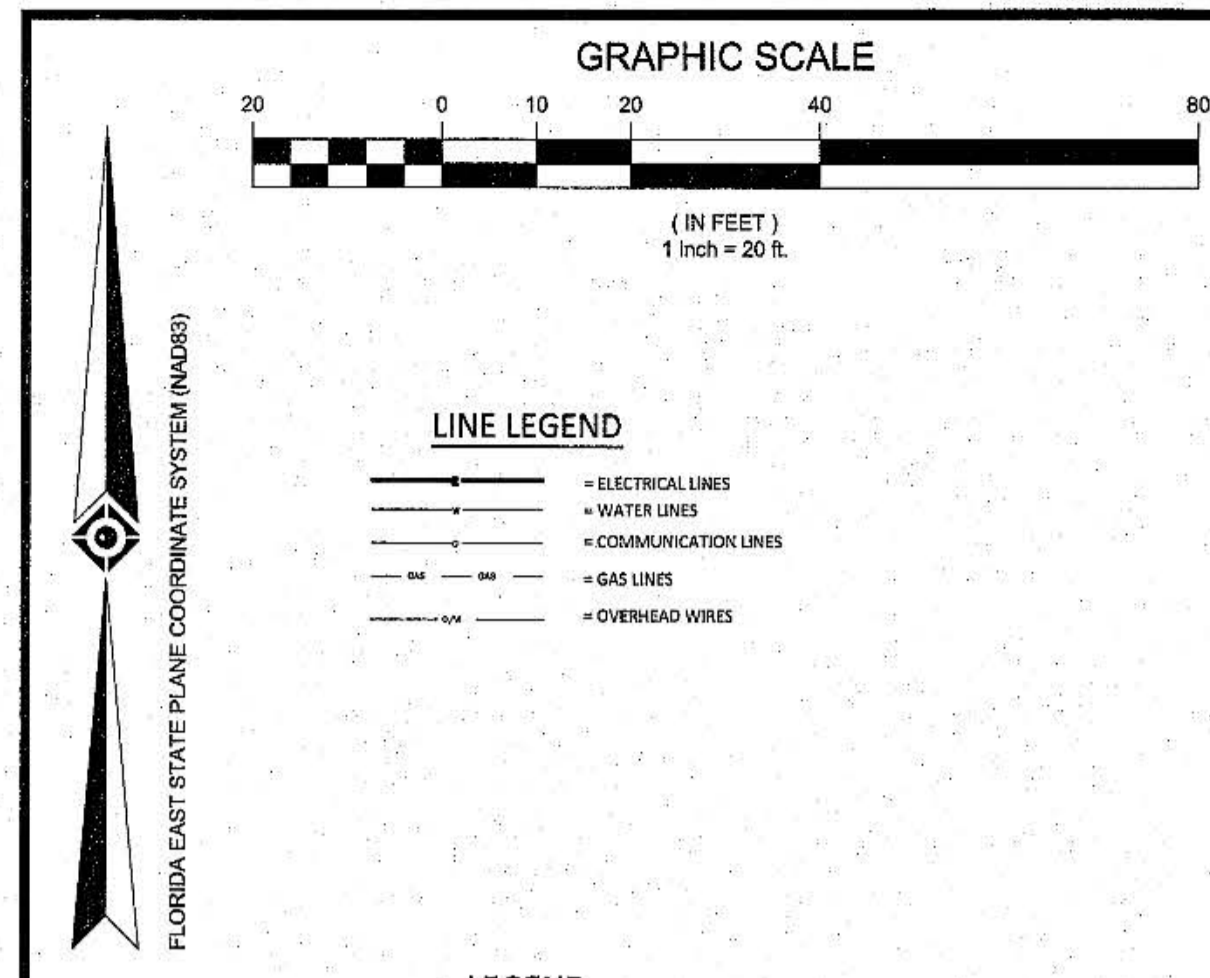
**RESPONSE: The variance is a minimum variance to achieve a reasonable use of the CRYC property. The applicant has always enjoyed the use of a shade structure and awning at this location. For over 70 years, the shad structure had a 0 setback. The proposal is for a retractable awning which is the minimum variance necessary for a reasonable shade structure use. In addition, the condition is compatible with historical use and adjoining property owners. The use is compatible with and will not be detrimental to the public welfare as it is consistent with the appearance of an active waterfront use and active yacht club use.**

Thank you for your attention and consideration in this regard.

Yours Very Truly,



Stephen Tilbrook



**LEGEND**

Δ = CENTRAL ANGLE (DELTA)	MHW = MEAN HIGH WATER
A/C = AIR CONDITIONING	MISC. = MISCELLANEOUS
A.S. = ASBESTOS	M.L.P. = METAL LIGHT POLE
A.L.P. = ALUMINUM LIGHT POLE	± = MORE AND LESS
A.L.T. = AMERICAN LAND TITLE ASSOCIATION	NAD83 = NATIONAL GEODETIC SURVEY
A.R.L. = ARC LENGTH	N.A.S.P.S. = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
B.C.R. = BROWARD COUNTY RECORDS	NAD83VD = NORTH AMERICAN VERTICAL DATUM (1988)
B.F.P. = BACK FLOW PREVENTER	N.S.D. = NORTH SPRINGS IMPROVEMENT DISTRICT
B.L. = BACK LINE	N. = NUMBER
C.A.T.V. = CABLE TV TERMINAL OR BOX	O.B. = OFFICIAL RECORDS BOOK
C.A.C. = CALCULATED	O.U. = OVERHEAD UTILITY LINES
C.C.S. = CONCRETE, BLOCK AND STUCCO	P. = PAVE
C.C. = CENTERLINE OF RIGHT-OF-WAY	P.B.C.R. = PALM BEACH COUNTY RECORDS
C.H. = CHORD	P.I. = POINT OF INTERSECTION
C.C.B. = COASTAL CONSTRUCTION CONTROL LINE	P.C. = POINT OF CURVE
C.C.P. = CHAIN LINK FENCE	P.C.D. = POLLUTION CONTROL DEVICE
C.C.L.P. = CONCRETE LIGHT POLE	P.I.V. = POINT INDICATOR VALVE
C.C.P.L.P. = CONCRETE POWER LIGHT POLE	P.O.C. = POINT OF COMMENCEMENT
C.C.P.P. = CONCRETE POWER POLE	P.O.C. = POINT OF CURVE
C.C. = CONCRETE	P.R.M. = PERMANENT REFERENCE MONUMENT
C.D. = CLEAN OUT	R. = RADIO
C.F. = CHAIN FENCE	R.C.P. = REINFORCED CONCRETE PIPE
DESC. = DESCRIPTION FROM FORMER DESCRIPTION	R.W. = RIGHT-OF-WAY
D.V. = DIAMETER	S.B. = SOUTHERN BELL TELEPHONE
D.M. = DIAMETER AT BREAST HEIGHT	S.V. = SEWER VALVE
E.L.C. = ELECTRIC	S.W. = SEASONAL HIGH WATER LINE
ELEV. = ELEVATION	S.T.L. = SURVEY TIE LINE
F. = FEET	T.A. = TANGENT
F.F. = FREE TITANUM	T.A.N. = TANGENT BEARING
F.O.D.T. = FLORIDA DEPARTMENT OF TRANSPORTATION	T.M. = WATER METER
F.P.L. = FLORIDA POWER AND LIGHT CO.	T.V. = WATER VALVE
G.C. = GREEN GRASS MANHOLE	W.B. = WET FACE OF BULKHEAD
H. = HAND HOLE	W.F. = WET FACE OF CURB
I.C.V. = IRRIGATION CONTROL VALVE	W.L.P. = WOOD STREET LIGHT POLE
I.V. = INVERT	W.P.P. = WOOD POWER POLE
L. = LICENSE BUSINESS	W.P.P. = WOOD POWER POLE
M.C. = MARKET	W.P.P. = WOOD POWER POLE
M.C.R. = MARINE BASE COUNTY RECORDS	W.P.P. = WOOD POWER POLE
M.E.A.S. = FIELD MEASURE	W.P.P. = WOOD POWER POLE
M.S. = EXIST. TOP OF WALL ELEVATION	W.P.P. = WOOD POWER POLE
M.S.B. = EXIST. BOTTOM OF WALL ELEVATION	W.P.P. = WOOD POWER POLE
N. = NORTH	W.P.P. = WOOD POWER POLE
P. = PARKING SPACES	W.P.P. = WOOD POWER POLE
S. = SOUTH	W.P.P. = WOOD POWER POLE
SP. = SHORE POWER	W.P.P. = WOOD POWER POLE

**TITLE NOTES:**

THERE ARE NO OTHER EASEMENTS, ROAD RESERVATIONS OR RIGHTS-OF-WAYS OF RECORD AFFECTING THIS PROPERTY PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER 1062-4504529, DATED JANUARY 23, 2020 AT 8:00 A.M.

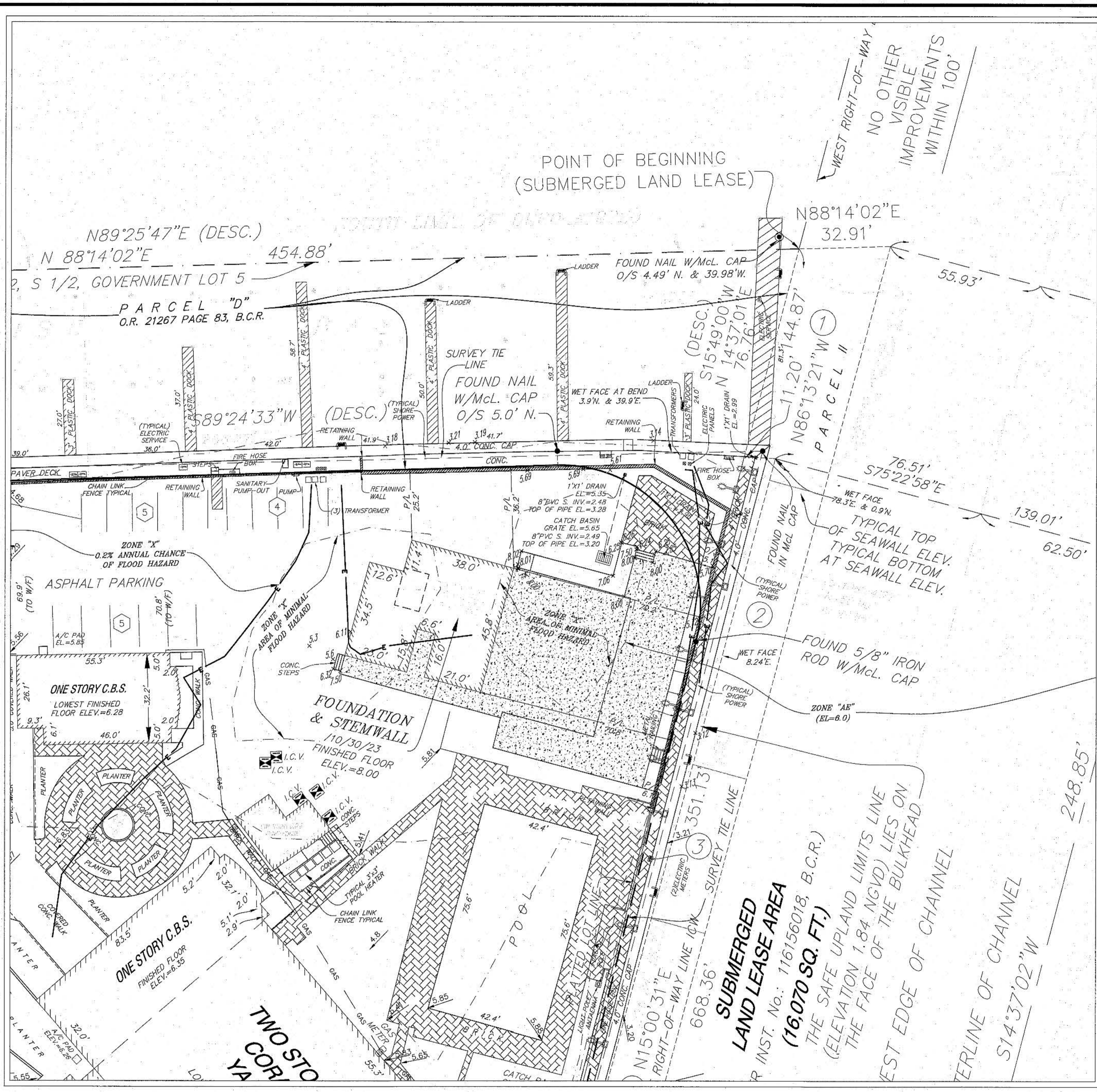
- 1) INTENTIONALLY DELETED.
- 11) RESERVATION PER DEED BOOK 566, PAGE 326, B.C.R. AND PARTIAL SUMMARY JUDGEMENT PER O.R. 18936, PAGE 326, B.C.R. AFFECTS THIS PROPERTY (NOTHING PROTTABLE).
- 12) MATTERS PER PLAT BOOK 41, PAGE 27, B.C.R. AFFECTS THIS PROPERTY AND AS SHOWN.
- 13) EASEMENT PER O.R. 3681, PAGE 693, B.C.R. AFFECTS THIS PROPERTY AND AS SHOWN.
- 14) INTENTIONALLY DELETED.
- 15) JUDGEMENT PER O.R. 21267, PAGE 83, B.C.R. AFFECTS THIS PROPERTY AND AS SHOWN.
- 16) EASEMENT PER INSTRUMENT NO.: 114093561, B.C.R. AFFECTS THIS PROPERTY AND AS SHOWN.
- 18) SUBMERGED LANDS PER INSTRUMENT NO.: 116156018, B.C.R. AFFECTS THIS PROPERTY AND AS SHOWN.

**NOTES:**

1. PROPERTY KNOWN AS CORAL RIDGE YACHT CLUB, BROWARD COUNTY, FLORIDA
2. AREA= 259,194 SQUARE FEET OR 5.9503 ACRES, MORE OR LESS
3. UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. THIS PROPERTY LIES IN FLOOD ZONES "AE", ELEV. +5.0 AND 6.0, AND "X" 0.2% ANNUAL CHANCE OF FLOOD HAZARD AND AREA OF MINIMAL FLOOD HAZARD PER FLOOD INSURANCE RATE MAP NO. 12011C0388 H, DATED: AUGUST 18, 2014, COMMUNITY PANEL NO. 125105.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON BENCH MARK N.W. FIRE HYDRANT @ 2760 YACHT CLUB BOULEVARD, ELEVATION= 6.510 (NGVD29) CONVERTED TO 5.310 (NAVD88).
9. BEARINGS SHOWN HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), FLORIDA EAST ZONE (801), STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION.
10. THIS SURVEY MAP AND/OR REPORT OR THE COPIES HEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAP PER ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

**REFERENCES:**

1. MAP ENTITLED 'CORAL RIDGE YACHT CLUB', BROWARD COUNTY RECORDS
2. MAP ENTITLED 'NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP NO. 12011C0388 H, DATED AUGUST 18, 2014, COMMUNITY PANEL NO. 125105.



**DETAIL SHEET**

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 53-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

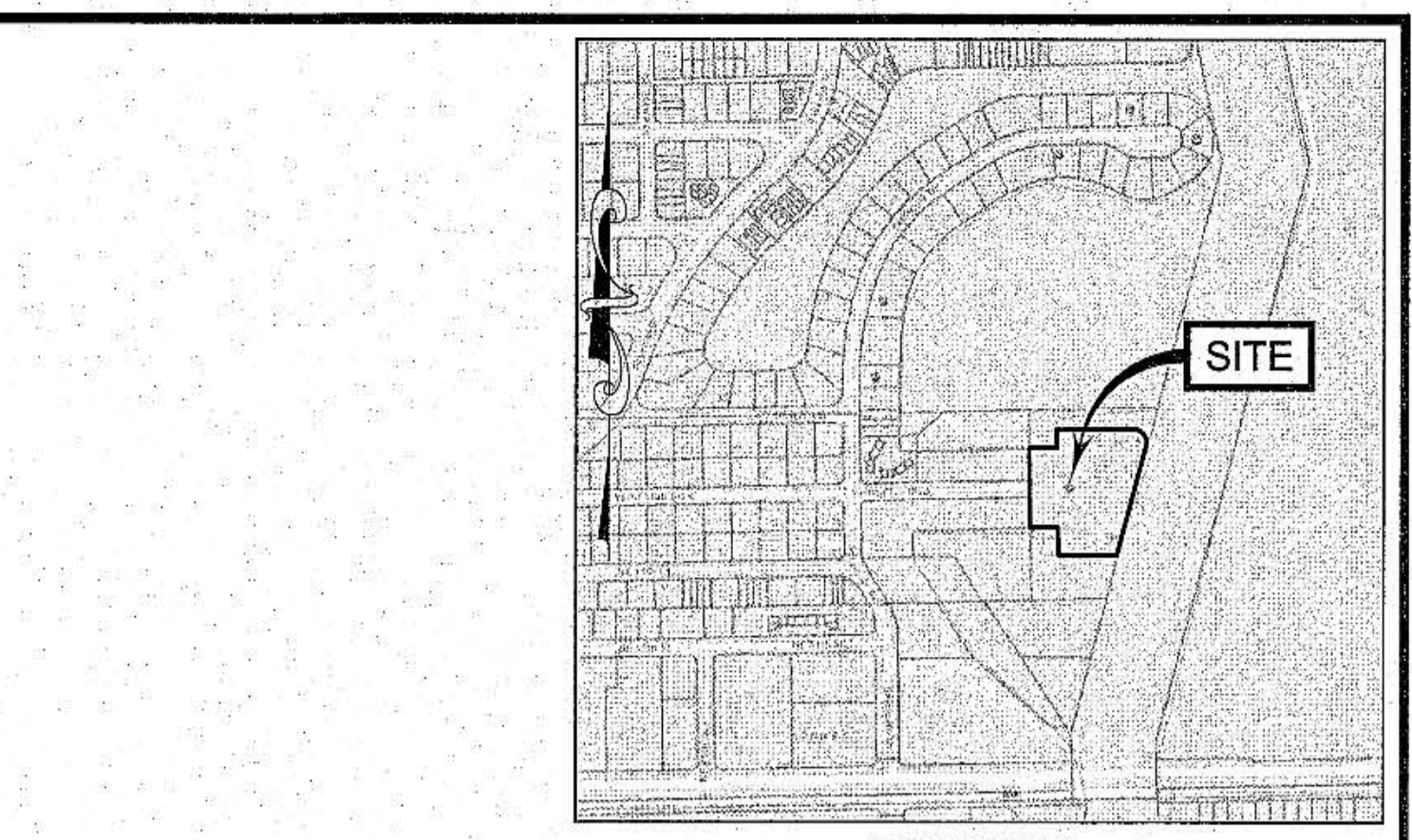
**Jerald A McLaughlin**  
 Digitally signed by Jerald A McLaughlin  
 Date: 2024.05.03 11:50:43  
 Date: 05/03/2024

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**BLISS CONSTRUCTION**  
 2881 YACHT CLUB BOULEVARD  
 RESUBDIVISION OF BLOCK 6, & PORTION OF BLOCK 4 & 5  
 CITY OF FORT LAUDERDALE & BROWARD COUNTY  
 STATE OF FLORIDA

**CONTROL POINT ASSOCIATES, P.L.L.C.**  
 1700 NW 64TH STREET, SUITE 400  
 FT. LAUDERDALE, FL 33309  
 WWW.CPASURVEY.COM

NO.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
3	REVISED TO ADD TOPOGRAPHIC	NA	KT	JST	05-03-24
2	REVISED TO ADD TOPOGRAPHIC	FV	KT	JST	04-20-24
1	REVISED TO ADD CATCH BASIN	FV	KT	JAM	03-27-24

REVIEWED: SAM APPROVED: JAMP/LS DATE: 05/03/2024 SCALE: 1" = 20' FILE NO: 15-20105-00 DWG. NO: 2 OF 2



VICINITY MAP  
 ©2008 DeLorme, Street Atlas USA  
 NOT TO SCALE

**SURVEY DESCRIPTION:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

PARCEL: YACHT CLUB SITE OF RESUBDIVISION OF BLOCK 6 AND PORTIONS OF BLOCKS 5 AND 4 OF CORAL RIDGE SOUTH ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 41, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH: A PORTION OF YACHT CLUB BOULEVARD C/O-SAC, ADJACENT TO YACHT CLUB SITE, RESUBDIVISION OF BLOCK 6 AND PORTIONS OF BLOCKS 5 AND 4, OF CORAL RIDGE SOUTH ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 41, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST WEST NORTHWEST CORNER OF SAID YACHT CLUB SITE; THENCE SOUTH 00°00'00" EAST, ON THE MOST WEST LINE OF SAID YACHT CLUB SITE, AS DISTANCE OF 110.00 FEET TO THE POINT OF BEGINNING; THENCE EAST, ON THE MOST WEST LINE OF SAID YACHT CLUB SITE, AS DISTANCE OF 32.91 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°14'02" WEST, ON THE MOST WEST LINE OF SAID YACHT CLUB SITE, AS DISTANCE OF 0.81 FEET; THENCE NORTH 00°00'00" WEST, ON THE NORTHERLY EXTENSION OF THE MOST WEST LINE OF SAID YACHT CLUB SITE, AS DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA.

PARCEL "D": A PARCEL OF LAND BEING A PORTION OF "CORAL BAY" AS SHOWN ON THE PLAT OF "CORAL RIDGE SOUTH ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 41, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND AS SHOWN ON "RESUBDIVISION OF BLOCK 6, AND PORTIONS OF BLOCKS 5 AND 4, OF CORAL RIDGE SOUTH ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 41, PAGE 27 OF SAID PUBLIC RECORDS, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 1, BLOCK 5, OF SAID "CORAL RIDGE SOUTH ADDITION";

THENCE ON AN ASSUMED BEARING OF N 89°24'33" E, ALONG THE EASTERLY PROJECTION OF THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 331.93 FEET TO A POINT OF INTERSECTION WITH THE SOUTHERLY PROJECTION OF THE EAST LINE OF LOT 7, OF SAID BLOCK 4, WITH SAID EASTERLY PROJECTION, SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE NORTH, ALONG SAID SOUTHERLY PROJECTION, A DISTANCE OF 250.00 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; SAID SOUTHEAST CORNER ALSO BEING THE MOST NORTHERLY SOUTHWEST CORNER OF SAID "YACHT CLUB SITE", AS SHOWN ON SAID "RESUBDIVISION OF BLOCK 6, AND PORTIONS OF BLOCKS 5 AND 4, OF CORAL RIDGE SOUTH ADDITION";

THENCE N. 89°24'33" E, ALONG THE MOST NORTHERLY SOUTH LINE OF SAID "YACHT CLUB SITE", A DISTANCE OF 100.00 FEET;

THENCE SOUTH, A DISTANCE OF 100.00 FEET TO THE MOST SOUTHERLY SOUTHWEST CORNER OF SAID "YACHT CLUB SITE";

THENCE N. 89°24'33" E, ALONG THE SOUTH LINE OF SAID "YACHT CLUB SITE", A DISTANCE OF 208.60 FEET TO THE SOUTHEAST CORNER OF SAID "YACHT CLUB SITE";

THENCE S. 15°49'00" W, ALONG THE SOUTHERLY PROJECTION OF THE EAST LINE OF SAID LOT 1, WITH SAID SOUTHERLY PROJECTION, A DISTANCE OF 156.36 FEET TO A POINT OF INTERSECTION WITH THE EASTERLY PROJECTION OF THE SOUTH LINE OF SAID LOT 1, WITH SAID SOUTHERLY PROJECTION;

THENCE S. 89°24'33" W, ALONG SAID PROJECTION, A DISTANCE OF 265.98 FEET TO THE POINT OF BEGINNING;

SAID SITUATE WITHIN BROWARD COUNTY, FLORIDA.

PARCEL "D": A PARCEL OF LAND BEING A PORTION OF "SUNRISE BAY" AS SHOWN ON THE PLAT OF "CORAL RIDGE SOUTH ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 41, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND AS SHOWN ON "RESUBDIVISION OF BLOCK 6, AND PORTIONS OF BLOCKS 5 AND 4, OF CORAL RIDGE SOUTH ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 41, PAGE 27 OF SAID PUBLIC RECORDS, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 1, BLOCK 5, OF SAID "CORAL RIDGE SOUTH ADDITION";

THENCE ON AN ASSUMED BEARING OF N 89°24'33" E, ALONG THE EASTERLY PROJECTION OF THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 480.00 FEET, TO A POINT OF INTERSECTION WITH THE NORTHERLY PROJECTION OF THE EAST LINE OF LOT 6, OF SAID BLOCK 5, WITH SAID EASTERLY PROJECTION, SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE CONTINUE N 89°24'33" E, ALSO SAID EASTERLY PROJECTION, A DISTANCE OF 454.30 FEET, TO A POINT OF INTERSECTION WITH THE NORTHERLY PROJECTION OF THE EAST LINE OF THE "YACHT CLUB SITE" AS SHOWN ON SAID "RESUBDIVISION OF BLOCK 6, AND PORTIONS OF BLOCKS 5 AND 4, OF CORAL RIDGE SOUTH ADDITION";

THENCE S. 15°49'00" W, ALONG SAID PROJECTION, A DISTANCE OF 144.95 FEET, TO A POINT OF CURVE OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST, SAID CURVE HAVING A CHORD BEARING OF N 37°23'13" W;

THENCE NORTHERLY, NORTHWESTERLY AND WESTERLY ALONG THE ARC OF SAID CURVE, TO THE LEFT, HAVING A CENTRAL ANGLE OF 108°24'27", AND RADIUS OF 50.00 FEET, FOR AN ARC DISTANCE OF 92.86 FEET, TO A POINT OF TANGENCY;

THENCE S. 89°24'33" W, ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, ALONG THE NORTH LINE OF SAID "YACHT CLUB SITE", A DISTANCE OF 288.77 FEET TO THE MOST NORTHERLY NORTHWEST CORNER OF SAID "YACHT CLUB SITE";

THENCE SOUTH, A DISTANCE OF 80.00 FEET TO A POINT ON THE MOST SOUTHERLY NORTH LINE OF SAID "YACHT CLUB SITE";

THENCE S. 89°24'33" W, ALONG SAID MOST SOUTHERLY NORTH LINE, A DISTANCE OF 100.00 FEET, TO THE MOST SOUTHERLY NORTHWEST CORNER OF SAID "YACHT CLUB SITE", SAID CORNER ALSO BEING THE NORTHEAST CORNER OF SAID LOT 6, BLOCK 5;

THENCE NORTH, ALONG THE NORTHERLY PROJECTION OF THE EAST LINE OF SAID LOT 6, A DISTANCE OF 135.09 FEET, TO THE POINT OF BEGINNING;

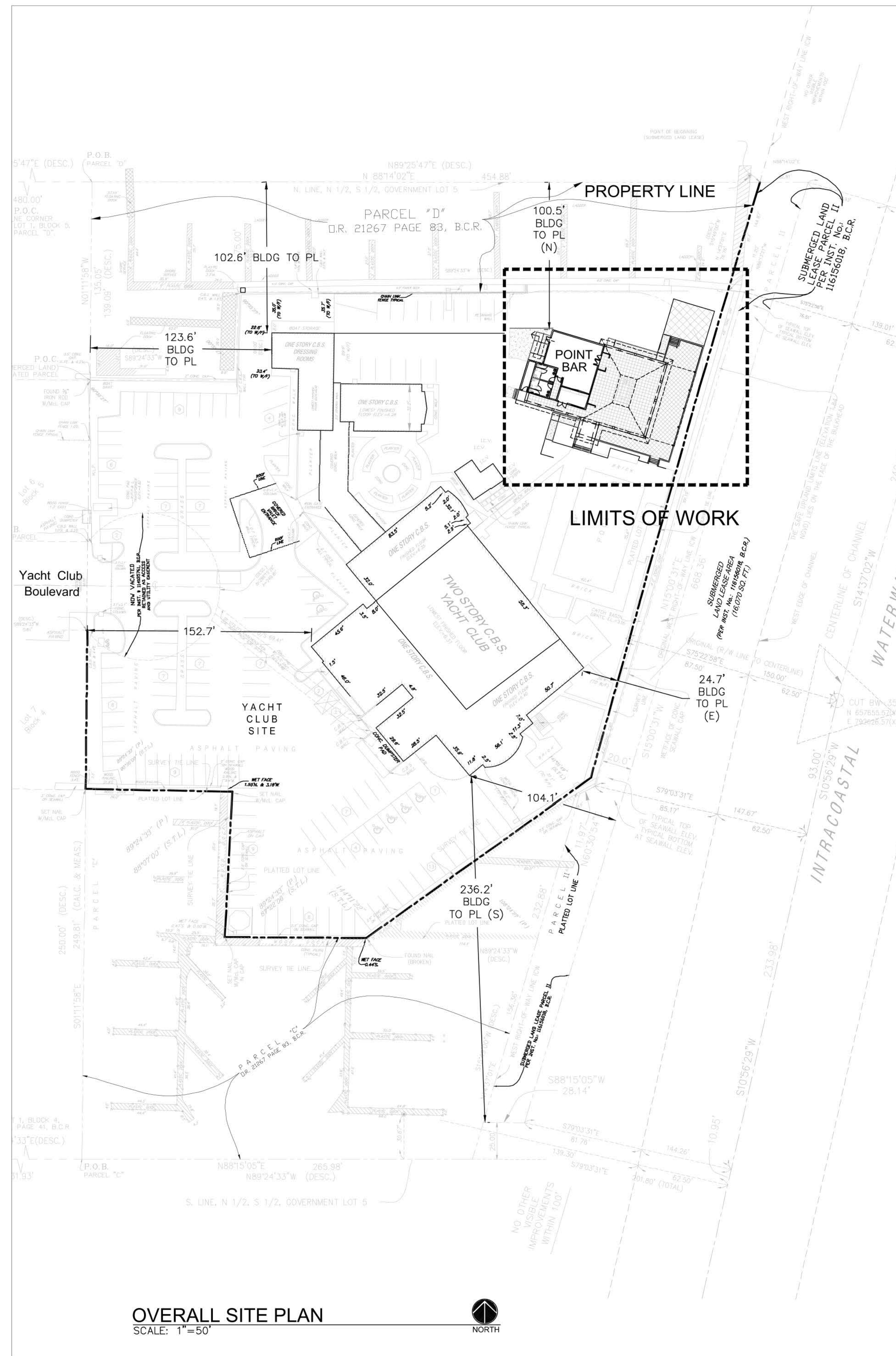
SAID LAND LYING AND BEING IN BROWARD COUNTY, FLORIDA.

PARCEL "E": A LEASEHOLD ESTATE INTEREST PURSUANT TO THAT CERTAIN SOVEREIGNTY SUBMERGED LANDS LEASE, BOF FILE NO. 060204596, RECORDED UNDER INSTRUMENT NO. 116156018, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PORTION OF THE INTRACOSTAL WATERWAY IN SECTION 36, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, ADJACENT TO YACHT CLUB SITE, RESUBDIVISION OF BLOCK 6 AND PORTIONS OF BLOCKS 5 AND 4 OF CORAL RIDGE SOUTH ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 41, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND ADJACENT TO PORTIONS OF SUNRISE BAY AND CORAL BAY AS SHOWN ON SAID PLAT, ALL MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST WESTERLY, NORTHWEST CORNER OF SAID YACHT CLUB SITE; THENCE NORTH 01°11'58" WEST, ON THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID YACHT CLUB SITE, A DISTANCE OF 325.25 FEET; THENCE NORTH 88°14'02" EAST, ON THE NORTH LINE OF THE NORTH ONE-HALF (IN 1/2) OF THE SOUTH ONE-HALF (IN 1/2) OF GOVERNMENT LOT 5 IN SAID SECTION 36, A DISTANCE OF 68.88 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE INTRACOSTAL WATERWAY AND TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 88°14'02" EAST, ON SAID NORTH LINE, A DISTANCE OF 32.91 FEET; THENCE SOUTH 15°00'31" WEST, A DISTANCE OF 68.36 FEET; THENCE SOUTH 88°15'50" WEST, ON A LINE 25.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE NORTH ONE-HALF (IN 1/2) OF THE SOUTH ONE-HALF (IN 1/2) OF SAID GOVERNMENT LOT 5, A DISTANCE OF 26.44 FEET; THENCE NORTH 14°37'02" EAST, ON THE SAID WEST RIGHT-OF-WAY LINE OF THE INTRACOSTAL WATERWAY, A DISTANCE OF 228.88 FEET; THENCE NORTH 60°00'54" EAST, ON THE WESTFACE OF AN EXISTING 4.0 FOOT CONCRETE SEAWALL, A DISTANCE OF 11.20 FEET; THENCE NORTH 15°00'31" EAST, ON SAID WESTFACE, A DISTANCE OF 35.13 FEET; THENCE NORTH 88°15'50" WEST, ON SAID WESTFACE, A DISTANCE OF 11.20 FEET; THENCE NORTH 14°37'02" EAST, ON THE SAID WEST RIGHT-OF-WAY LINE OF THE INTRACOSTAL WATERWAY, A DISTANCE OF 76.76 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, AND CONTAINING 259,194 SQUARE FEET OR 5.9503 ACRES, MORE OR LESS.



PRELIMINARY 2019 FLOOD ZONE "SFHA" ELEV (7.0) NAVD

FLOOD ZONE "AE", ELEV (5) NAVD AND "X", ELEV (N/A) PER FIRM MAP #12011C0388 H, DATED: AUG 18, 2014.

BROWARD COUNTY 100 YEAR 3 DAY CONTOUR= ELEV. 6.0) NAVD

AVERAGE WET SEASON WATER LEVEL= ELEV. (1.0) NAVD

SITE PLAN INFORMATION	
CURRENT USE OF PROPERTY	YACHT CLUB EXISTING (GSF)
CURRENT LAND USE DESIGNATION	COMMERCIAL/RECREATION
PROPOSED LAND USE DESIGNATION	COMMERCIAL/RECREATION
CURRENT ZONING DESIGNATION	P
PROPOSED ZONING DESIGNATION	P
ADJACENT ZONING DESIGNATION-NORTH	WATERWAY
ADJACENT ZONING DESIGNATION-SOUTH	WATERWAY
ADJACENT ZONING DESIGNATION-EAST	WATERWAY (P ACROSS WATERWAY)
ADJACENT ZONING DESIGNATION-WEST	RMM-25

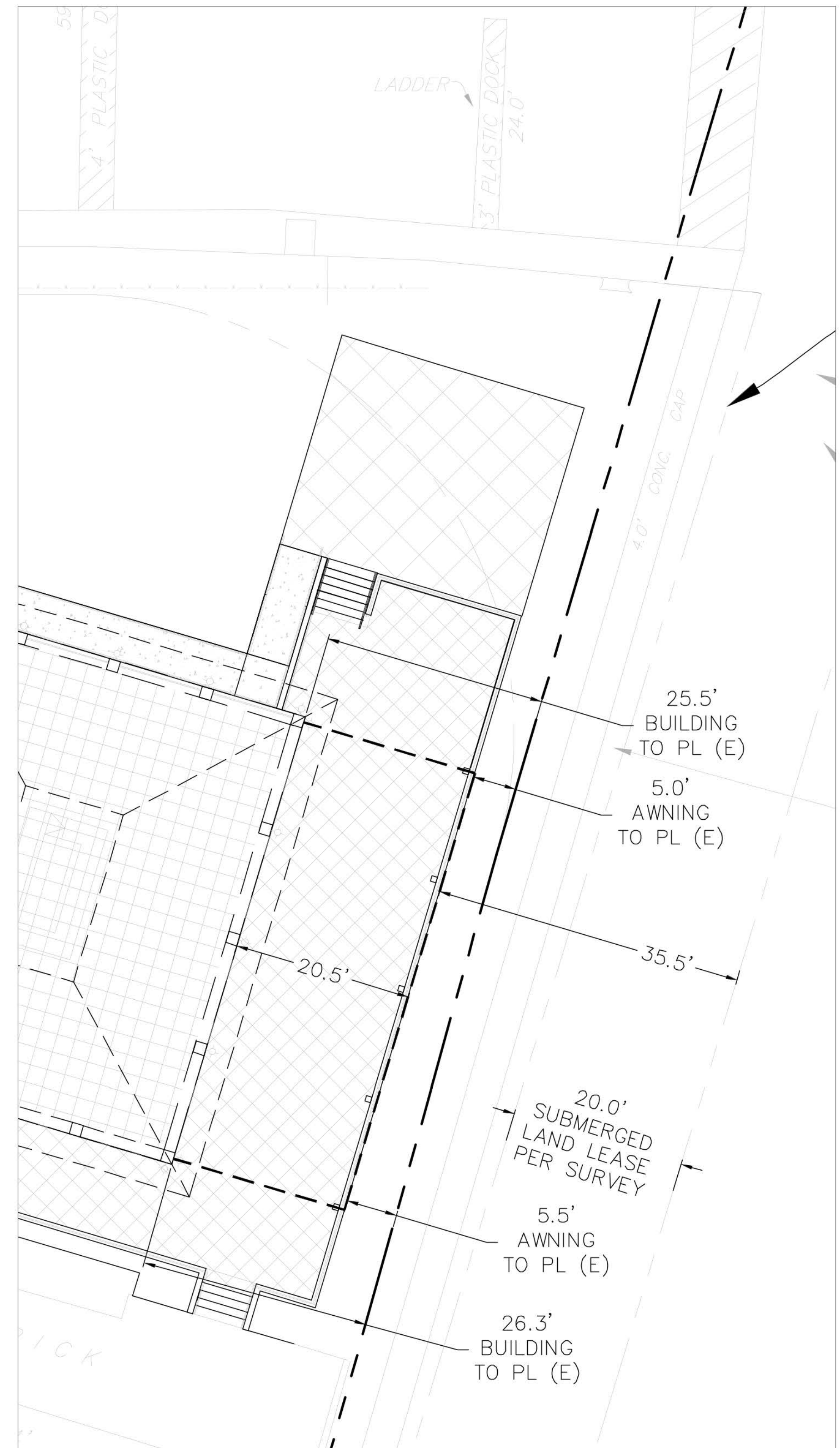
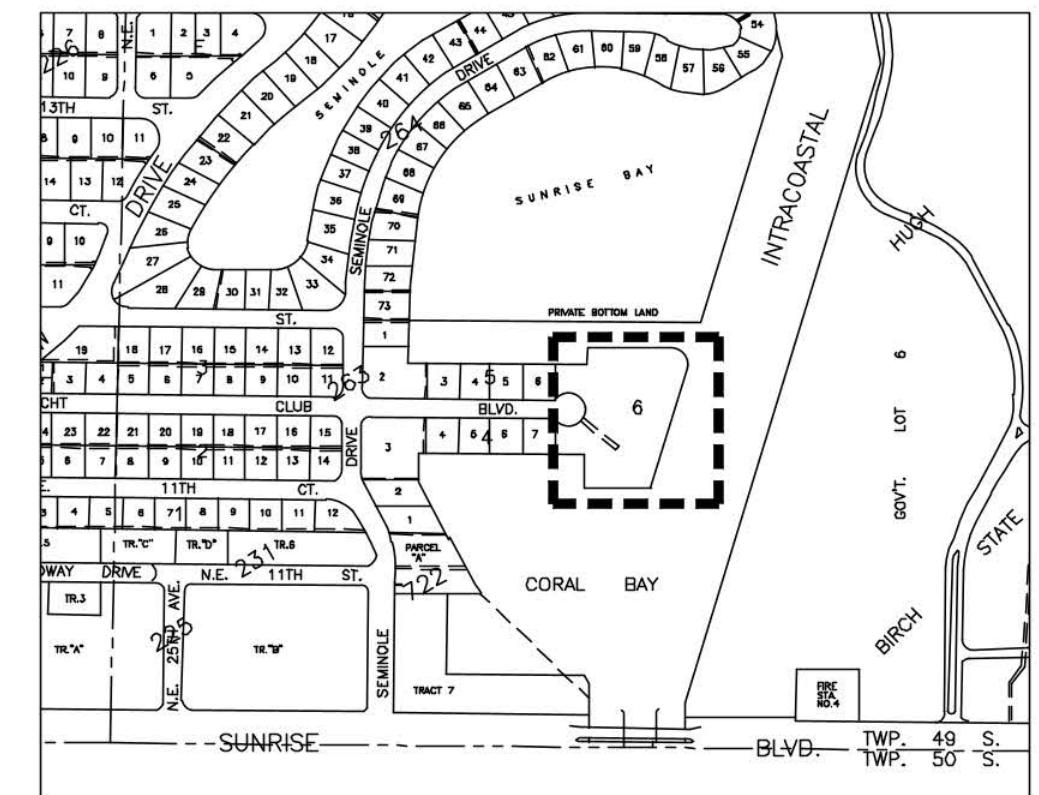
YARD TABLE	REQUIRED 47-8.30	PREVIOUSLY APPROVED	PROVIDED
FRONT YARD (WEST) - WATER	25'	123.6' (extg bldg)	123.6' (NO CHANGE)
SIDE YARD (SOUTH) - WATER	25'	236.2' (extg clubhouse)	236.2' (NO CHANGE)
SIDE YARD (EAST) - WATER	25'	50.9' (extg clubhouse)	35.9' (POINT BAR)
SIDE YARD (NORTH) - WATER	25'	102.6' (extg bldg)	100.5' (POINT BAR)

NOTE: YACHT CLUB USE IS EXEMPT FROM 20' LANDSCAPE YARD REQUIREMENTS PER ULDR 47-23.8

SIDE YARD (EAST) - WATER	25'	24.7' (extg clubhouse)	5.0' (NEW AWNING)
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TOTAL SITE AREA	± 5.5 ACRES TOTAL/ ± 243,124 S.F.	
TOTAL SUBMERGED (DEEDED) LAND EXISTING	102,432 S.F.	42.2%
TOTAL SUBMERGED (DEEDED) LAND PROPOSED	102,432 S.F.	42.2%
TOTAL PERVIOUS EXISTING (LANDSCAPE)	25,566 S.F.	10.5%
TOTAL PERVIOUS PROPOSED (LANDSCAPE)	26,700 S.F.	11.0%
TOTAL IMPERVIOUS EXISTING (POOL)	9,008 S.F.	3.7%
TOTAL IMPERVIOUS PROPOSED (POOL)	9,008 S.F.	3.7%
TOTAL IMPERVIOUS EXISTING	73,467 S.F.	30.2%
TOTAL IMPERVIOUS PROPOSED	70,847 S.F.	29.2%
TOTAL BUILDING FOOT PRINT EXISTING	32,651 S.F.	13.4%
TOTAL BUILDING FOOT PRINT PROPOSED	34,037 S.F.	13.9%

LIMIT OF WORK AREA	± 0.36 ACRES TOTAL/ ± 15,675 S.F.	
TOTAL PERVIOUS EXISTING (LANDSCAPE)	3,504 S.F.	22.3%
TOTAL PERVIOUS PROPOSED (LANDSCAPE)	4,643 S.F.	29.6%
TOTAL IMPERVIOUS EXISTING	11,723 S.F.	74.8%
TOTAL IMPERVIOUS PROPOSED	9,198 S.F.	58.7%
TOTAL BUILDING FOOT PRINT EXISTING	448 S.F.	2.9%
TOTAL BUILDING FOOT PRINT PROPOSED	1,834 S.F.	11.7%

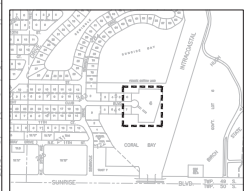
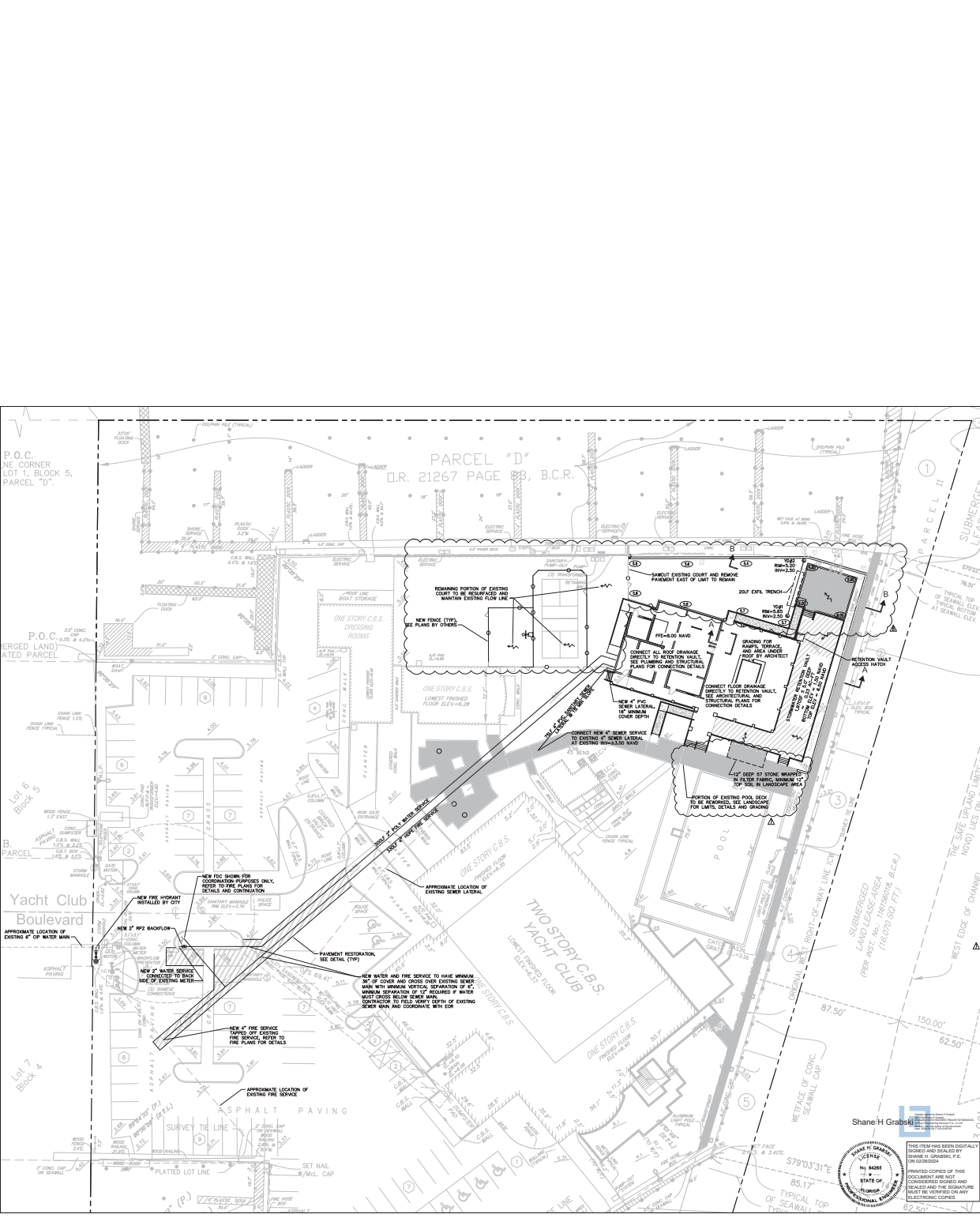


Revisions	

Phase:  
BOARD OF ADJUSTMENT DOCUMENTS

SEAL

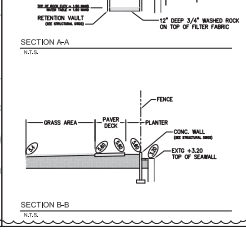
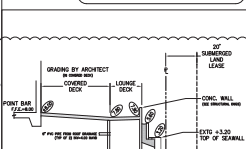
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Proj. Mgr.	
SHG	
Appr. by	1 of 1
JMF	



**LOCATION MAP**  
 SOIL TYPE

PRELIMINARY 2019 FLOOD ZONE "FIRM" (1% FLOOD) NAVD  
 FLOOD ZONE "M" (1% FLOOD) NAVD AND "M" (1% FLOOD) NAVD  
 PER FIRM MAP #13102008A DATED: AUG 18, 2014  
 BROWARD COUNTY 100 YEAR 3 DAY CONTINGENT ELEV. 6.0 NAVD  
 AVERAGE NET SEASON WATER LEVEL ELEV. (1.0) NAVD

- LEGEND:**
- (E) PROPOSED ELEVATION (NAVD)
  - (E) EXISTING ELEVATION (NAVD)
  - (C) PROPOSED CATCH BASIN
  - (U) PROPOSED PLUG
  - (W) WATER METER
  - (M) DOUBLE DETECTOR CHECK VALVE
  - (M) REDUCED PRESSURE BACKFLOW PREVENTOR
  - (A) ORIGINAL FLOW ARROW
  - (A) PROPOSED MANHOLE
  - (W) WATER MAIN
  - (V) VALVE
  - (F) FIRE HYDRANT
  - (S) SURFACE CONNECTION
  - (S) SLEWOUT
  - (S) SIDE OF PROPOSED PAVEMENT (ASPHALT)
  - (S) SECTION OF SURFACE DRAINAGE
  - (S) SAMPLE POINT
  - (S) EXIST. WATER MAIN
  - (S) EXIST. UTILITY LINE TO BE REMOVED IN PLACE
  - (S) PROPOSED MANHOLE



**ENGINEERING PLAN**

**CORAL RIDGE YACHT CLUB  
 POINT BAR**  
 2600 YACHT CLUB BLVD  
 FORT LAUDERDALE, FLORIDA 33304



Revisions	DATE	BY
1	12/05/21	SHG
2	02/22/24	SHG

Phone: 954-576-1111  
 PROJECT DOCUMENTS

SCALE	Date
AS SHOWN	12/05/21
AS NOTED	02/22/24
Drawn by	SHG
Check by	SHG
Scale	1" = 3'

Shane H Grabski

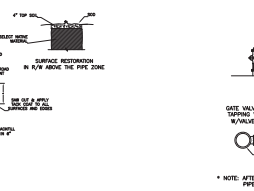
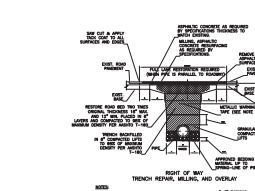
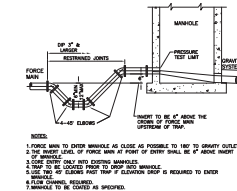
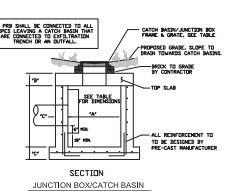
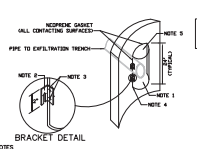
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SHANE H GRABSKI, P.E. ON 02/22/24  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

Revisions	DATE	BY	REVISION

Project: **POINT BAR**  
 Documents:

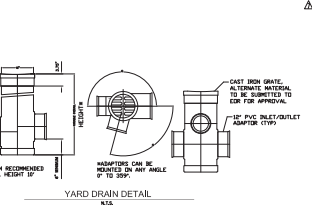
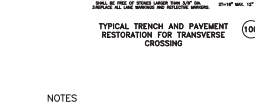
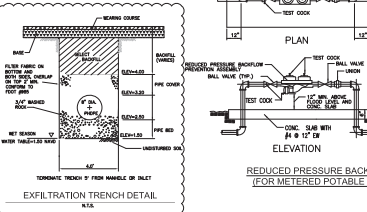
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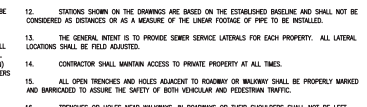


**SUMMARY OF DRAINAGE STRUCTURES**

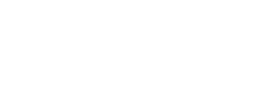
STRUCTURES	TYPE	W/D	D/P	W/D	FRAME (D/S, # OF EQUALS)	GRADE (D/S, # OF EQUALS)
C2B	TP	37" x 49"	8"	8"	6000 STEEL	6000 STEEL
C2B	TP	4'-0" x 8"	8"	8"	6000 CAST IRON	6000 CAST IRON
C2B	TP	24" x 30"	8"	8"	6000 CAST IRON	6000 CAST IRON
MAN 1,2	TP	4'-0" x 8"	8"	8"	TYPE "C"	TYPE "C"
MAN 3	TP	24" x 30"	8"	8"	TYPE "C"	TYPE "C"
C2B	TP	24" x 30"	8"	8"	TYPE "C"	TYPE "C"



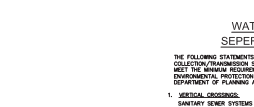
- GENERAL CONSTRUCTION NOTES:**
- NO CONNECTIONS FOR THE PURPOSE OF OBTAINING WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE TO ANY FIRE HYDRANT OR BLOW-OFF STRUCTURE WITHOUT FIRST OBTAINING PERMISSION AND A CONSTRUCTION METER FROM THE CITY OF FORT LAUDERDALE.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING, MOVING AND RELOCATING OR REPLACING ALL WATER SERVICES OR SERVICE LATERALS WHICH ARE ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A WRITTEN PLAN FOR WATER SERVICE AND WASTEWATER SERVICE CORRECTION FOR APPROVAL. (SEVEN) CALENDAR DAYS PRIOR TO THE ANTICIPATED DISRUPTION. THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNERS 48 HOURS IN ADVANCE OF ANY WORK ON THEIR SERVICES. THIS WORK SHALL BE CONSIDERED INCIDENTAL.
  - THE CONTRACTOR MUST EXERCISE CARE TO AVOID DAMAGE OR DISRUPTION TO ANY EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. ALL PLAN LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED. CONTRACTOR IS TO CONTACT SANSING STATE ONE CALL OF FLORIDA AT 1-800-432-4775 AND ALL OTHER PARTICIPATING UTILITIES 2 FULL BUSINESS DAYS PRIOR TO CONSTRUCTION FOR FIELD MARKUP LOCATIONS OF EXISTING UTILITIES AND FACILITIES.
  - THE CONTRACTOR MUST NOTIFY THE CITY AT LEAST 48-HOURS IN ADVANCE OF CONSTRUCTION, IN WRITING IF ANY CONTACT IS DISCOVERED DURING PLOT HOLE OPERATIONS FOR CORRECTION BY THE CITY.
  - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITIES DEPARTMENT OF THE CITY OF FORT LAUDERDALE AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE TO COORDINATE ANY ACTIVITY TO BE PERFORMED BY THE CITY'S UTILITIES DEPARTMENT.
  - CONTRACTOR SHALL NOT OBTAIN ACCESS OUTSIDE EXISTING ROADS-WAY.
  - IN EXISTING EXISTING STRUCTURES AND UTILITIES ARE NOTED AS EXISTING AND/OR SHOWN IN THIN LINES, NEW CONSTRUCTION IS IN HEAVY LINES AND/OR UNDERLINED.
  - ALL WORK WITHIN STATE DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH FDOT SPECIFICATIONS AND PERMIT REQUIREMENTS.
  - ALL WORK WITHIN BROWARD COUNTY RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH THE BROWARD COUNTY MINIMUM STANDARDS AND/OR REQUIREMENTS.
  - CONTRACTOR SHALL COMPLY WITH ALL LOCAL CITY, COUNTY AND STATE REGULATIONS PERTAINING TO THE CLOSING OF PUBLIC STREETS FOR USE OF TRAFFIC DURING CONSTRUCTION.
  - CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC (MOT) PLANS TO FDOT, CITY OF FORT LAUDERDALE, BROWARD COUNTY AS REQUIRED FOR WORK TO BE DONE WITHIN THEIR R/W PRIOR TO COMMENCEMENT OF WORK. SPECIFIC AGENCY NOT REQUIREMENTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - STATIONS SHOWN ON THE DRAWINGS ARE BASED ON THE ESTABLISHED BASELINE AND SHALL NOT BE CONSIDERED AS DECISIONS OR AS A MEASURE OF THE LINEAR FOOTAGE OF PIPE TO BE INSTALLED.
  - THE GENERAL INTENT IS TO PROVIDE SEWER SERVICE LATERALS FOR EACH PROPERTY. ALL LATERAL LOCATIONS SHALL BE FIELD ADJUSTED.
  - CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE PROPERTY AT ALL TIMES.
  - ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAY OR WALKWAY SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
  - TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS SHALL NOT BE LEFT OPEN DURING NIGHT TIME HOURS WITHOUT ADEQUATE PROTECTION.
  - CONTRACTOR SHALL PROMPTLY REPAIR AND RESTORE EXISTING PAVEMENT, SIDEWALKS, CURBS, DRIVEWAYS, PAVES, RESIDENTIAL AND COMMERCIAL SPRINKLER LINES, CONDUIT, CABLES, ETC. AND LANDSCAPE AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AS REQUIRED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT AND/OR WHEN REQUIRED FOR PUBLIC SAFETY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION AND UNITS ACCEPTANCE OF WORK FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
  - LOCATION OF AIR RELEASE VALVES MAY BE FIELD ADJUSTED BY THE ENGINEER OR CITY OF FORT LAUDERDALE AS NECESSARY.
  - CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, SAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAIN WITH ASPHALT.
  - EXISTING TRAFFIC SIGNS SHALL BE RESET UPON COMPLETION PER FDOT STANDARDS. COST SHALL BE CONSIDERED INCIDENTAL. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED TRAFFIC SIGNAL LOOPS PER BROWARD COUNTY TRAFFIC ENGINEERING SPECIFICATIONS; COST SHALL BE INCIDENTAL.
  - CONTRACTOR SHALL PAINT NEW TRAFFIC SIGNS MARKINGS WHERE EXISTING TRAFFIC SIGNS MARKINGS ARE DAMAGED OR REMOVED DURING CONSTRUCTION. THIS WORK SHALL BE CONSIDERED INCIDENTAL.



OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1) (4)	JOINT SPACING & FULL CROSSINGS (2) (3) (5) (6)
TIME SAVING WATER MAIN (RELIEVES WATER ON)	Water Main	Water Main	Water Main
UNION SANITARY SEWER	Water Main	Water Main	Water Main
CRUISE SANITARY SEWER	Water Main	Water Main	Water Main
DATE SEWER TRENCH & SERVICE LINE	Water Main	Water Main	Water Main



OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1) (4)	JOINT SPACING & FULL CROSSINGS (2) (3) (5) (6)
TIME SAVING WATER MAIN (RELIEVES WATER ON)	Water Main	Water Main	Water Main
UNION SANITARY SEWER	Water Main	Water Main	Water Main
CRUISE SANITARY SEWER	Water Main	Water Main	Water Main
DATE SEWER TRENCH & SERVICE LINE	Water Main	Water Main	Water Main



OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1) (4)	JOINT SPACING & FULL CROSSINGS (2) (3) (5) (6)
TIME SAVING WATER MAIN (RELIEVES WATER ON)	Water Main	Water Main	Water Main
UNION SANITARY SEWER	Water Main	Water Main	Water Main
CRUISE SANITARY SEWER	Water Main	Water Main	Water Main
DATE SEWER TRENCH & SERVICE LINE	Water Main	Water Main	Water Main

**WATER - SEWER SEPARATION NOTES:**

- VERTICAL CROSSINGS:** SANITARY SEWER EXISTENCE AND FOR NEW AND WATER MAIN SHALL CROSS UNDER POTABLE WATER MAINS UNLESS OTHERWISE SPECIFIED. SANITARY SEWER EXISTENCE AND FOR NEW AND WATER MAIN SHALL CROSS UNDER POTABLE WATER MAINS UNLESS OTHERWISE SPECIFIED. SANITARY SEWER EXISTENCE AND FOR NEW AND WATER MAIN SHALL CROSS UNDER POTABLE WATER MAINS UNLESS OTHERWISE SPECIFIED.
- HORIZONTAL SEPARATIONS:** SANITARY SEWER EXISTENCE AND FOR NEW AND WATER MAIN SHALL CROSS UNDER POTABLE WATER MAINS UNLESS OTHERWISE SPECIFIED. SANITARY SEWER EXISTENCE AND FOR NEW AND WATER MAIN SHALL CROSS UNDER POTABLE WATER MAINS UNLESS OTHERWISE SPECIFIED.
- CONNECTIONS:** SANITARY SEWER EXISTENCE AND FOR NEW AND WATER MAIN SHALL CROSS UNDER POTABLE WATER MAINS UNLESS OTHERWISE SPECIFIED. SANITARY SEWER EXISTENCE AND FOR NEW AND WATER MAIN SHALL CROSS UNDER POTABLE WATER MAINS UNLESS OTHERWISE SPECIFIED.

SCALE: 1/8" = 1'-0"  
 DATE: 12/05/21  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 TITLE: C2  
 SCALE: 2/3

B·B·M



**STRUCTURAL ENGINEERS**  
Orlando • Boca Raton

# LETTER OF TRANSMITTAL

TO: Slattery & Assoc.  
2060 NW Boca Raton Blvd.  
Suite 2  
Boca Raton, Fl. 33431  
561-392-3848

DATE: 07-07-23	JOB NO: 22275
ATTENTION:	
RE: CRYC	
Electronic	

We are sending you the following attached items:

- Shop drawings     
  Prints     
  Vellums     
  Specifications  
 Letter     
  Calculations     
  Product Data

COPIES	DATE	DESCRIPTION
1	07-7-23	Awning

THESE ARE TRANSMITTED as checked below:

- For approval     
  Reviewed  
 For your use     
  Reviewed with notations  
 As requested     
  Revise and Resubmit  
 For review and comment     
  Not Reviewed (See explanation Below)

REMARKS:

---



---



---

COPY TO \_\_\_\_\_

SIGNED: Hank Wilson, CA

P: 561 • 750 • 1916  
399 W. Palmetto Park Rd • Suite 200  
Boca Raton, FL 33432

# CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS

2800 YACHT CLUB BOULEVARD, FORT LAUDERDALE, FL 33304

## GENERAL STRUCTURAL NOTES

### GENERAL CONDITIONS

THIS SET OF DRAWINGS IS NOT TO BE SCALED; USE DIMENSIONS AND INFORMATION SHOWN.

PRIOR TO PROCEEDING WITH ANY WORK AND FABRICATION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS FOR PROPOSED STRUCTURES SHOWN OR NOT SHOWN ON THE DRAWINGS. ALL DIMENSIONAL DISCREPANCY FOUND ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

VERIFY ALL PROPOSED CONDITIONS AT THE JOB SITE. PROTECT AND MAINTAIN ALL PROPOSED STRUCTURES, UTILITIES, FACILITIES AND THEIR CONTENTS.

THE GENERAL CONTRACTOR SHALL AT ALL TIMES MAINTAIN AT THE JOBSITE A CURRENT APPROVED SET OF DRAWINGS.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION ADJACENT STRUCTURES, UTILITY LINES, FIXTURES, STREETS AND SIDE WALKS DURING EXCAVATION AND CONSTRUCTION.

BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.

THE USE OF A SCALE TO OBTAIN DIMENSIONS NOT SHOWN ON OUR DRAWINGS IS STRICTLY PROHIBITED. WE WILL NOT BE RESPONSIBLE FOR ERRORS RESULTING FROM SUCH ACTION.

USE OF ALTERNATE PRODUCTS TO THOSE SPECIFIED IN THESE SET OF DRAWINGS IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER. APPROVAL OF ALL CHANGES SHALL BE OBTAINED PRIOR TO CONSTRUCTION.

### DESIGN CRITERIA

THE STRUCTURAL COMPONENTS FOR THIS PROJECT HAVE BEEN DESIGNED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE (FBC) 2020.

THE FOLLOWING LOADS HAVE BEEN USED FOR THE STRUCTURAL DESIGN OF THE CANOPIES:

### CONCRETE

SHALL BE A MIX DESIGNED IN ACCORDANCE WITH A.C.I. 301 (LATEST EDITION) TO ACHIEVE A 28-DAY COMPRESSIVE STRENGTH OF 4000 P.S.I. AND A MAXIMUM WATER-CEMENT RATIO OF 0.40 AND A SLUMP OF 4" ± 1".

ALL CONCRETE SHALL CONTAIN AN ENGINEER-APPROVED A.S.T.M. C494 TYPE 'D' ADMIXTURE (WATER-REDUCING RETARDER).

CONCRETE ON EXPOSED BALCONIES, SLABS, BEAMS AND STAIRS SHALL HAVE A TOP SURFACE COATED WITH 'ALKYL-ALKOXY SILANE SEALER' OR ENGINEER-APPROVED EQUAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. WATER-CEMENT RATIO IN EXPOSED BALCONIES SHALL BE 0.40.

TRANSPORTATION, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH A.C.I. 318 BUILDING CODE (LATEST EDITION).

ALL CONCRETE STRUCTURAL COMPONENTS SHALL HAVE CONCRETE STRENGTH TESTED IN ACCORDANCE WITH A.S.T.M. STANDARDS, FLORIDA BUILDING CODE 2020 AND ACI 318 (LATEST EDITION). TEST CYLINDERS MUST BE TAKEN EVERY 50 CUBIC YARDS OF CONCRETE PRIOR TO PLACEMENT. TESTING LAB SHALL PROVIDE COPIES OF CONCRETE TESTS RESULTS TO ENGINEER'S OFFICE FOR REVIEW.

CONCRETE MIX DESIGN SHALL BE SUBMITTED TO ENGINEER'S OFFICE FOR REVIEW.

### CONCRETE COVER

MINIMUM CONCRETE COVER TO REINFORCING STEEL IN ACCORDANCE WITH ACI 318-08 AND SHALL BE AS FOLLOWS:

ELEMENT	CONCRETE COVER		
	BOTTOM	TOP	SIDE
FOUNDATION	3"	2"	2"



LOCATION MAP  
SCALE: N.T.S.

### SCOPE OF WORK

- CONSTRUCTION OF 1050 SF ALUMINUM RETRACTABLE AWNING STRUCTURE.

### DRAWINGS LIST

G-100	GENERAL NOTES AND LOCATION MAP.
S-100	SITE PLAN.
S-200	RETRACTABLE ROOF FOUNDATION PLAN VIEW.
S-201	RETRACTABLE ROOF PLAN VIEW.
S-400	RETRACTABLE ROOF SECTIONS.
S-500	RETRACTABLE ROOF DETAILS.
S-501	RETRACTABLE ROOF DETAILS.

Approved  Not Approved  Approved as Noted

Checking is only for conformance with the design concept of the project and compliance with information in the Contract Documents. Subcontractor is responsible to confirm dimensions at the job site for the fabrication process, techniques of construction and coordination of the work with all trades. Shop Drawing errors do not relieve the Subcontractor of complying with the Contract Documents, applicable codes or specifications in every respect.

Date: 7/10/23 By: D. Bliss

Bliss Construction, LLC

\* Reviewed solely for compliance with wind design criteria

REVIEWED  
 REVIEWED WITH NOTATIONS  
 REJECTED OR NOT REVIEWED (SEE EXPLANATION)  
 REVISION AND RESUBMIT

Corrections or comments made on equipment submittals or shop drawings during this review do not relieve the contractor from compliance with requirements of the drawings and specifications. This check is only for review of general conformances with the design concept of the project and general compliance with the information given in the contract documents. The contractor is responsible for confirming and correlating all quantities and dimensions, selecting fabrication processes and techniques of construction, coordinating his work with that of all other trades and performing his work in a safe and satisfactory manner.

STRUCTURAL ENGINEERS

DATE 07/07/23 REVIEWED BY: JM  
Orlando Boca Raton

Submittal No. Project No. 22275 Project Eng. JRM

Project Name: Coral Ridge Yacht Club Point Bar



**CONEMCO**  
ENGINEERING, INC.  
CIBA Consulting Corporation  
7820 N. AZUL AVENUE UNIT 600  
MIAMI, FL 33154  
PHONE: 305-456-1936  
FAX: 305-456-1937  
WWW.CONEMCO.COM

Digitally signed by Jose M. Peralta  
Date: 2023.06.08 12:19:58 -0400

JOSE M PERALTA, P.E.  
FLORIDA P.E. NO. 121958

CONEMCO CORP. TAXES

PROJECT NAME / ADDRESS:  
CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS  
2800 YACHT CLUB BOULEVARD, FORT LAUDERDALE, FL 33304

CLIENT(S) NAME:  
SMART SHADES STRUCTURES  
8572 NW 50TH STREET, MIAMI, FL 3316

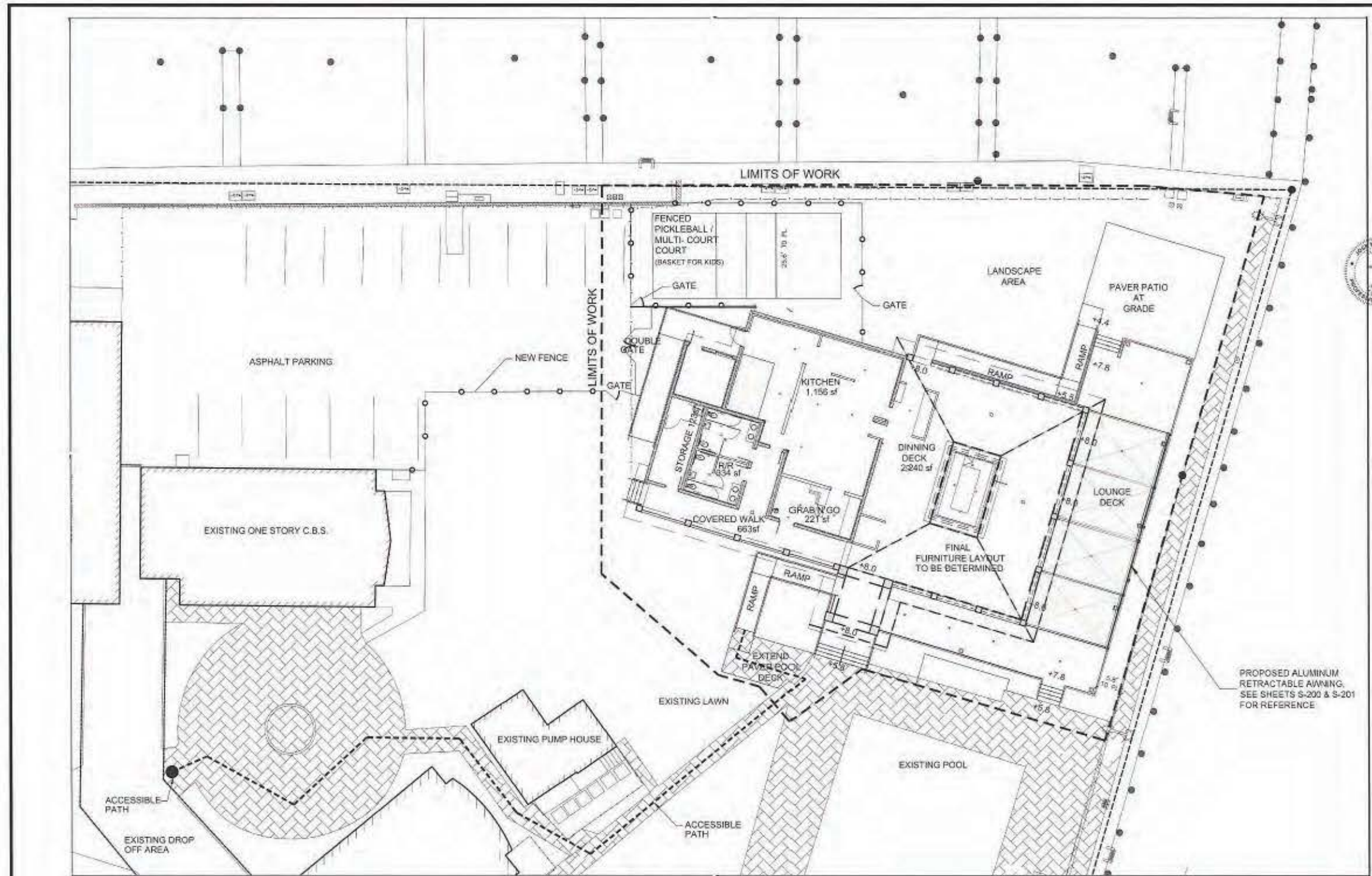
REVISIONS	DATE

DATE	5/4/2023
SCALE	AS SHOWN
DRAWN	JP
CHECKED	JP
APPROVED	JP
PROJECT ID	FPV-22275-013
CONTRACT NO.	-

SHEET NAME:  
GENERAL NOTES AND LOCATION MAP

DRAWING NO.  
G-100

Sheet No.  
1 OF 6



**DESIGN LOADS**

WIND LOADS:  
 IN ACCORDANCE WITH ASCE 7-18 WITH 3 SECOND SUSTAINED WIND GUSTS,  
 BUILDING CATEGORY II  
 EXPOSURE-D  
 ENCLOSURE CATEGORY: OPEN BUILDING

WIND VELOCITY=170 MPH FOR THE RETRACTABLE ROOF (FULLY RETRACTED)  
 WIND VELOCITY=105 MPH FOR THE RETRACTABLE ROOF (FULLY EXTENDED)

**SITE PLAN**  
 SCALE: 1/4" = 1'-0"

**PLAN NOTES**

1. ALL DIMENSION DISCREPANCY FOUND ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
2. SEE SHEETS S-200 AND S-201 FOR RETRACTABLE ROOF PLAN VIEWS.
3. SEE SHEET S-400 FOR RETRACTABLE ROOF SECTIONS.
4. SEE SHEETS S-500 AND S-501 FOR DETAILS.
5. REFER TO G-100 FOR GENERAL STRUCTURAL NOTES.
6. ELECTRICAL OUTLET AND CIRCUITS FOR THE MOTORIZED AWNING BY OTHERS UNDER SEPARATE PERMIT.

**CONEMCO ENGINEERING, INC.**  
 ENGINEERING INC.  
 2835 Cor. Douglas Blvd. (2nd Floor) Doral, FL 33126  
 781.420.4200  
 781.420.4200  
 781.420.4200

Digitally signed by Jose M Peralta  
 Date: 2023.06.08 12:19:13 -04'00'  
 JOSE M PERALTA, P.E.  
 LICENSE NO. 131740

PROJECT NAME / ADDRESS:  
**CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS**  
 2800 YACHT CLUB BOULEVARD, FORT LAUDERDALE, FL 33304

CLIENT/OWNER:  
**SMART SHADES STRUCTURES**  
 6972 NW 50TH STREET, MIAMI, FL 33146

REVISIONS	DATE

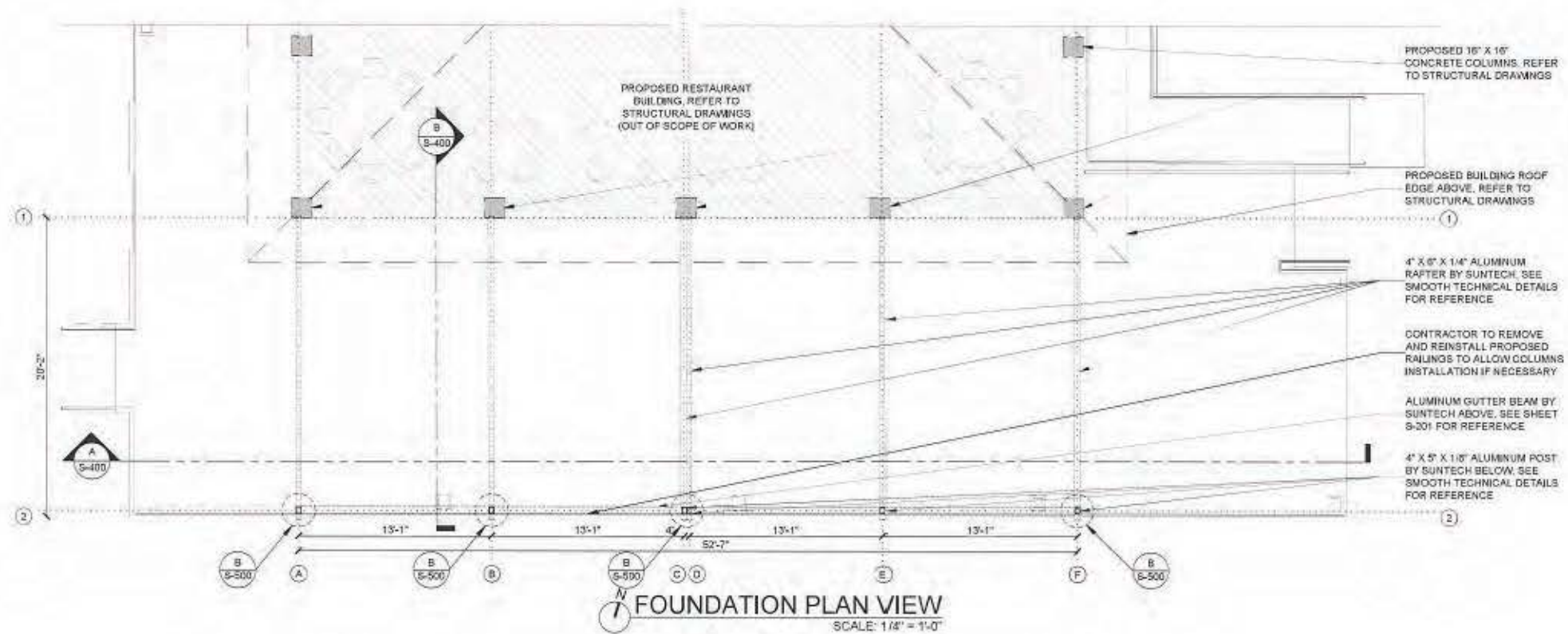
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DRAWN	FP
CHECKED	RS
APPROV	JP
PROJECT ID	FPV-2221012
CONTRACT NO.	-

SHEET NAME:  
 SITE PLAN

DRAWING NO.  
**S-100**

Sheet No.  
 2 OF 5





**CONEMCO**  
ENGINEERING, INC.  
CORPORATE OFFICE  
280 NW 43RD AVENUE, SUITE 400  
MIAMI, FL 33136  
MAIN NUMBER: 305-538-5538  
CELL: 305-538-1807  
FAX: 305-538-1808  
CIVIL 23487

Digitally signed by Jose M. Peralta  
Date: 2023.06.05 12:18:43 -0400  
JOSE M. PERALTA, P.E.  
FLORIDA REG. NO. 121843-04100  
CONEMCO CONSULTANTS

PROJECT NAME / ADDRESS:  
CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS  
2800 YACHT CLUB BOULEVARD, FORT LAUDERDALE, FL 33304  
CLIENT/OWNER:  
SMART SHADES STRUCTURES  
6972 NW 50TH STREET, MIAMI, FL 3316

REVISIONS	DATE

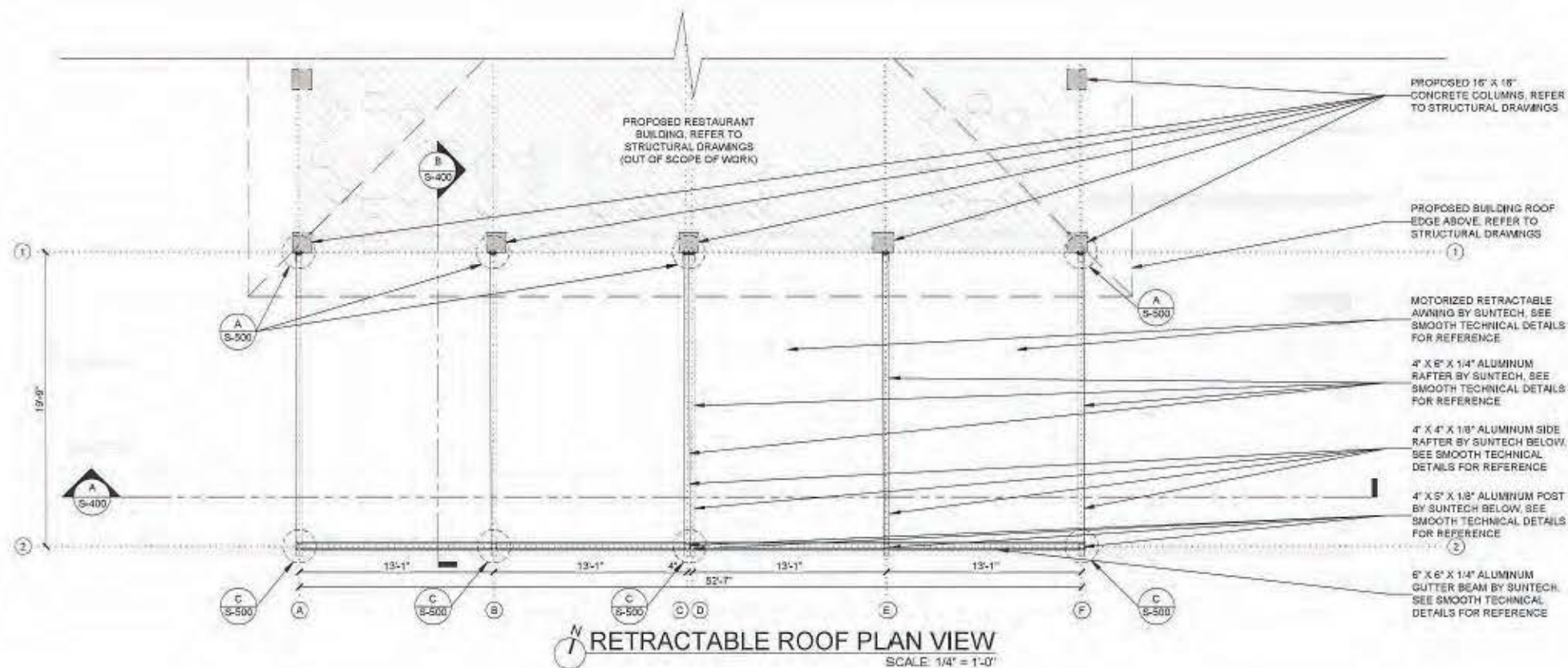
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CHECKED	PS
APPROVED	JP
PROJECT ID	PPA5231012
CONTRACT NO.	-

SHEET NAME:  
RETRACTABLE ROOF FOUNDATION PLAN VIEW  
FOUNDATION PLAN VIEW

DRAWING NO.  
**S-200**  
Sheet No.  
3 OF 6

DESIGN LOADS
WIND LOADS: IN ACCORDANCE WITH ASCE 7-16 WITH 3 SECOND SUSTAINED WIND GUSTS. BUILDING CATEGORY II EXPOSURE=D ENCLOSURE CATEGORY: OPEN BUILDING  WIND VELOCITY=170 MPH FOR THE RETRACTABLE ROOF (FULLY RETRACTED) WIND VELOCITY=105 MPH FOR THE RETRACTABLE ROOF (FULLY EXTENDED)

PLAN NOTES
1. ALL DIMENSION DISCREPANCY FOUND ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
2. SEE SHEETS S-500 AND S-501 FOR DETAILS.
3. REFER TO S-100 FOR GENERAL STRUCTURAL NOTES.
4. CONTRACTOR TO NOTIFY OWNER THAT RETRACTABLE ROOF WILL REQUIRE TO BE OPENED WHEN WIND VELOCITIES ARE EQUAL OR GREATER THAN 75 MPH.
5. RETRACTABLE ROOF SHALL BE IDENTIFIED BY A DECAL STATING "RETRACTABLE ROOF SHALL BE OPENED WHEN WIND SPEEDS EXCEED 75 MPH". DECALS SHALL BE PLACED VISIBLE WHEN THE PANEL IS INSTALLED.
6. ELECTRICAL OUTLET AND CIRCUITS FOR THE MOTORIZED AWNING BY OTHERS UNDER SEPARATE PERMIT.



**CONEMCO ENGINEERING, INC.**  
 DBA: CONEMCO CONSULTANTS  
 7820Y 42ND AVENUE, SUITE 100  
 MIAMI, FL 33156  
 PHONE: 305-442-4444  
 FAX: 305-442-4444  
 WWW.CONEMCO.COM

Digitally signed by Jose M. Peralta  
 Date: 2023.08.08 12:20:31 -05'00'  
 JOSE M. PERALTA, P.E.  
 FLORIDA LICENSE #12203

PROJECT NAME / ADDRESS:  
 CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS  
 2800 YACHT CLUB BOULEVARD, FORT LAUDERDALE, FL 33304

CLIENT OWNER:  
 SMART SHADES STRUCTURES  
 6972 NW 50TH STREET, MIAMI, FL 3316

REVISIONS	DATE

DATE	5/4/2023
SCALE	AS SHOWN
DRAWN	RP
CHECKED	PE
APPROVED	JF
PROJECT NO.	191A-S231012
CONTRACT NO.	

**DESIGN LOADS**

**WIND LOADS**  
 IN ACCORDANCE WITH ASCE 7-16 WITH 3 SECOND SUSTAINED WIND GUSTS, BUILDING CATEGORY II, EXPOSURE: 0, ENCLOSURE CATEGORY: OPEN BUILDING

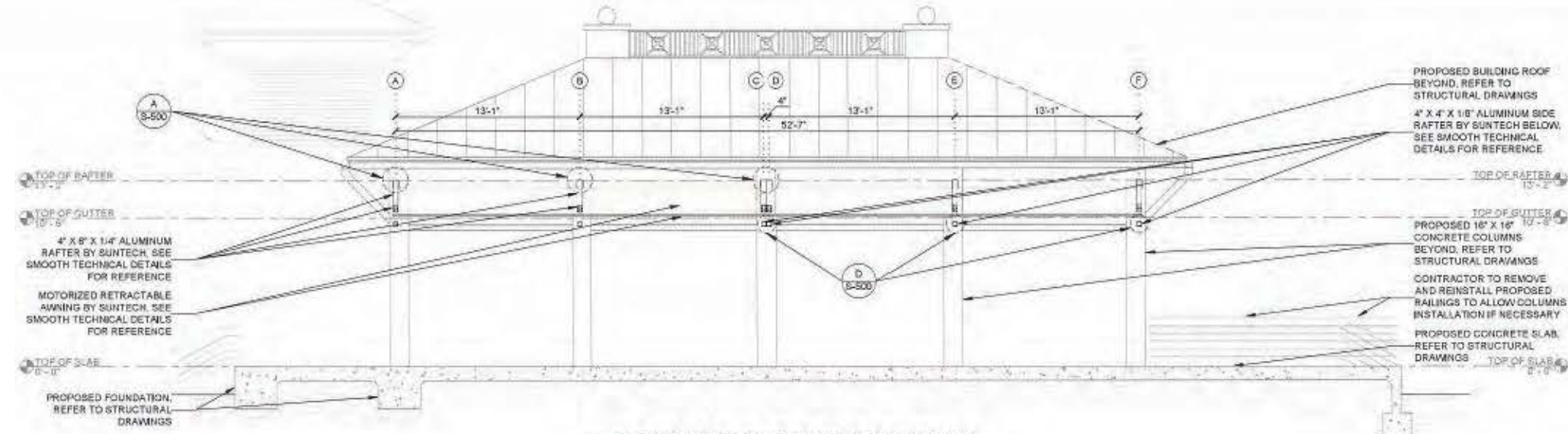
WIND VELOCITY=170 MPH FOR THE RETRACTABLE ROOF (FULLY RETRACTED)  
 WIND VELOCITY=105 MPH FOR THE RETRACTABLE ROOF (FULLY EXTENDED)

- PLAN NOTES**
- ALL DIMENSION DISCREPANCY FOUND ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
  - SEE SHEETS S-500 AND S-501 FOR DETAILS.
  - REFER TO G-100 FOR GENERAL STRUCTURAL NOTES.
  - CONTRACTOR TO NOTIFY OWNER THAT RETRACTABLE ROOF WILL REQUIRE TO BE OPENED WHEN WIND VELOCITIES ARE EQUAL OR GREATER THAN 75 MPH.
  - RETRACTABLE ROOF SHALL BE IDENTIFIED BY A DECAL STATING "RETRACTABLE ROOF SHALL BE OPENED WHEN WIND SPEEDS EXCEED 75 MPH". DECALS SHALL BE PLACED VISIBLE WHEN THE PANEL IS INSTALLED.
  - ELECTRICAL OUTLET AND CIRCUITS FOR THE MOTORIZED AWNING BY OTHERS UNDER SEPARATE PERMIT.

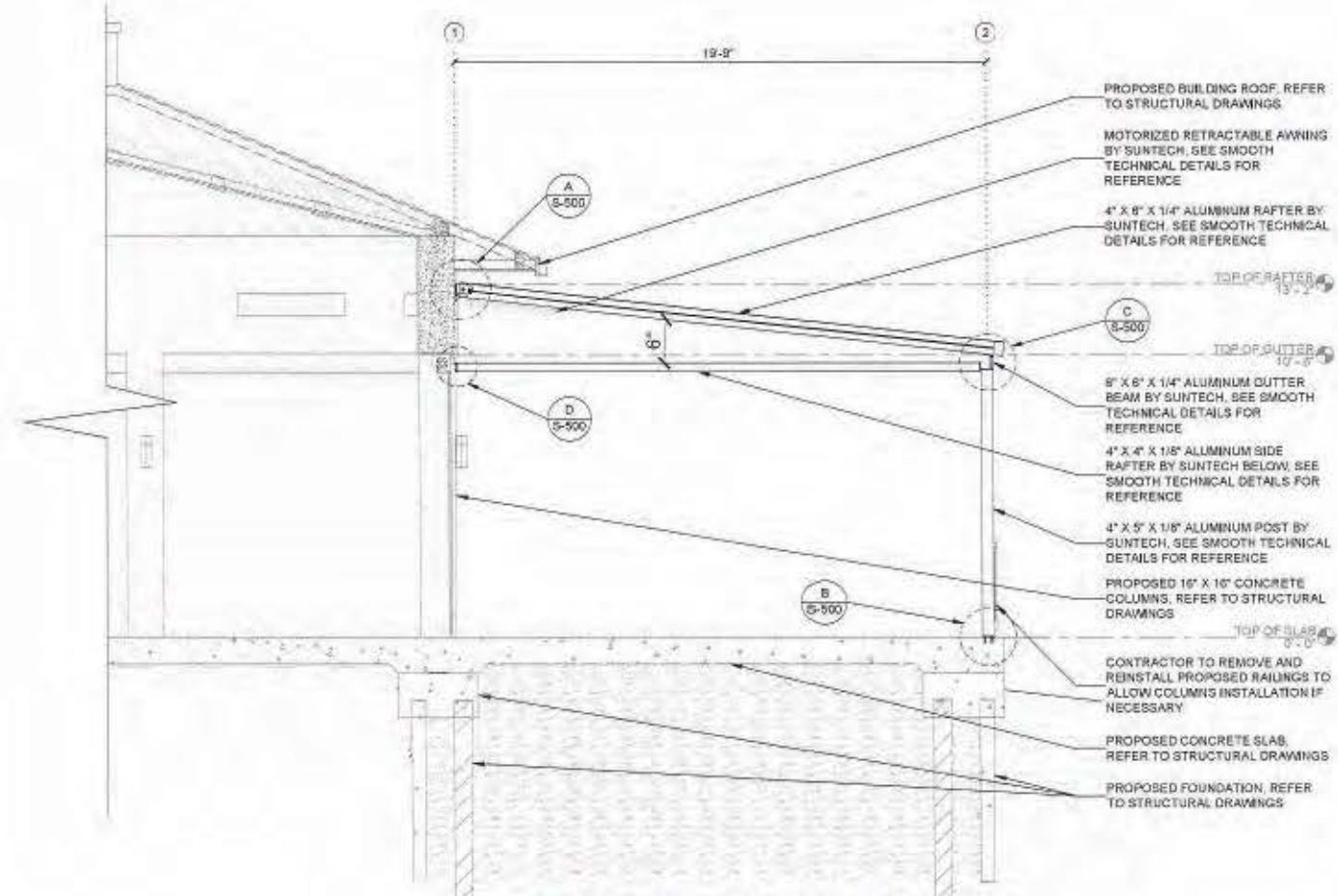
SHEET NAME:  
 RETRACTABLE ROOF PLAN VIEW

DRAWING NO.  
**S-201**

Sheet No.  
 4 OF 6



**A** RETRACTABLE ROOF SECTION  
SCALE: 1/4" = 1'-0"



**B** RETRACTABLE ROOF SECTION  
SCALE: 3/8" = 1'-0"

**CONEMCO**  
ENGINEERING, INC.  
19360 NW 42ND AVENUE SUITE 800  
MIAMI, FL 33186  
MAIN NUMBER: 305-551-1033  
FAX: 305-551-1034  
WWW.CONEMCO.COM

CA 12345



Digitally signed by Jose M. Peralta  
Date: 2023.06.08 12:20:14 -04'00'

**Jose M. Peralta**  
P.E.  
FLORIDA P.E. NO. 122014-04100

PROJECT NAME / ADDRESS:  
CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS  
2800 YACHT CLUB BOULEVARD, FORT LAUDERDALE, FL 33304

CLIENT/OWNER:  
SMART SHADES STRUCTURES  
8972 NW 50TH STREET, MIAMI, FL 33116

REVISIONS	DATE

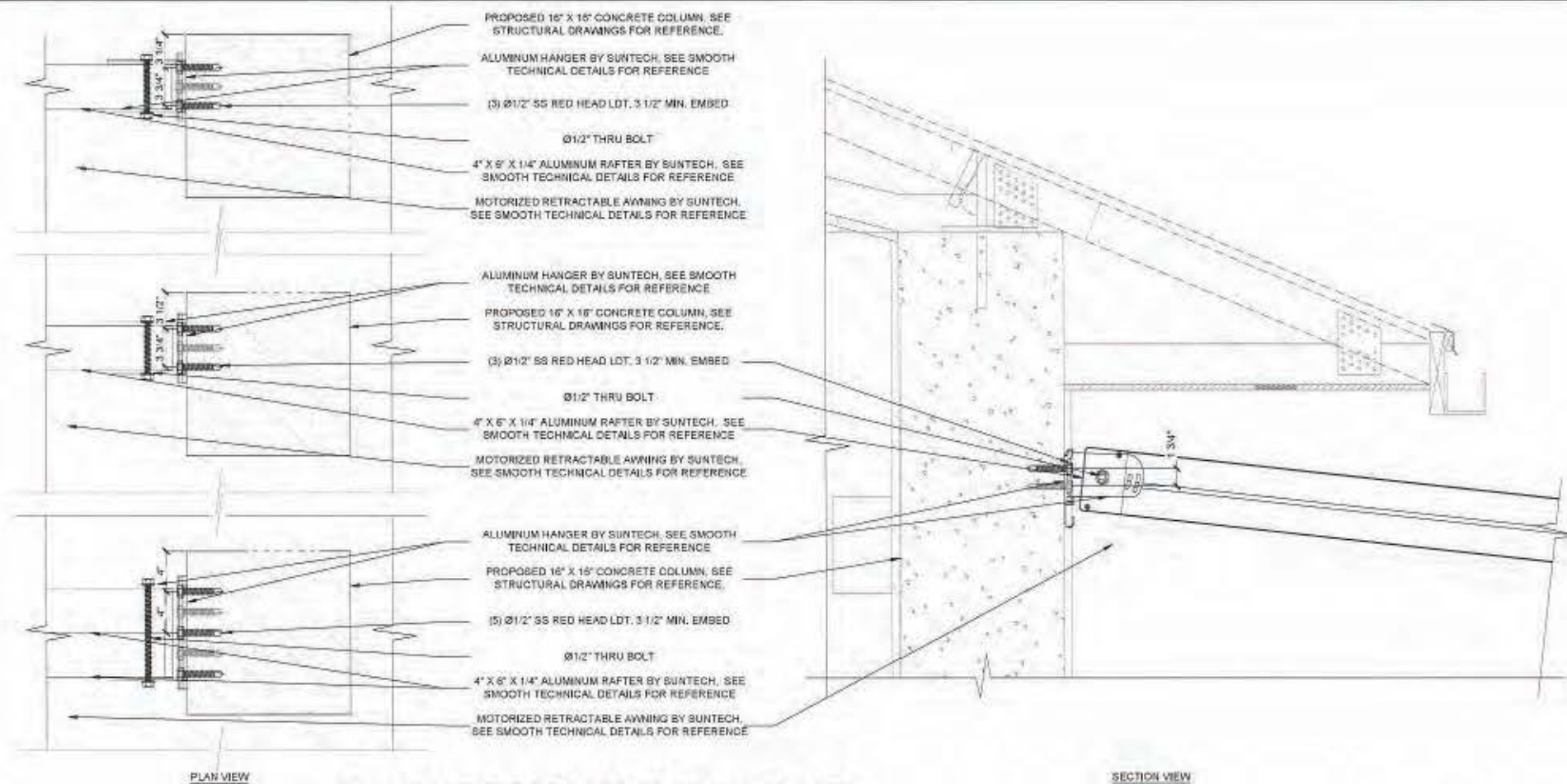
  

DATE	6/4/2023
SCALE	AS SHOWN
DRAWN	FP
CHECKED	PS
APP'D	JP
PROJECT NO.	FP4-2321012
CONTRACT NO.	-

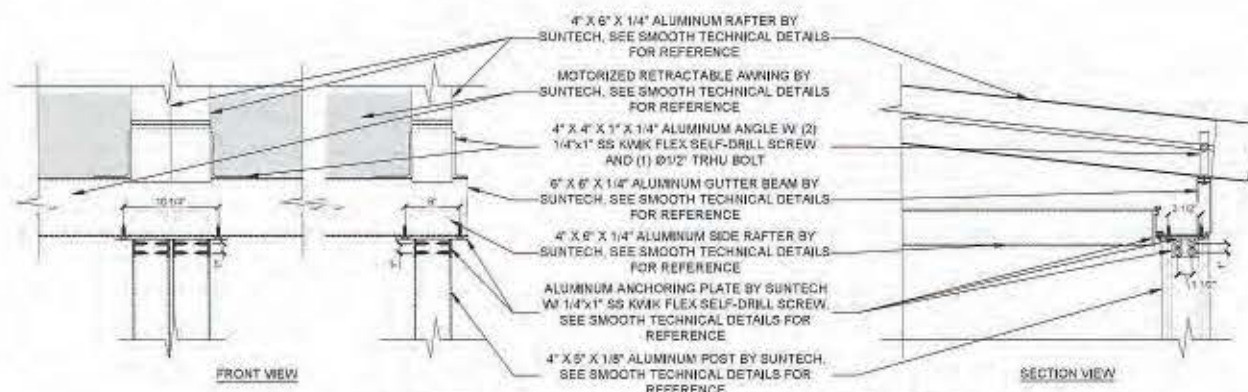
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RETRACTABLE ROOF SECTIONS

DRAWING NO.  
**S-400**

Sheet No.  
5 OF 5



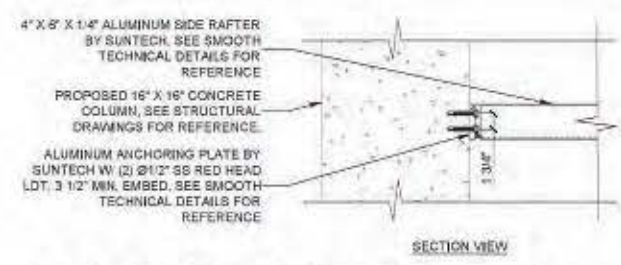
**A** RETRACTABLE ROOF TO CONCRETE COLUMN CONNECTION DETAIL SCALE: 2" = 1'-0"



**C** RAFTERS TO GUTTER AND GUTTER TO POST CONNECTION DETAIL SCALE: 1 1/2" = 1'-0"



**B** POST TO CONCRETE SLAB CONNECTION DETAIL SCALE: 1" = 1'-0"



**D** SIDE RAFTER TO CONCRETE COLUMN CONNECTION DETAIL SCALE: 1 1/2" = 1'-0"

**CONEMCO**  
ENGINEERING, INC.  
CIBA CONSULTING CORPORATION  
15500 SW 28th St., Suite 200, Boca Raton, FL 33433  
TEL: 561-995-1534 FAX: 561-995-1535  
WWW.CONEMCO.COM  
MAN NUMBER 099259-1534  
04/25/24



Digitally signed by Jose M Peralta  
Date: 2023.06.08 12:18:27-0400  
JOSE M PERALTA, P.E.  
FLORIDA REG. NO. 12218

PROJECT NAME / ADDRESS:  
CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS  
2800 YACHT CLUB BOULEVARD, FORT LAUDERDALE, FL 33304  
CLIENT OWNER:  
SMART SHADES STRUCTURES  
6972 NW 50TH STREET, MIAMI, FL 33156

REVISIONS	DATE

DATE	5/4/2023
SCALE	AS SHOWN
DRAWN	PP
CHECKED	PS
APP'D	JP
PROJECT ID	PPA-2023-012
CONTRACT NO.	

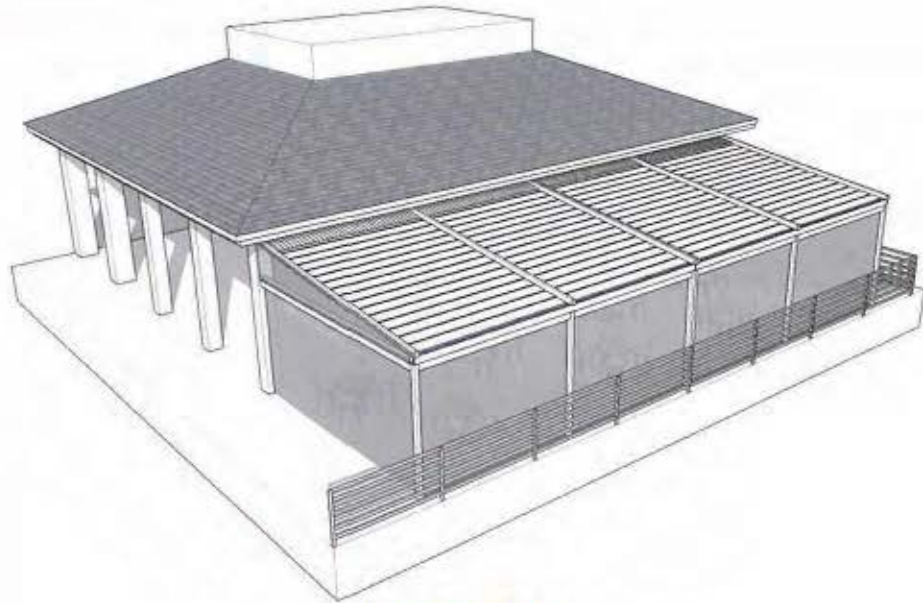
SHEET NAME:  
RETRACTABLE ROOF DETAILS

DRAWING NO.  
**S-500**  
Sheet No.  
6 OF 6

# STRUCTURAL CALCULATIONS FOR ONE ALUMINUM CANOPY WITH RETRACTABLE ROOF SYSTEM

AT

2800 YACHT CLUB BOULEVARD, FORT LAUDERDALE, FL 33304



Prepared for:

Smart Shade Structures Corp.

6972 NW 50TH ST., MIAMI, FL 33166

By:



SBA's: Civil - Structural - MEP - CEM - Program Management - Land Surveyors

782 NW 42nd Avenue Unit 635,  
Miami, FL 33126



Jose M  
Peralta

Digitally signed  
by Jose M  
Peralta  
Date: 2023.06.08  
12:16:41 -04'00'

Prepared By:

JOSE M. PERALTA, P.E

FL PE # 91463

MAY 2023

Approved  Not Approved  Approved as Noted

Checking is only for conformance with the design concept of the project and compliance with information in the Contract Documents. Subcontractor is responsible to confirm dimensions at the job site for the fabrication process, techniques of construction and coordination of the work with all trades. Shop Drawing errors do not relieve the Subcontractor of complying with the Contract Documents, applicable codes or specifications in every respect.

Date: 7/4/23 By: J. Peralta

Bliss Construction, LLC

## INDEX

<b>STRUCTURAL DESIGN CRITERIA</b> .....	Page 3
<b>CANOPY WIND LOADS CALCULATIONS</b> .....	Page 4-7
<b>ACTING LOADS CANOPY FRAMING</b> .....	Page 8-15
- 3D Views	
- Acting Wind Loads	
- Dead Loads Reactions	
- Wind Loads Reactions	
- Interactions Ratios	
<b>CANOPY FRAME CONNECTIONS</b> .....	Page 16-18
 <b>APPENDIX</b>	
- RED HEAD LDT ANCHOR TABLES	
- HIT-RE 500 EPOXY ADHESIVE ANCHORING SYSTEM TABLES	



## STRUCTURAL DESIGN CRITERIA

The retractable canopy has been designed using prefabricated aluminum retractable roof system.

Wind pressures calculated for a Building exposure category D with 105 Mi/hr and 3 seconds wind gusts for the retractable roof. Roof will be retracted when wind velocities are equal or greater than 75 MPH.

### **The following material strength capacities were used for design:**

- Structural Aluminum Yield Strength 35 KSI.

### **Design Codes and standards:**

- Florida Building Code 2020.
- ASCE-7-16 Minimum Design Loads for Building and Other Structures.
- 2015 Aluminum Design Manual.

# CANOPY WIND LOADS CALCULATIONS

(MAIN WIND FORCE RESISTING SYSTEM - OPEN)



**Project: CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS**

**Wind load Calculation for Open Roof Framing**

Free monoslope structure will be designed with MWFRS forces.

As per Part 1 of Chapter 27 Main Wind Force-Resisting System Loads, ASCE 7-16

- Buildings of all heights
- Flat roof, gable roof, multi span roof
- Enclosed Building, Partially Enclosed
- And Open Building of all Heights

**Building information:**

Building Height	13.5	ft
Roof angle	10	Degrees
Building Category	II	
Wind Exposure	D	As per Section 26.7.3
Building classification	Open	

**Basic Wind Pressure**       $Q_h = .00256 K_e K_d K_z K_{zt} V^2$

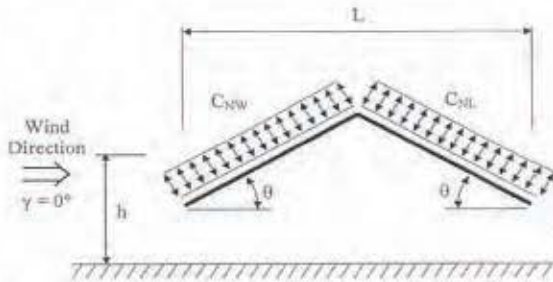
$K_e =$	1	As per Table 26.9-1
$K_d =$	0.85	As per Table 26.6-1
$K_z =$	1.03	As per Table 26.10-1
$K_{zt} =$	1	As per section 26.8.1
$V =$	105	MPH
$G =$	0.85	As per section 26.11

**$Q_h =$                       24.71    PSF**

**$P = Q_h ( G * C_p - G_{cpi} )$**

**ROOF PRESSURES FOR MWFRS LOADS**

For Monoslope Free Open Roofs heights As per Figure 27.3-4



$P = Qh ( G * Cn )$

For Open Buildings

For Angle 6 degrees

As per Figure 27.3-5 Pitched Free Roofs

Roof pressure coefficient Cn			
Windward (Cnw)	Case A	1.1	
	Case B	0.2	
Leeward (Cnl)	Case A	-0.3	
	Case B	-1.2	

**ROOF ULTIMATE WINDWARD PRESSURES**

**ALLOWABLE PRESSURES**

Windward	$Qh \times (G * Cnw) =$	23.1	PSF	13.9	PSF
	$Qh \times (G * Cnw) =$	4.2	PSF	2.5	PSF

**ROOF ULTIMATE LEEWARD PRESSURES**

**ALLOWABLE PRESSURES**

Leeward	$Qh \times (G * Cnl) =$	-6.3	PSF	-3.8	PSF
	$Qh \times (G * Cnl) =$	-25.2	PSF	-15.1	PSF

**LOADS APPLIED ON ROOF MEMBERS (MOST CRITICAL)**

V= 105 MPH

Wind Pressure Case (A)	13.9	PSF
Wind Pressure Case (B)	-15.1	PSF
Roof Tributary Width	13.17	FT

Wind Load Case (A)	182.5	LB/FT
Wind Load Case (B)	-199.1	LB/FT

**Tributary Width x Wind Pressure Case (B)**

**Loads used in software analysis**

Wind Load Case (A)	185.0	LB/FT
Wind Load Case (B)	-200.0	LB/FT

**LOADS APPLIED ON STRUCTURE**

V= 170 MPH

Wind Pressure Case (A)	36.3	PSF
Wind Pressure Case (B)	-39.6	PSF
Structure Tributary Width	0.52	FT

Wind Load Case (A)	19.1	LB/FT
Wind Load Case (B)	-20.8	LB/FT

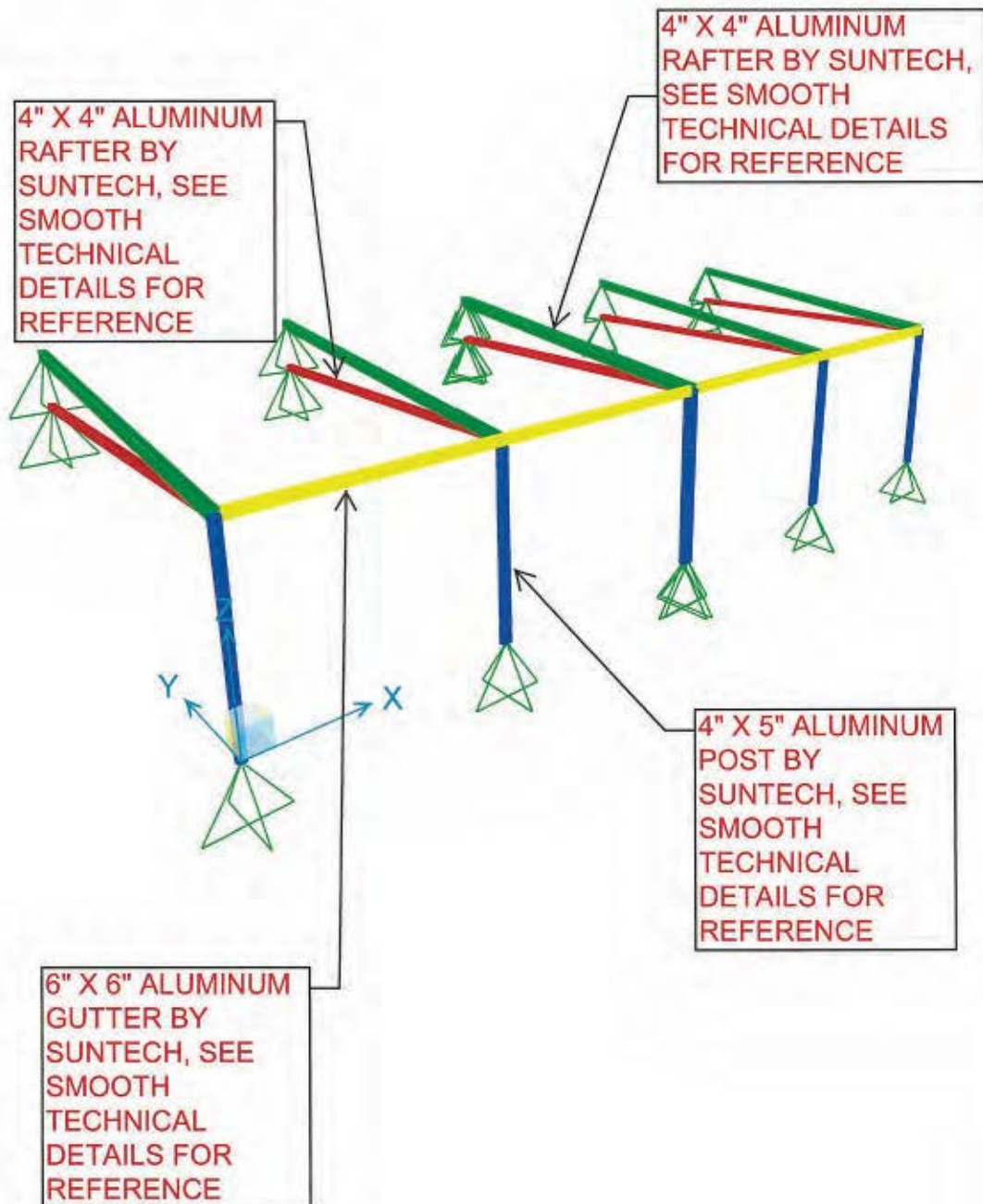
**Tributary Width x Wind Pressure Case (B)**

**Loads used in software analysis**

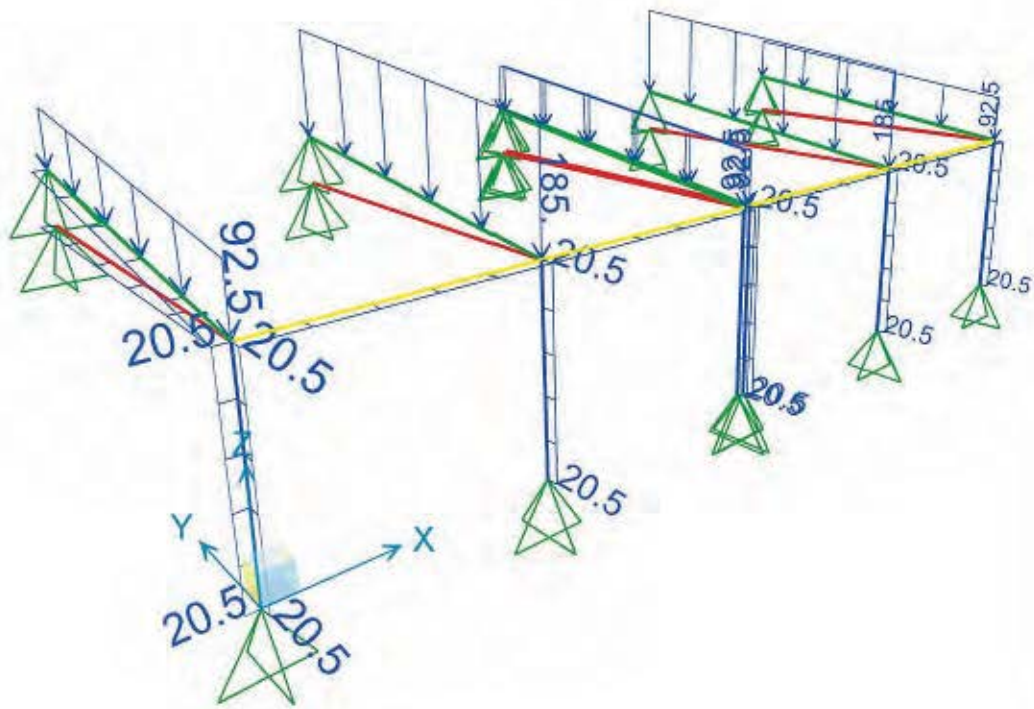
Wind Load Case (A)	20.0	LB/FT
Wind Load Case (B)	-21.0	LB/FT

# ACTING LOADS ON CANOPY FRAMING

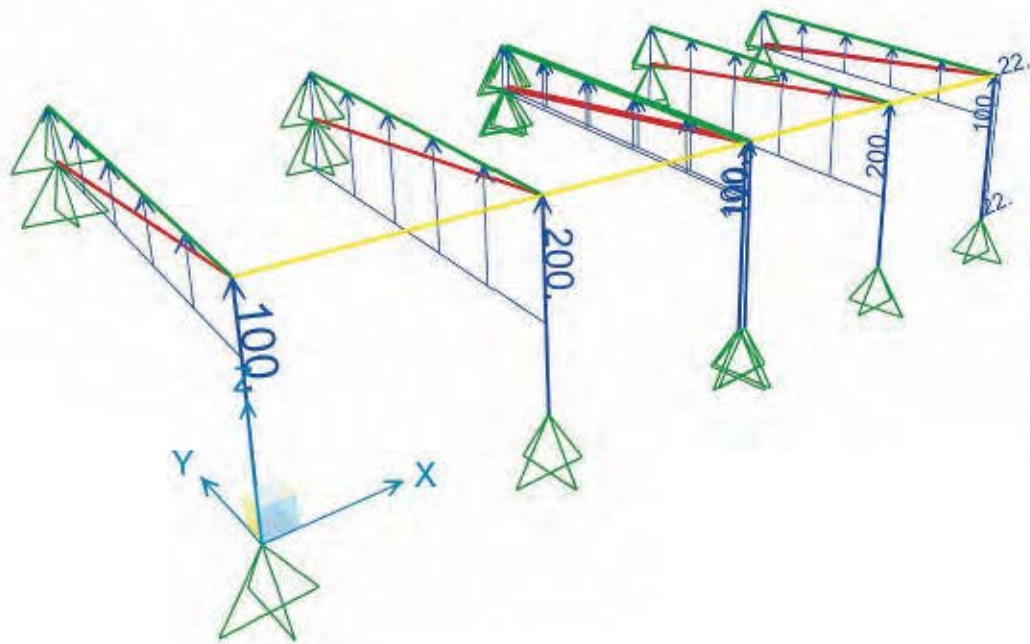
# RETRACTABLE ROOF 3D VIEW



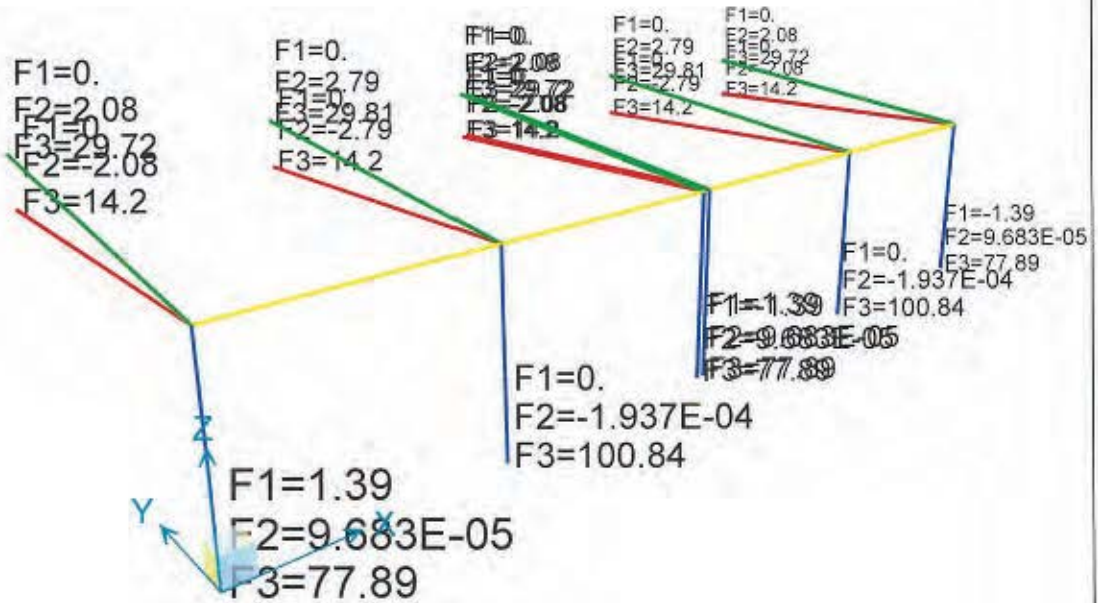
# ACTING WIND LOADS (CASE A)



# ACTING WIND LOADS (CASE B)

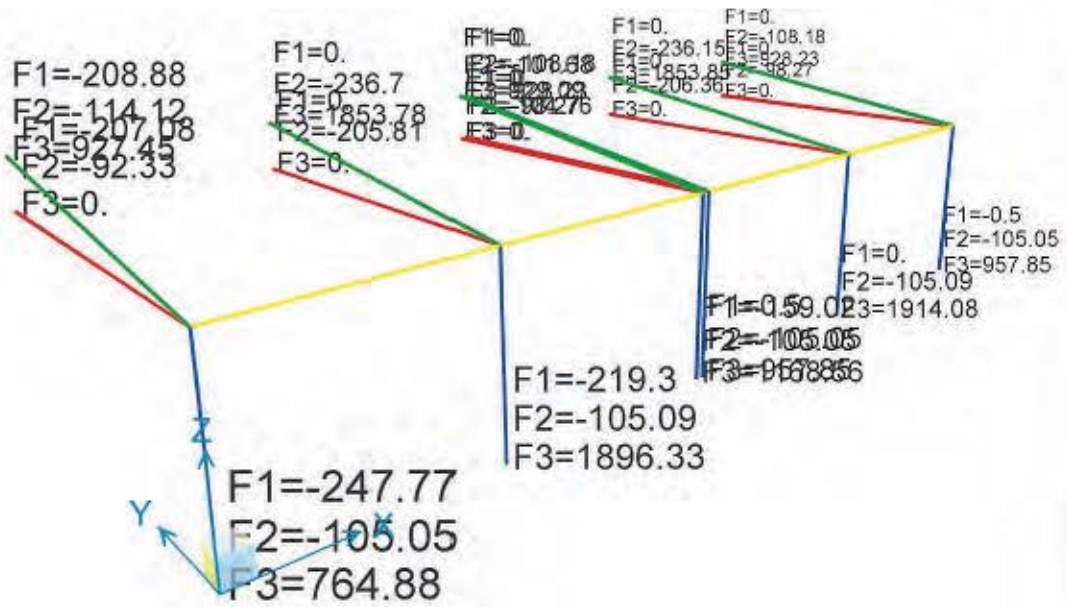


# SELF WEIGTH REACTIONS

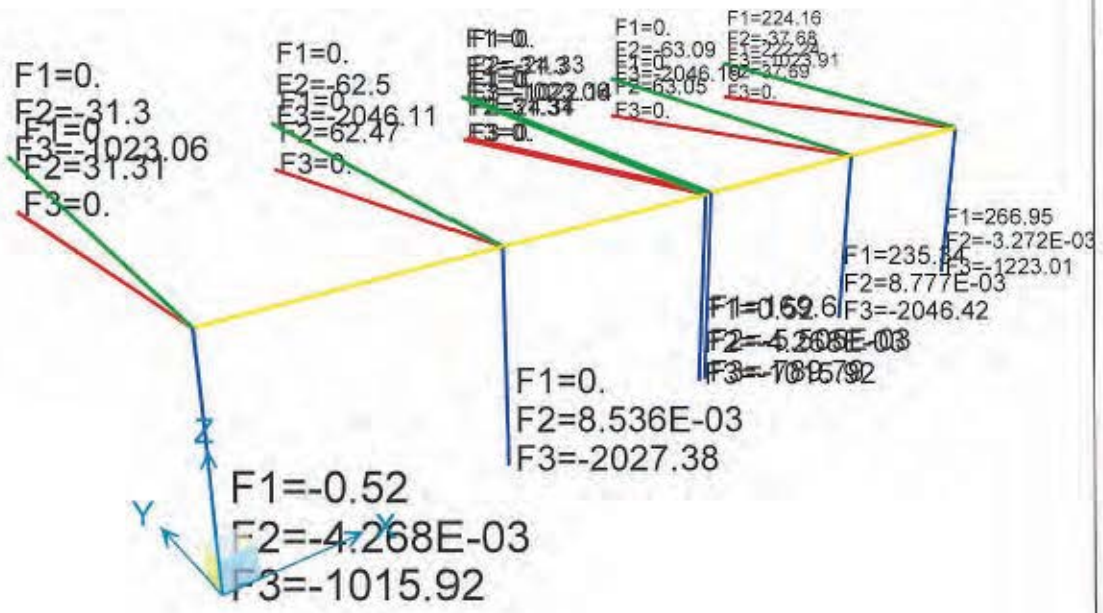




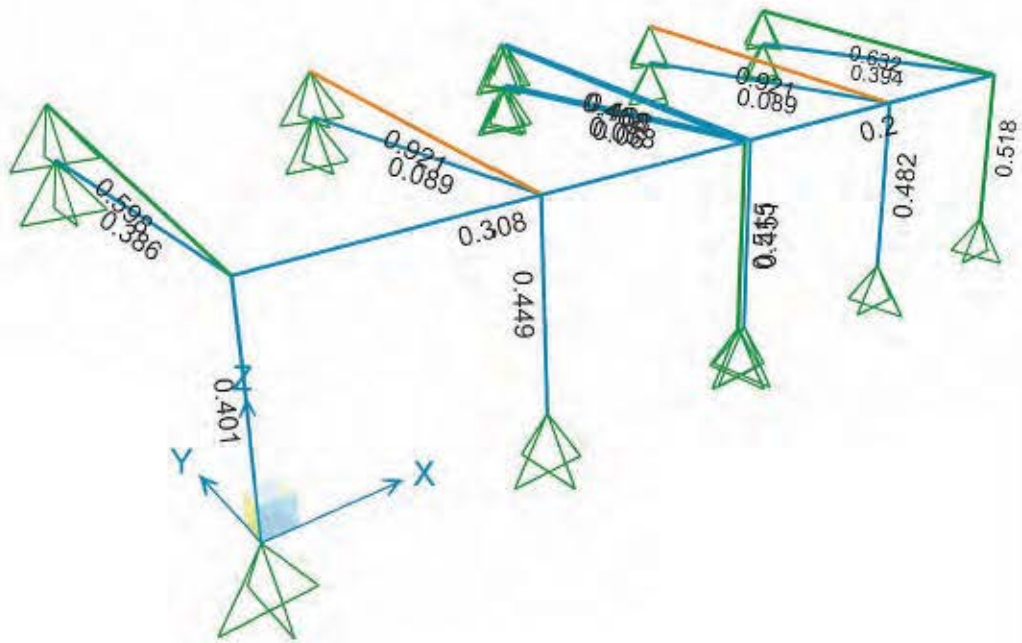
# ACTING WIND LOADS (CASE A) REACTIONS



# ACTING WIND LOADS (CASE B) REACTIONS



# INTERACTION RATIOS



# CANOPY FRAME CONNECTIONS

**Project: CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS**

**Canopy Top Connection**

Acting Shear Load (V)  
 Acting Tension Load (T)

235.0  
 2,046.4

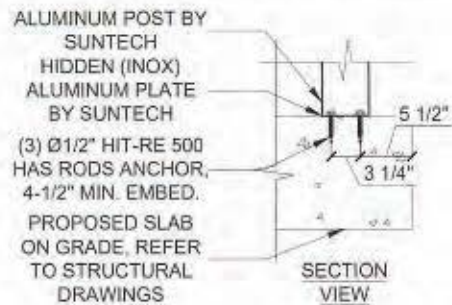
Lbs  
 Lbs

**Most Critical Reaction From Software**

**Wind load Case B Reaction - 0.6x Dead load reaction**

**HIT-RE 500 HAS RODS ANCHOR**

Bolt diameter	1/2	in
Edge Distance	5.50	in
Bolts Spacing	3.25	in
No. of Bolts	2	
Anchor depth	4.5	in
Concrete f'c	4,000	Psi
Allowable shear	7,935.0	Lbs
Allowable tension	5,275.0	Lbs
Spacing Tension	0.75	
Edge Distance Tension	0.88	
Spacing Shear	0.75	
Edge Distance Shear	0.68	



HIT-RE 500 Epoxy Adhesive Anchoring System  
 Allowable Performance Table

Load adjustment factors table from HIT-RE 500  
 Epoxy Adhesive Anchoring System

**Check of Shear and Tension on bolts**

Unity Equation=  $\left( \frac{\text{Acting Shear}}{\text{Allowable Shear}} \right) + \left( \frac{\text{Acting Tension}}{\text{Allowable Tension}} \right) \leq 1.0$

$$\left( = \frac{118}{4,047} \right) + \left( \frac{1,023}{3,482} \right) \leq 1.0$$

$$= 0.32 < 1.0 \quad \text{Ok}$$

**Allowable Load for (1) Anchor Bolts**

**(Allowable Shear capacity) x (Shear Spacing) x (Shear Edge Distance Reduction Factors)**

**USE (2) 1/2" HIT-RE 500 HAS RODS ANCHOR, 4-1/2" MIN. EMBED.**

**Project: CORAL RIDGE YACHT CLUB - RETRACTABLE FABRIC CANOPY STRUCTURAL PLANS**

**Canopy Top Connection**

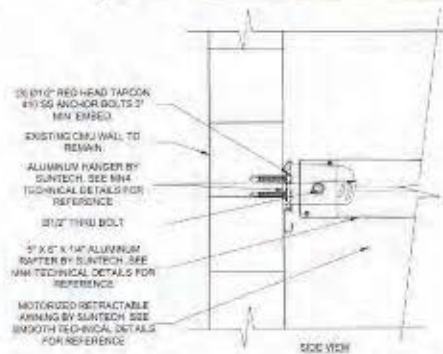
Acting Shear Load (V)  
Acting Tension Load (T)

2,046 Lbs  
63.1 Lbs

**Most Critical Reaction From Software**  
**Wind load Case B Reaction - 0.6x Dead load reaction**

**Red Head LDT Anchor**

Bolt diameter	1/2	in
Edge Distance	3.25	in
Bolts Spacing	3.75	in
No. of Bolts	3	
Anchor depth	3.50	in
Concrete f'c	4,000	Psi
Allowable shear	2,035.0	Lbs
Allowable tension	2,209.0	Lbs
Spacing Tension	0.38	
Edge Distance Tension	1.00	
Spacing Shear	0.66	
Edge Distance Shear	0.59	



Red Head LDT Anchor Allowable Performance Table

Load adjustment factors table from Red Head LDT Anchor

**Check of Shear and Tension on bolts**

Unity Equation= 
$$\left( \frac{\text{Acting Shear}}{\text{Allowable Shear}} \right) + \left( \frac{\text{Acting Tension}}{\text{Allowable Tension}} \right) \leq 1.0$$

$$\left( = \frac{682}{792} \right) + \left( \frac{21}{839} \right) \leq 1.0$$

$$= 0.89 < 1.0 \quad \text{Ok}$$

**Allowable Load for (1) Anchor Bolts**

**(Allowable Shear capacity) x (Shear Spacing) x (Shear Edge Distance Reduction Factors)**

**USE (3) 1/2" STAINLESS STEEL RED HEAD LDT ANCHOR, 3-1/2" MIN. EMBED.**

# APENDIX

### 3.2.5 HIT-RE 500 Epoxy Adhesive Anchoring System

Table 5 - HIT-RE 500 allowable and ultimate bond/concrete capacity for HAS rods in normal weight concrete<sup>1,2,3,4</sup>

Nominal anchor diameter in.	Effective embedment in. (mm)	HIT-RE 500 Allowable bond/concrete capacity				HIT-RE 500 Ultimate bond/concrete capacity			
		Tensile		Shear		Tensile		Shear	
		$f'_c = 2000$ psi (13.8 MPa) lb (kN)	$f'_c = 4000$ psi (27.6 MPa) lb (kN)	$f'_c = 2000$ psi (13.8 MPa) lb (kN)	$f'_c = 4000$ psi (27.6 MPa) lb (kN)	$f'_c = 2000$ psi (13.8 MPa) lb (kN)	$f'_c = 4000$ psi (27.6 MPa) lb (kN)	$f'_c = 2000$ psi (13.8 MPa) lb (kN)	$f'_c = 4000$ psi (27.6 MPa) lb (kN)
3/8	1-3/4 (44)	645 (2.9)	1,095 (4.9)	1,510 (6.7)	2,135 (9.5)	2,580 (11.5)	4,370 (19.4)	4,530 (20.2)	8,405 (28.4)
	3-3/8 (86)	2,190 (9.7)	2,585 (11.5)	3,155 (14.0)	4,460 (19.8)	8,760 (39.0)	10,345 (46.0)	9,460 (42.1)	13,380 (59.5)
	4-1/2 (114)	2,420 (10.8)	2,585 (11.5)	4,855 (21.6)	6,860 (30.5)	9,685 (43.1)	10,335 (46.0)	14,560 (64.8)	20,580 (91.5)
1/2	2-1/4 (57)	1,130 (5.0)	1,965 (8.7)	2,510 (11.2)	3,550 (15.8)	4,530 (20.2)	7,860 (35.0)	7,525 (33.5)	10,640 (47.3)
	4-1/2 (114)	4,045 (18.0)	5,275 (23.5)	5,610 (25.0)	7,935 (35.3)	16,185 (72.0)	21,095 (93.8)	16,820 (74.8)	23,800 (105.9)
	6 (152)	4,775 (21.2)	5,380 (23.9)	8,635 (38.4)	12,210 (54.3)	19,095 (84.9)	21,520 (95.7)	25,900 (115.2)	36,620 (162.9)
5/8	2-7/8 (73)	1,690 (7.5)	3,045 (13.5)	5,245 (23.3)	7,420 (33.0)	6,770 (30.1)	12,175 (54.2)	15,735 (70.0)	22,250 (99.0)
	5-5/8 (143)	6,560 (29.2)	7,355 (32.7)	8,760 (39.0)	12,395 (55.1)	26,240 (116.7)	29,420 (130.9)	26,280 (116.9)	37,180 (165.4)
	7-1/2 (190)	7,320 (32.6)	7,515 (33.4)	13,615 (60.6)	19,080 (84.9)	29,290 (130.3)	30,060 (133.7)	40,480 (180.1)	57,240 (254.6)
3/4	3-3/8 (86)	2,310 (10.3)	4,515 (20.1)	7,335 (32.6)	10,370 (46.1)	9,250 (41.1)	18,065 (80.4)	22,000 (97.9)	31,108 (138.4)
	6-3/4 (172)	8,670 (38.6)	10,755 (47.8)	12,615 (56.1)	17,840 (79.4)	34,685 (154.3)	43,020 (191.4)	37,840 (168.3)	53,520 (238.1)
	9 (229)	10,385 (46.2)	12,995 (57.8)	19,430 (86.4)	27,470 (122.2)	41,535 (184.8)	51,985 (231.2)	58,280 (259.2)	82,400 (366.5)
7/8	4 (101)	3,005 (13.4)	5,665 (25.2)	7,795 (34.7)	11,020 (49.0)	12,030 (53.5)	22,670 (100.8)	23,375 (104.0)	33,050 (147.0)
	7-7/8 (200)	12,495 (55.6)	15,875 (70.6)	17,175 (76.4)	24,290 (108.0)	49,975 (222.3)	63,495 (282.4)	51,520 (229.2)	72,860 (324.1)
	10-1/2 (267)	14,705 (65.4)	16,185 (72.0)	26,440 (117.6)	37,390 (166.3)	58,820 (261.6)	64,730 (287.9)	79,320 (352.8)	112,160 (498.9)
1	4-1/2 (114)	3,945 (17.5)	8,440 (37.5)	10,035 (44.6)	14,190 (63.1)	15,790 (70.2)	33,765 (150.2)	30,104 (133.9)	42,565 (189.3)
	9 (229)	13,845 (61.6)	17,365 (77.2)	22,435 (99.8)	31,720 (141.1)	55,380 (246.3)	69,465 (309.0)	67,300 (299.4)	95,160 (423.3)
	12 (305)	17,935 (79.8)	17,935 (79.8)	34,535 (153.6)	48,830 (217.2)	71,740 (319.1)	71,740 (319.1)	103,600 (460.8)	146,480 (651.6)
1-1/4	5-5/8 (143)	5,760 (25.6)	12,815 (57.0)	14,760 (65.7)	20,870 (92.8)	23,045 (102.5)	51,270 (228.1)	44,280 (197.0)	62,610 (278.5)
	11-1/4 (286)	24,610 (109.5)	31,620 (140.7)	35,050 (155.9)	49,570 (220.5)	9,8430 (437.8)	126,480 (562.6)	105,140 (467.7)	148,710 (661.5)
	15 (381)	34,130 (151.8)	35,270 (156.9)	53,960 (240.0)	76,300 (339.4)	136,525 (607.3)	141,090 (627.6)	161,880 (720.1)	228,900 (1018.2)

- 1 Influence factors for spacing and/or edge distance are applied to allowable concrete/bond values above, and then compared to the steel value. The lesser of the values is to be used for the design.
- 2 Average ultimate concrete shear capacity based on Strength Design Method for standard and deep embedment and based on testing for shallow embedment.
- 3 All values based on holes drilled with carbide bit and installed per manufacturer's instructions. Ultimate tensile concrete/bond loads represent the average values obtained in testing.
- 4 For underwater applications with a maximum depth of 165 ft (50 m), reduce the tabulated concrete/bond values 30% to account for reduced mechanical properties of saturated concrete.



# HIT-RE 500 Epoxy Adhesive Anchoring System 3.2.5

## Anchor spacing and edge distance guidelines in concrete

Table 13 - Load adjustment factors for 1/2-in. diameter anchors

Adjustment factor	1/2-in.												
	Spacing tension/shear $f_A$			Edge distance tension $f_{RN}$			Edge distance shear (L toward edge) $f_{RV1}$			Edge distance shear (ll to or away from edge) $f_{RV2}$			
Embedment depth, in.	2-1/4	4-1/2	6	2-1/4	4-1/2	6	2-1/4	4-1/2	6	2-1/4	4-1/2	6	
Load adjustment factors for 5/8-in. and 3/4-in. diameter anchors	1-1/8	0.70			0.70				0.18			0.46	
	1-1/2	0.75			0.75				0.27			0.52	
	1-3/4	0.78			0.78				0.33			0.58	
	2	0.82			0.82				0.39			0.60	
	2-1/4	0.85	0.70		0.85	0.70		0.45	0.18		0.64	0.46	
	2-1/2	0.88	0.72		0.88	0.72		0.51	0.21		0.68	0.48	
	3	0.95	0.75	0.70	0.95	0.75	0.70	0.63	0.27	0.18	0.76	0.52	0.46
	3-3/8	1.00	0.78	0.72	1.00	0.78	0.72	0.72	0.32	0.21	0.82	0.55	0.48
	4		0.82	0.75		0.82	0.75	0.87	0.39	0.27	0.92	0.50	0.52
	4-1/2		0.85	0.78		0.85	0.78	1.00	0.45	0.32	1.00	0.54	0.55
	5		0.88	0.80		0.88	0.80		0.51	0.36		0.68	0.58
	6		0.95	0.85		0.95	0.85		0.63	0.45		0.76	0.64
6-3/4		1.00	0.89		1.00	0.89		0.72	0.52		0.82	0.69	
7			0.90			0.90		0.75	0.54		0.84	0.70	
8			0.95			0.95		0.87	0.63		0.92	0.76	
9			1.00			1.00		1.00	0.72		1.00	0.82	
10									0.81			0.88	
11									0.90			0.94	
12									1.00			1.00	

Note: Tables apply for listed embedment depths. Reduction factors for other embedment depths must be calculated using equations below.

$$s_{min} = 0.5 h_{ef} \quad s_{cr} = 1.5 h_{ef}$$

$$f_A = 0.3(s/h_{ef}) + 0.55$$

for  $s_{cr} > s > s_{min}$

$$c_{min} = 0.5 h_{ef} \quad c_{cr} = 1.5 h_{ef}$$

$$f_{RN} = 0.3(c/h_{ef}) + 0.55$$

for  $c_{cr} > c > c_{min}$

Edge distance shear  $\perp$  toward edge

$$c_{min} = 0.5 h_{ef} \quad c_{cr} = 2.0 h_{ef}$$

$$f_{RV1} = 0.54(c/h_{ef}) - 0.09$$

for  $c_{cr} > c > c_{min}$

Edge distance shear  $\parallel$  to or away from edge

$$c_{min} = 0.5 h_{ef} \quad c_{cr} = 2.0 h_{ef}$$

$$f_{RV2} = 0.36(c/h_{ef}) + 0.28$$

for  $c_{cr} > c > c_{min}$

Table 14 - Load adjustment factors for 5/8-in. and 3/4-in. diameter anchors

Adjustment factor	5/8-in.												3/4-in.																	
	Spacing tension/shear $f_A$			Edge distance tension $f_{RN}$			Edge distance shear (L toward edge) $f_{RV1}$			Edge distance shear (ll to or away from edge) $f_{RV2}$			Spacing tension/shear $f_A$			Edge distance tension $f_{RN}$			Edge distance shear (L toward edge) $f_{RV1}$			Edge distance shear (ll to or away from edge) $f_{RV2}$								
Embedment depth, in.	2-7/8	5-5/8	7-1/2	2-7/8	5-5/8	7-1/2	2-7/8	5-5/8	7-1/2	2-7/8	5-5/8	7-1/2	2-7/8	5-5/8	7-1/2	3-3/8	6-3/4	9	3-3/8	6-3/4	9	3-3/8	6-3/4	9	3-3/8	6-3/4	9			
Spacing (s)/edge distance (c), in.	1-7/16	0.70			0.70				0.18			0.46																		
	1-11/16	0.73			0.73				0.23			0.49				0.70			0.70			0.18			0.46					
	2	0.76			0.76				0.29			0.53				0.73			0.73			0.23			0.49					
	2-13/16	0.84	0.70		0.84	0.70		0.44	0.18		0.63	0.46		0.80		0.80			0.80			0.36			0.58					
	3-3/8	0.90	0.73		0.90	0.73		0.54	0.23		0.70	0.50		0.85	0.70	0.85	0.70		0.85	0.70		0.45	0.18		0.64	0.46				
	3-3/4	0.94	0.75	0.70	0.94	0.75	0.70	0.61	0.27	0.18	0.75	0.52	0.46	0.88	0.72	0.88	0.72		0.88	0.72		0.51	0.21		0.68	0.48				
	4-5/16	1.00	0.78	0.72	1.00	0.78	0.72	0.72	0.32	0.22	0.82	0.56	0.49	0.93	0.74	0.93	0.74		0.93	0.74		0.60	0.26		0.74	0.51				
	4-1/2		0.79	0.73		0.79	0.73	0.76	0.34	0.23	0.84	0.57	0.50	0.95	0.75	0.95	0.75	0.70	0.95	0.75	0.70	0.95	0.75	0.70	0.63	0.27	0.18	0.76	0.52	0.46
	5-1/16		0.82	0.75		0.82	0.75	0.86	0.40	0.27	0.91	0.60	0.52	1.00	0.78	1.00	0.78	0.72	1.00	0.78	0.72	1.00	0.78	0.72	0.32	0.21	0.82	0.55	0.48	
	5-5/8		0.85	0.78		0.85	0.78	0.97	0.45	0.32	0.98	0.64	0.55		0.80	0.74		0.80	0.74		0.80	0.74	0.81	0.36	0.25	0.88	0.58	0.51		
	5-3/4		0.86	0.78		0.86	0.78	1.00	0.46	0.32	1.00	0.65	0.56		0.81	0.74		0.81	0.74		0.81	0.74	0.83	0.37	0.26	0.89	0.59	0.51		
	6-3/4		0.91	0.82		0.91	0.82		0.56	0.40		0.71	0.60		0.85	0.78		0.85	0.78		0.85	0.78	1.00	0.45	0.32	1.00	0.64	0.55		
	8-7/16		1.00	0.89		1.00	0.89		0.72	0.52		0.82	0.69		0.93	0.83		0.93	0.83		0.93	0.83		0.59	0.42		0.73	0.62		
	10-1/8			0.96			0.96		0.88	0.64		0.93	0.77		1.00	0.89		1.00	0.89		1.00	0.89		0.72	0.52		0.82	0.69		
	11-1/4			1.00			1.00		1.00	0.72		1.00	0.82			0.93			0.93			0.93		0.81	0.59		0.88	0.73		
	12									0.77			0.86			0.95			0.95			0.95		0.87	0.63		0.92	0.76		
	13-1/2									0.88			0.93			1.00			1.00			1.00		1.00	0.72		1.00	0.82		
	15									1.00			1.00											0.81			0.88			
16																							0.87			0.92				
18																							1.00			1.00				

3.2.5

PERFORMANCE TABLE

**LDT Anchors**

**Allowable Tension and Shear Values\* (Lbs/kN) in Concrete Carbon and Stainless Steel**

ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)	f <sub>c</sub> = 2000 PSI (13.8 MPa)		f <sub>c</sub> = 3000 PSI (20.7 MPa)		f <sub>c</sub> = 4000 PSI (27.6 MPa)	
		TENSION Lbs. (kN)	SHEAR Lbs. (kN)	TENSION Lbs. (kN)	SHEAR Lbs. (kN)	TENSION Lbs. (kN)	SHEAR Lbs. (kN)
3/8 (9.5)	1-1/2 (38.1)	334 (1.5)	527 (2.3)	413 (1.8)	691 (3.1)	492 (2.1)	854 (3.8)
	2 (50.8)	373 (1.7)	759 (3.4)	506 (2.2)	807 (3.6)	638 (2.8)	855 (3.8)
	2-1/2 (63.5)	933 (4.2)	828 (3.7)	937 (4.2)	841 (3.7)	940 (4.2)	856 (3.8)
	3-1/2 (88.9)	1,349 (6.0)	828 (3.7)	1,656 (7.4)	842 (3.7)	1,963 (8.7)	857 (3.8)
1/2 (12.7)	2 (50.8)	895 (4.0)	1,411 (6.3)	977 (4.3)	1,628 (7.2)	1,059 (4.7)	1,845 (8.2)
	3-1/2 (88.9)	1,842 (8.0)	1,600 (7.2)	2,011 (8.9)	1,822 (8.1)	2,209 (9.8)	2,035 (9.0)
	4-1/2 (114.3)	2,544 (11.3)	1,846 (8.2)	2,583 (11.5)	1,992 (8.9)	2,622 (11.7)	2,138 (9.5)
5/8 (15.9)	2-3/4 (69.9)	1,319 (5.9)	2,164 (9.7)	1,640 (7.3)	2,766 (12.3)	1,961 (8.7)	3,369 (15.0)
	3-1/2 (88.9)	1,993 (8.9)	2,556 (11.4)	2,462 (10.9)	3,036 (13.5)	2,931 (13.0)	3,515 (15.6)
	4-1/2 (114.3)	2,892 (12.9)	3,079 (13.7)	3,358 (14.9)	3,395 (15.1)	4,223 (18.8)	3,710 (16.5)
3/4 (19.1)	3-1/4 (82.6)	1,719 (7.6)	1,785 (7.9)	2,439 (10.8)	2,682 (11.9)	3,159 (14.0)	3,579 (15.9)
	4-1/2 (114.3)	2,576 (11.5)	3,280 (14.6)	3,606 (16.0)	4,217 (18.7)	4,635 (20.6)	5,153 (22.9)
	5-1/2 (139.7)	3,262 (14.5)	4,477 (19.9)	4,539 (20.2)	5,445 (24.2)	5,817 (25.9)	6,413 (28.5)

\* Allowable values are based upon a 4 to 1 safety factor. (Ultimate/4)

PERFORMANCE TABLE

**LDT Anchors**

**Recommended Edge & Spacing Requirements for Tension Loads\* Carbon and Stainless Steel**

ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)	EDGE DISTANCE REQUIRED TO OBTAIN MAX. WORKING LOAD In. (mm)	AT MIN. EDGE DISTANCE 1-3/4 Inches (44mm)	SPACING DISTANCE REQUIRED TO OBTAIN MAX. WORKING LOAD In. (mm)	LOAD FACTOR APPLIED AT MIN. SPACING DISTANCE 3 Inches (76mm)
3/8 (9.5)	1-1/2 (38.1)	2 (50.8)	70%	6 (152.4)	44%
	2 (50.8)	2 (50.8)	70%	6 (152.4)	44%
	2-1/2 (63.5)	3 (76.2)	70%	6 (152.4)	44%
	3-1/2 (88.9)	4 (101.6)	70%	6 (152.4)	44%
1/2 (12.7)	2 (50.8)	2-1/4 (57.2)	65%	8 (203.2)	27%
	3-1/2 (88.9)	3 (76.2)	65%	8 (203.2)	27%
	4-1/2 (114.3)	4 (101.6)	65%	8 (203.2)	27%
ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)	EDGE DISTANCE REQUIRED TO OBTAIN MAX. WORKING LOAD In. (mm)	AT MIN. EDGE DISTANCE 1-3/4 Inches (44mm)	SPACING DISTANCE REQUIRED TO OBTAIN MAX. WORKING LOAD In. (mm)	LOAD FACTOR APPLIED AT MIN. SPACING DISTANCE 3.75 Inches (95.2mm)
5/8 (15.9)	2-3/4 (69.9)	6-1/4 (158.8)	65%	10 (254)	50%
	3-1/2 (88.9)	6-1/4 (158.8)	65%	10 (254)	50%
	4-1/2 (114.3)	6-1/4 (158.8)	65%	10 (254)	50%
ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)	EDGE DISTANCE REQUIRED TO OBTAIN MAX. WORKING LOAD In. (mm)	AT MIN. EDGE DISTANCE 1-3/4 Inches (44mm)	SPACING DISTANCE REQUIRED TO OBTAIN MAX. WORKING LOAD In. (mm)	LOAD FACTOR APPLIED AT MIN. SPACING DISTANCE 4.5 Inches (114.3mm)
3/4 (19.1)	3-1/2 (82.6)	7-1/2 (191)	65%	12 (305)	50%
	4-1/2 (114.3)	7-1/2 (191)	65%	12 (305)	50%
	5-1/2 (139.7)	7-1/2 (191)	65%	12 (305)	50%

\* Edge and spacing distance shall be divided by .75 when anchors are placed in structural lightweight concrete. Linear interpolation may be used for intermediate spacing and edge distances.

For 5/8" and 3/4" LDT Anchors, the critical edge distance for these anchors is 10 times the anchor diameter. The edge distance of these anchors may be reduced to 1-3/4" provided a 0.65 load factor is used for tension loads, a 0.15 load factor is used for shear loads applied perpendicular to the edge, or a 0.60 load factor is used for shear loads applied parallel to the edge. Linear interpolation may be used for intermediate edge distances.

## PERFORMANCE TABLE

### LDT Anchors

### Recommended Edge & Spacing Requirements for Shear Loads\* Carbon and Stainless Steel

ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)		EDGE DISTANCE REQUIRED TO OBTAIN MAX. WORKING LOAD In. (mm)		AT MIN. EDGE DISTANCE 1-3/4 Inches (44mm)	SPACING DISTANCE REQUIRED TO OBTAIN MAX. WORKING LOAD In. (mm)	LOAD FACTOR APPLIED AT MIN. SPACING DISTANCE 3 Inches (76mm)
3/8 (9.5)	1-1/2	(38.1)	3	(76.2)	25%	6 (152.4)	57%
	2	(50.8)	4	(101.6)	25%	6 (152.4)	57%
	2-1/2	(63.5)	5	(127.0)	25%	6 (152.4)	57%
	3-1/2	(88.9)	5	(127.0)	25%	6 (152.4)	57%
1/2 (12.7)	2	(50.8)	5	(127.0)	25%	8 (203.2)	60%
	3-1/2	(88.9)	5	(127.0)	25%	8 (203.2)	60%
	4-1/2	(114.3)	5-1/2	(139.7)	25%	8 (203.2)	60%
5/8 (15.9)	2-3/4	(69.9)	6-1/4	(158.8)	15%**/60%***	10 (254)	75%
	3-1/2	(88.9)	6-1/4	(158.8)	15%**/60%***	10 (254)	75%
	4-1/2	(114.3)	6-1/4	(158.8)	15%**/60%***	10 (254)	75%
3/4 (19.1)	3-1/2	(82.6)	7-1/2	(191)	15%**/60%***	12 (305)	75%
	4-1/2	(114.3)	7-1/2	(191)	15%**/60%***	12 (305)	75%
	5-1/2	(139.7)	7-1/2	(191)	15%**/60%***	12 (305)	75%

\* Edge and spacing distances shall be divided by .75 when anchors are placed in structural lightweight concrete. Linear interpolation may be used for intermediate spacing and edge distances.

\*\* 15% = shear load applied perpendicular to the edge

\*\*\* 60% = shear load applied parallel to the edge

## PERFORMANCE TABLES

### LDT Anchors

### Ultimate Tension Load (Lbs/kN) in Concrete Block (anchors should be installed by hand in hollow block)

ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)	HOLLOW CONCRETE BLOCK		GROUT FILLED CONCRETE BLOCK	
		TENSION Lbs. (kN)	SHEAR Lbs. (kN)	TENSION Lbs. (kN)	SHEAR Lbs. (kN)
3/8 (9.5)	1-1/2 (38.1)	916 (4.1)	3,176 (14.1)	1,592 (7.1)	3,900 (17.3)
1/2 (12.7)	2-1/2 (63.5)	N/A	N/A	5,924 (26.4)	6,680 (29.7)



May 13, 2024

Stephen Tilbrook  
Akerman, LLP

Re: Coral Ridge Yacht Club

Mr. Tilbrook,

Thank you for attending our Coral Ridge Association Board of Governor's Meeting Thursday May 9, 2024.

The Coral Ridge Board of Governors would like to provide its support to the Coral Ridge Yacht Club in its variance application for a retractable awning at the new Point Bar.

I am pleased to provide this letter of support for Coral Ridge Yacht Club's application for the variance.

Thank you for your consideration and presenting your plan to the Board.

Sincerely,

A handwritten signature in black ink, appearing to read "CWD".

Chris Williams  
President, Coral Ridge Association