



BOARD OF ADJUSTMENT MEETING NOTICE

Date: August 2nd, 2024

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, August 14th, 2024 at 6:00 pm.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE: **PLN-BOA-24070001**

OWNER: WILLIAM F ADER JR TR; ADER, ROBERT TRSTEE

AGENT: ANDREW SCHEIN, ESQ

ADDRESS: 2925 EAST COMMERCIAL BLVD, FORT LAUDERDALE, FL 33308

LEGAL DESCRIPTION: LOT 9, BLOCK 3 OF "CORAL RIDGE COMMERCIAL BOULEVARD ADDITION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 43, AT PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY)

ZONING DISTRICT: CB - COMMUNITY BUSINESS

COMMISSION DISTRICT: 1

REQUESTING: **Sec. 47-18.21. H.3- Landscaping and open space requirements.**

- Requesting a variance to permit a mixed-use development without a public plaza, whereas the ULDR Section 47-18.21. H.3 requires a 1,400.00 SF public plaza.

Sec. 47-18.21. I.2- Dimensional requirements.

- Requesting a variance to permit a mixed-used development on a 3,500.00 SF lot, whereas ULDR Section 47-18.21. I.2 requires a minimum lot size of 10,000.00 SF, a total variance reduction request of 6,500 SF.



Sec. 47-18.21. I.5- Dimensional requirements.

- Requesting a variance to permit a mixed-used development on a 35' wide lot, whereas ULDR Section 47-18.21. I.5 requires a minimum lot width




PLN-BOA-24070001

LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200
US Feet

of 100 feet, a total variance reduction of 65 feet.

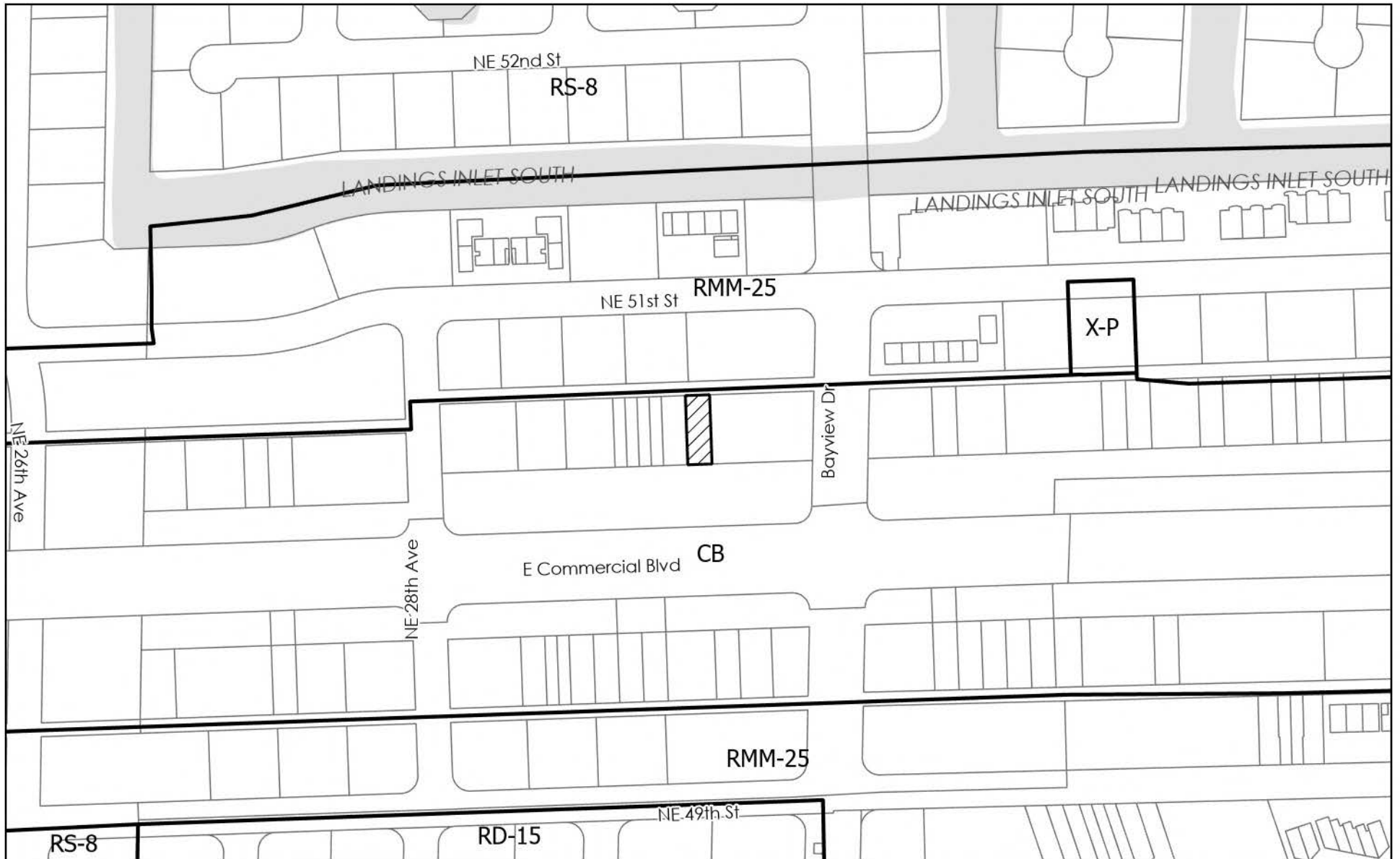
To watch and listen to the meeting, please visit:
<https://www.fortlauderdale.gov/government/BOA> OR
www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR



Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-24070001


LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet



PLN-BOA- 24070001

Sec. 47-18.21. H.3- Landscaping and open space requirements.

H. Landscaping and open space requirements. Street trees shall be planted and maintained along the street abutting the property where the MXU is located to provide a canopy effect. The type of street trees may include shade, flowering and palm trees. The trees shall be planted at a minimum height and size in accordance with the requirements of [Section 47-21](#) of the ULDR, Landscape and Tree Preservation Requirements. The location and number of trees shall be determined by the department based on the height, bulk, shadow, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. Open space and landscaping shall be required in conjunction with residential uses in a mixed use development according to the following:

1. For mixed use development in a residential zoning district, landscaping shall be as required by [Section 47-21.10](#) of the ULDR for the zoning district in which the mixed use development is located.
2. For development in a mixed use development in other than a residential zoning district, open space shall be required. Open space, for the purposes of this section, shall include all areas on the site not covered by structures, other than covered arcades, or not covered by vehicular use area. Covered arcades with a minimum width of ten (10) feet and at least one (1) side open to a street shall be credited towards open space requirements. The required open space shall include seating and shade provided by trees, canopies, or other unenclosed shade structures. A minimum of fifty percent (50) of the required open space shall be in living materials used in landscaping which areas may be above grade. At least forty percent (40) of the required open space shall be provided at-grade and the remaining open space shall be accessible to individual residential units or through a common area, or both. The total amount of open space required shall be calculated based on the size and density of the development, as follows:

a. For development of twenty-five (25) residential units or less, or developments of fifteen (15) dwelling units per acre or less density: a minimum of two hundred fifty (250) square feet of open space per unit;

b. For developments of between twenty-six (26) and one hundred (100) residential units, or developments of greater than fifteen (15) dwelling units per acre and up to twenty-five (25) dwelling units per acre density: a minimum of two hundred (200) square feet of open space per unit;

c. For developments of more than one hundred (100) residential units, or developments of greater than twenty-five (25) dwelling units per acre density: a minimum of one hundred fifty (150) square feet of open space per unit;

d. For developments which fall into more than one (1) of the above categories, the lesser open space requirement shall apply.

e. For the property located east of the Intracoastal Waterway, the percentage of landscape materials provided above grade as permitted by this section shall also be provided off-site in an area impacted by the development as determined by the development review committee or an owner shall be required to pay a cash equivalent to the city to be used to landscape a public area impacted by the development.

f. Developments shall be required to meet the vehicular use area requirements as provided in [Section 47-21](#) of the ULDR, Landscape and Tree Preservation.

3. A mixed use development shall contain a public plaza open to the sky which includes pedestrian amenities such as landscaping, benches and fountains. The public plaza shall be a minimum size of one thousand four hundred (1,400) gross square feet and shall be located to provide the principal pedestrian access to the mixed use development. A covered arcade with a minimum width of ten (10) feet may substitute for up to fifty percent (50) of the above public plaza requirements.

Sec. 47-18.21. I.2- Dimensional requirements

- I. Dimensional requirements. The dimensional requirements of a mixed use development shall be as follows:
 1. Density. The density shall be the same as applies in the zoning district where the development is located.
 2. Minimum lot size. Ten thousand (10,000) gross square feet.
 3. Maximum structure length. Two hundred (200) feet for single use residential buildings.
 4. Maximum height. The same as the district where the mixed use development is located.
 5. Minimum lot width. One hundred (100) feet.
 6. Minimum floor area. Four hundred (400) square feet for each multifamily dwelling unit.
 7. Yards. Yards shall be the same as the district where the mixed use development is located.

Sec. 47-18.21. I.5- Dimensional requirements.

- I. Dimensional requirements. The dimensional requirements of a mixed use development shall be as follows:
 1. Density. The density shall be the same as applies in the zoning district where the development is located.
 2. Minimum lot size. Ten thousand (10,000) gross square feet.
 3. Maximum structure length. Two hundred (200) feet for single use residential buildings.
 4. Maximum height. The same as the district where the mixed use development is located.
 5. Minimum lot width. One hundred (100) feet.
 6. Minimum floor area. Four hundred (400) square feet for each multifamily dwelling unit.
 7. Yards. Yards shall be the same as the district where the mixed use development is located.

Record

Showing 1-24 of 24

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Applicant on Name	Record Type	Balance	Planner Name	Treet #	Dir	Treet Name	Type	Unit # (start)	Stat
<input type="checkbox"/>	PLN-BOA-24070001		Ad r Building	Z- Board of Adjustm nt (BOA)	159		2925	E	COMMERCIAL	BLVD		Op i
<input type="checkbox"/>	UDP-S24040	Sit Plan L v I III R vi w: Mix d-us D v lopm nt...	Ad r Building	DRC- Sit Plan (L v I II, III, IV)	7526	Adam Schn ll	2925	E	COMMERCIAL	BLVD		Op i
<input type="checkbox"/>	ENG-CR-24050002			Capacity R qu st	0		2925	E	COMMERCIAL e	BLVD		Op i
<input type="checkbox"/>	BLD-ADDDVER-24050013			Addr ss R qu st - V rification	0		2925	E	COMMERCIAL	BLVD		Com
<input type="checkbox"/>	CE20070222	Q-ALERT:545640//This Bar s rv s v ry littl food ... e		Cod Cas		MICHAELJ e	2925	E	COMMERCIAL	BLVD		Clos e
<input type="checkbox"/>	BT-RLN-REN-20070238	e	R staurant-Loung -Nightclub ... e	R staurant - Loung - Nightclub Busin ss Tax R n wal 0 e			2925	E	COMMERCIAL	BLVD		Com
<input type="checkbox"/>	CE20061320	QALERT 534262 : This is a BAR with nt rtainment ...		Cod Cas		Jam s F tt r e	2925	E	COMMERCIAL	BLVD		Clos
<input type="checkbox"/>	CE20061092	Q ALERT: 534291// This is a BAR with nt rtainm n...		Cod Cas		MICHAELJ	2925	E	COMMERCIAL	BLVD		Clos
<input type="checkbox"/>	CE20060990	BAR WITH ENTERTAINMENT 4 NIGHTS A WEEK. SERVING L... e		Cod Cas		MICHAELJ	2925	E	COMMERCIAL	BLVD		Clos
<input type="checkbox"/>	CE20060051	EMPLOYEES NOT WEARING MASKS		Cod Cas		MICHAELJ	2925 e	E e	C@MMERCIAL e	BLVD e		Clos
<input type="checkbox"/>	CE17042360	e	Ext nd d Hours P rmit R qu st	WILLIAM F ADER JR TR ADER,RO...			2925	E	COMMERCIAL	BLVD		Clos e
<input type="checkbox"/>	VIO-CE17042360_1			WILLIAM F ADER JR TR ADER,RO...	Violation-CODE H aring e		2925	E	COMMERCIAL	BLVD		Clos
<input type="checkbox"/>	CE16111041	STRONG SEWAGE SMELL COMING FROM MENS HAND SINK NO...		WILLIAM F ADER JR TR ADER,RO...	Cod Cas		2925	E	COMMERCIAL	BLVD		Clos
<input type="checkbox"/>	VIO-CE16111041_1			WILLIAM F ADER JR TR ADER,RO...	Violation-CODE H aring		2925	E	COMMERCIAL	BLVD		Clos
<input type="checkbox"/>	VIO-CE16111041_2	e		WILLIAM F ADER JR TR ADER,RO...	Violation-CODE H aring e		2925	E	COMMERCIAL	BLVD		Clos
<input type="checkbox"/>	CE16081425	e		WILLIAM F ADER JR TR ADER,RO... e	Cod Cas e		2925	E	COMMERCIAL	BLVD		Clos
<input type="checkbox"/>	AB-0086423	e	MURPHY'S TAVERN e	R sid nt/Busin ss Alarm R gistration e	0 e		2925 e	E e	C@MMERCIAL e	BLVD		Activ
<input type="checkbox"/>	BL-1500511		MURPHY'S TAVERN	R staurant - Loung - Nightclub Busin ss Tax R c ipt	-316.05 e		2925	E	COMMERCIAL	BLVD		Clos
<input type="checkbox"/>	PM-14121391	BACK FLOW INSTALL AND CERTIFY		BACK FLOW INSTALL AND CERTIFY	Plumbing Backflow Installation P rmit		2925	E	COMMERCIAL	BLVD		Com
<input type="checkbox"/>	PM-12071747	TILE REROOF 750 SF		TILE REROOF 750 SF	R -Roof P rmit		2925	E	COMMERCIAL	BLVD		Com
<input type="checkbox"/>	PM-01030194	INSTALL VAPOR HOOD OVER PIZZA OVEN e		INSTALL VAPOR HOOD OVER PIZZ... e	M chanical Comm rcial P rmit		2925	E	COMMERCIAL	BLVD		Expri
<input type="checkbox"/>	PM-01021914	MONARCH RESTAURANT-GAS LINE TO DOUBLE PIZZA OVEN e		MONARCH RESTAURANT-GAS LINE ...	Plumbing Gas P rmit e		2925	E e	COMMERCIAL	BLVD		Com
<input type="checkbox"/>	FS-23164551	e	MRS MURPHYS e	Fir Saf ty Account e	0 e		2925	E	COMMERCIAL	BLVD		Activ
<input type="checkbox"/>	BL-9052352		MRS MURPHY'S	R staurant - Loung - Nightclub Busin ss Tax R c ipt	0		2925 e	E e	COMMERCIAL e	BLVD e		Clos



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: August 14th, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24070001

Sec. 47-18.21. H.3- Landscaping and open space requirements.

• Requesting a variance to permit a mixed-use development without a public plaza, whereas the ULDR Section 47-18.21. H.3 requires a 1,400.00 SF public plaza

Sec. 47-18.21.1.2- Dimensional requirements.

• Requesting a variance to permit a mixed-used development on a 3,500.00 SF lot, whereas ULDR Section 47-18.21. 1.2 requires a minimum lot size of 10,000.00 SF, a total variance reduction request of 6,500 SF.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale
To view more information about this item, please visit:
www.fortlauderdale.gov/government/BOA

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a





CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: August 14th, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24070001

Sec. 47-18.21. 1.5- Dimensional requirements.

- Requesting a variance to permit a mixed-used development on a 35' wide lot, whereas ULDR Section 47-18.21. 1.5 requires a minimum lot width of 100 feet, a total variance reduction of 65 feet.

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SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-24070001

APPLICANT: Andrew J. Schein, Esq.

PROPERTY: 2125 E. Commercial Boulevard

PUBLIC HEARING DATE: August 14, 2024

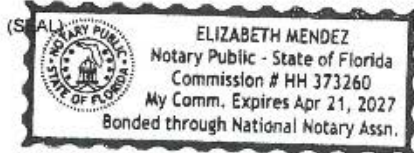
BEFORE ME, the undersigned authority, personally appeared Andrew J. Schein, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. As (initial here)

Affiant [Signature]

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 30 day of July, 2024



[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES:



PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
Date: August 27, 2014 Time: 10:00 AM Location: Park Ridge, NJ
Meeting Location: 1000 Park Ridge Avenue, Park Ridge, NJ 07656
Meeting Time: 10:00 AM - 12:00 PM
Meeting Purpose: To consider and act on the application for a Special Use Permit for the proposed development of a 100,000 sq. ft. retail store at 1000 Park Ridge Avenue, Park Ridge, NJ. The applicant is requesting a variance from the existing zoning regulations to allow for the proposed development.

PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
Date: August 27, 2014 Time: 10:00 AM Location: Park Ridge, NJ
Meeting Location: 1000 Park Ridge Avenue, Park Ridge, NJ 07656
Meeting Time: 10:00 AM - 12:00 PM
Meeting Purpose: To consider and act on the application for a Special Use Permit for the proposed development of a 100,000 sq. ft. retail store at 1000 Park Ridge Avenue, Park Ridge, NJ. The applicant is requesting a variance from the existing zoning regulations to allow for the proposed development.





BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 03/18/2024 APPLICATION FORM: BOA

GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL

Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@fortlauderdale.gov
Phone: 954-828-6520, Option 5.

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input checked="" type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet


INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	William F. Ader Jr. Trust
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	3401 N. Miami Avenue, Suite 218, Miami, FL 33127
E-mail Address	Rader@Raderhittlaw.com
Phone Number	
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If AGENT is to represent PROPERTY OWNER, an agent authorization form is required (must be notarized)

Applicant / Agent's Name	Andrew J. Schein, Esq. as Agent for the Owner - Florida Bar No. 125742
Applicant / Agent's Signature	
Address, City, State, Zip	699 N. Federal Highway, Suite 400, Fort Lauderdale, FL 33304
E-mail Address	ASchein@Lochrielaw.com
Phone Number	954-617-8919
Agent Authorization Form Submitted	<input type="checkbox"/> N/A (ULDR Section 47-24.12.A.2.b)

Include ANY Related code case/permit #	DRC Case No. UDP-S24040
Existing / New	<input type="checkbox"/> Existing <input checked="" type="checkbox"/> New
Project Address	<u>Address:</u> 2925 E. Commercial Boulevard
Legal Description	CORAL RIDGE COMMERCIAL BLVD ADD 43-13 B LOT 9 BLK 3
Tax ID Folio Numbers (For all parcels in development)	494213070410
Variance/Special Exception Request (Provide a brief description of your request)	Variance to permit a small-scale mixed-use development on a 3,500 SF parcel; specifically, a variance from various provisions of ULDR Section 47-18.21, which cannot be provided on the property due to the size of the property
Applicable ULDR Sections (Include all code sections)	47-18.21.H.3, 47-18.21.I.2 and 47-18.21.I.5

Current Land Use Designation	Commercial
Current Zoning Designation	CB
Current Use of Property	Bar
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)		Required	Proposed
Front	N	5'	36'
Side	E	0'	0'
Side	W	0'	0'
Rear	S	0'	0'

Page 2a: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page only if you are applying for a VARIANCE. If additional space is needed, attach an additional page(s) to this page. If you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application form. Note: A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

Variance to permit a mixed-use development without a public plaza, where ULDR Section 47-18.21.H.3 requires a 1,400 SF public plaza.
Variance to permit a mixed-use development on a 3,500 SF lot, where ULDR Section 47-18.21.I.2 requires a minimum lot size of 10,000 SF.
Variance to permit a mixed-use development on a 35'-wide lot, where ULDR Section 47-18.21.I.5 requires a minimum lot width of 100 feet.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

See "Attachment to page 2 of the Variance Application"

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

See "Attachment to page 2 of the Variance Application"

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

See "Attachment to page 2 of the Variance Application"

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

See "Attachment to page 2 of the Variance Application"

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

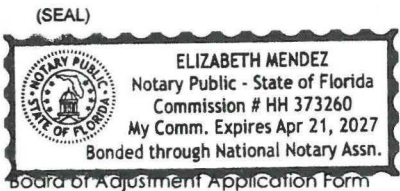
See "Attachment to page 2 of the Variance Application"

AFFIDAVIT: I, Andrew J. Schein, Esq. the Owner/Agent of said property ATTEST that I am aware of the following:

- 1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 9 day of July, 2021



NOTARY PUBLIC
MY COMMISSION EXPIRES:

Applicant: Andrew J. Schein / Lochrie & Chakas, P.A.
Owner: William F. Ader Jr. Trust
Address: 2925 East Commercial Boulevard (“Property”)
Request: Variance from ULDR Sections 47-18.21.H.3, 47-18.21.I.2 and 47-18.21.I.5

Attachment to Page 2 of the Variance Application

1. General Information and Request

Robert Ader, as trustee of the William F. Ader Jr. Trust (“Owner”) is the owner of the property located at 2925 East Commercial Boulevard (the “Property”). The Ader family are long-time residents of Fort Lauderdale, and the Property has been in the Ader family since 1982. The Property was the previous site of Murphy’s Tavern, also known as Mrs. Murphy’s Pub and Grubb.

The building on the Property was constructed in 1970. Due to the ~50 years that the Property served as a bar, the interior of the building was in desperate need of a renovation. Rather than gutting the entire building, the Ader family decided to develop a new building on the Property to bring the Property into modern times.

The Property is in a unique area of Fort Lauderdale from a development standpoint. The north side of Commercial Boulevard between US-1 and the Intracoastal is dotted with commercial strip malls, with shared surface parking lots facing Commercial Boulevard, commercial buildings abutting the parking lot, and residential uses further to the north. The Property is located in one of four of the four strip malls where the commercial uses do not have any dedicated parking of their own; parking for these uses is provided in the shared parking lots, which are owned and metered by the City.

Owner submitted a site plan application pursuant to City Case No. UDP-S24040 (the “Project”). The Project consists of 1,790 square feet of commercial uses on the ground floor and two (2) residential units above the commercial uses in two (2) additional floors. Due to the unique parking situation where all parking is provided in the City’s metered lot, the Project will require approval by the Planning and Zoning Board for a parking reduction. The Project will also require approval by the Planning and Zoning Board because it’s a mixed-use development in the CB zoning district, which requires conditional use approval.

Owner is applying for these variances due to the stringent requirements in ULDR Section 47-18.21, the mixed-use development provisions. The Project is a “2 over 1” development, which is a development with two residential floors above one commercial floor. This type of development (also 3 over 1s and 4 over 1s) are frequently seen throughout many major cities in the world and is a hallmark of successful urban planning. This type of development provides additional housing opportunities without the need to remove commercial uses from the area. Although welcomed in the urban planning world, this type of development is not yet contemplated in the City’s code.

Owner is specifically seeking a variance from the ULDR provisions that require (1) a 1,400 square foot public plaza, (2) a minimum lot size of 10,000 SF, and (3) a minimum lot width of 100 feet.

2. Code Provisions

ULDR Section 47-18.21.H.3 A mixed use development shall contain a public plaza open to the sky which includes pedestrian amenities such as landscaping, benches and fountains. The public plaza shall be a minimum size of one thousand four hundred (1,400) gross square feet and shall be located to provide the principal pedestrian access to the mixed use development. A covered arcade with a minimum width of ten (10) feet may substitute for up to fifty percent (50) of the above public plaza requirements.:

ULDR Section 47-18.21.I.2: Minimum lot size. Ten thousand (10,000) gross square feet.

ULDR Section 47-18.21.I.5: Minimum lot width. One hundred (100) feet.

3. Variance Criteria

- a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property;

RESPONSE: The Property is in a unique position, both from a development standpoint and an urban planning standpoint. As mentioned above, the Property is in a strip mall where all parking is provided in a shared parking lot that is owned and metered by the City. In order to do any new development on the Property, the development would require a parking reduction. Parking can almost always be provided on-site (perhaps at the expense of building square footage), but in this case it is not possible, in any way, to provide the full amount of required parking on the Property.

This variance is not for parking, but the parking situation shows how the Property and the other properties in the shopping center function as a single development. The Property is zoned CB, and mixed-use developments are permitted in the CB zoning district. However, the ULDR does not contemplate mixed-use developments on single parcels that are part of a larger development. While the Property itself is only 3,500 square feet, it's part of a single shopping center with an overall square footage of +/- 54,000 square feet. Similarly, the Property has a lot width of 35', but the shopping center overall has a width of +/- 535'. So while the shopping center functions as a single development, with completely shared parking and no separation between the buildings, the technical limitations of the ULDR still require the lot width and lot size variance due to the Property and shopping center having separate owners.

This limitation is also exemplified in the public plaza requirement. The overall development, along with the City's parking lot, can easily accommodate a 1,400 square foot plaza. With the Property itself being only 3,500 square feet, a 1,400 square foot plaza cannot be accommodated within the Property.

- b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district;

RESPONSE: These properties are part of the Coral Ridge Commercial Boulevard Plat, which was completed in the late 1950s long before the ULDR was enacted. The plat itself suggests that these

properties were to function as a single unit; the plat restricts the parking lots to public parking in perpetuity, clearly for the use of the other platted lots.

This is unique to Commercial Boulevard between US-1 and the Intracoastal. Applicant is not aware of any other area in Fort Lauderdale where a shopping center was clearly planned to function as a single unit but each lot is separately owned. The Property therefore has the negatives of a shopping center (no dedicated parking for your customers, limited signage and visibility from the street) without the benefits of being considered a single shopping center (lot size, lot width, and areas for public plazas).

- c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district;

RESPONSE: As detailed above, the Property and the shopping center are unique. Other properties in the CB zoning district were not platted the way that this Property was platted – most properties in the City allow for parking and dimensional requirements to be met, again perhaps at the cost of less buildable area, but this Property does not have such a benefit. The Property has no other choice but to rely on other properties, including the City parking lot, to meet the code requirements.

If approved by the Planning and Zoning Board, the parking reduction will formalize the Property's reliance on the parking lot. Similarly, this variance application would formalize the Property's reliance on the neighboring properties for lot size and lot width requirements.

The ability to develop your property is a substantial property right, and the ULDR makes it tough to develop the Property. The Property is treated as a cohesive shopping center for some purposes in the ULDR, but not other purposes in the ULDR. This does not appear to be done intentionally by the crafters of the ULDR, it's just a function of applying a general code to a specific parcel.

- d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result or mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

RESPONSE: The Property was platted and the shopping center was constructed prior to the Ader family purchasing the Property in 1982. Owner did not have a say in how the shopping center functions. Parking reductions are not typical in development, but Owner has no choice but to go to the Planning and Zoning Board for a parking reduction due to how the Property functions as a single shopping center. Similarly, Owner has to go to the Board of Adjustment for these variances due to how the Property functions as a single shopping center.

This was not created by the applicant or their predecessors, it's just a function of how this 60+ year old shopping center operates.

- e. The variance is the minimum variance that will make possible a reasonable use of the property, and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

RESPONSE: This variance request is in harmony with the general purposes and intent of the ULDR and will not be incompatible with adjoining properties.

The residential uses will face the rear of the Property away from the commercial uses and towards the existing residential developments to the north. The Property is located in the Community Business zoning district, which is a zoning district that is intended to be a residentially-focused business district. As a mixed-use project, the proposed development on the Property is squarely in line with the intent of the district.

If approved, this variance would “formalize” the relationship between the building itself and the shopping center as a whole by recognizing that the lot size of 3,500 square feet and the lot width of 35’ aren’t the “true” lot widths of the development, even if they are the dimensions of the specific property within the development. This is a reasonable determination and would make possible this reasonable use of the Property. Additionally, requiring a 1,400 square foot public plaza on a 3,500 square foot parcel is not reasonable.

Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. **Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE. The applicant will need to meet with staff PRIOR to submitting the BOA application submittal via Lauderbuild.**

***Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.**

- **Preliminary BOA Meeting** - The applicant and/or agent met with staff on the following date: July 3, 2024
- **Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. *Submit the complete application form along with your submittal. **Page 4** of the BOA application is due AFTER sign(s) are posted.
- **Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
- **Agent Authorization Form**- Authorization from **ALL** Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
- **Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- **Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
- **Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. *Must be the most recent survey and the date on the survey should not exceed one (1) year. **Copy sets of Survey must be at half-size scale 11x17"**.
- **Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents. **Copy sets of Plans must be at half-size scale 11x17"**.
- **Elevations**- If applicable (Elevations may be required by staff upon application submittal).
- **Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
- **Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
- **Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19th Avenue, Fort Lauderdale, Florida 33311**

**City of Fort Lauderdale- Zoning Division (BOA)
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311**

How To order a Tax Map and Notice List- To order a tax map and notice list, please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

How to Submit Your Application submittal- Submittals must be conducted through the City's Online Citizen Access portal- LauderBuild. No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

Please Note: All copy sets must be clear, accurate and legible. All non-plan documents should be 8 1/2" x 11". Plans must be folded to 8 1/2" x 11".



Site Address	2925 E COMMERCIAL BOULEVARD, FORT LAUDERDALE FL 33308	ID #	4942 13 07 0410
Property Owner	WILLIAM F ADER JR TR ADER, ROBERT TRSTEE	Millage	0311
Mailing Address	3401 N MIAMI AVE STE 218 MIAMI FL 33127-3545	Use	33-02
Abbr Legal Description	CORAL RIDGE COMMERCIAL BLVD ADD 43-13 B LOT 9 BLK 3		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2024 values are considered "working values" and are subject to change.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$84,000	\$341,090	\$425,090	\$425,090	
2023	\$84,000	\$341,090	\$425,090	\$425,090	\$10,240.65
2022	\$84,000	\$341,090	\$425,090	\$425,090	\$9,959.30

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$425,090	\$425,090	\$425,090	\$425,090
Portability	0	0	0	0
Assessed/SOH	\$425,090	\$425,090	\$425,090	\$425,090
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$425,090	\$425,090	\$425,090	\$425,090

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
6/12/2007	PRD-T		44365 / 616	\$24.00	3,500	SF
3/1/1982	QCD	\$100	10087 / 509			
12/1/1969	WD	\$102,300				
10/1/1968	WD	\$35,000				
Adj. Bldg. S.F. (Card, Sketch)						2584
Eff./Act. Year Built: 1974/1970						

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F2		
C								
2584						3500		



100 50 0 100 Feet

MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



2925 E COMMERCIAL BLVD



1302 NE 32ND LLC
1842 E OAKLAND PARK BLVD
FORT LAUDERDALE, FL 33306

2911 CRE LLC
2911 E COMMERCIAL BLVD
FORT LAUDERDALE, FL 33308

2950 LLC
6233 N UNIVERSITY DR
TAMARAC, FL 33321

ADAMS,TERRY L & ADAMS,THOMAS J JR
161 PEACH BLOSSOM LN
IVYLAND, PA 18974

AMERICAN BUILDING ENTERPRISES LLC
1842 E OAKLAND PARK #2
FORT LAUDERDALE, FL 33306

B&RP INVESTMENTS LLC
4900 N OCEAN DR #716
LAUDERDALE BY THE SEA, FL 33308

BALDASSARE LICATA REV TR &
LICATA,BALDASSARE TRSTEE
2104 NE 44 ST
FORT LAUDERDALE, FL 33308

BALLINGER,REBECCA L &
BALLINGER,BRIAN B
1324 KENWOOD DR
NASHVILLE, TN 37216

BAMMAN,JANET A
7030 NW 52 TER
GAINESVILLE, FL 32653

BAYVIEW CONDO LLC
11555 CENTRAL PKWY STE 1102
JACKSONVILLE, FL 32224

BIRGELES,SUZANNE J
2811 NE 51 ST UNIT 1
FORT LAUDERDALE, FL 33308

BROUJ DEVELOPMENT LLC
1842 E OAKLAND PARK BLVD #2
FORT LAUDERDALE, FL 33306

CITY OF FORT LAUDERDALE
528 NW 2 ST
FORT LAUDERDALE, FL 33311

D'AGOSTINO,MICHELE & MICHELE
D'AGOSTINO LIV TR
2811 NE 51 ST #4
FORT LAUDERDALE, FL 33308

DAVENPORT,SCARLET S
85 SWEET HOLLOW RD
HUNTINGTON, NY 11743

DILKS,CHARELS M & DIANE J
PO BOX 39696
FORT LAUDERDALE, FL 33339

FEIJO HOLDINGS INC
6837 CHASE RD
DEARBORN, MI 48126

FLORIDA DEPT OF TRANSPORTATION
OFFICE OF RIGHT OF WAY
3400 W COMMERCIAL BLVD
FORT LAUDERDALE, FL 33309

FRANK,UTE
2731 NE 14 ST CSWY 810
POMPANO BEACH, FL 33062

GARDEN TRADING INC % FRANCIS
ABDALLAH
PO BOX 670157
CORAL SPRINGS, FL 33067

GIANPIERO DAVERIO REV TR & LINDA
ANTIMUCCI REV TR ETAL
3200 PORT ROYALE DR N #1105
FORT LAUDERDALE, FL 33308

GORDON W LATZ TR & LATZ,GORDON W
TRSTEE
2811 NE 40 ST
FORT LAUDERDALE, FL 33308

HEATHERLY,TYLA
2811 NE 51 ST #2
FORT LAUDERDALE, FL 33308

HUDTWALCKER,CLAUDIO H/E &
ALLEN,ROBERT E & GLORIA ANGELICA
5050 BAYVIEW DR #6
FORT LAUDERDALE, FL 33308

ITAL LUXXE LLC
1842 E OAKLAND PARK #100
FORT LAUDERDALE, FL 33306

JAHEDI,PARVIZ T & PARVIZ T JAHEDI REV
TR
5050 BAYVIEW DR APT 16
FORT LAUDERDALE, FL 33308

JAHEDI,RAMIN
5050 BAYVIEW DR UNIT 15
FORT LAUDERDALE, FL 33308

JAHEDI,RAMIN T
5050 BAYVIEW DR APT 15
FORT LAUDERDALE, FL 33308

KENEIPP,DONALD CRAIG
2901 NE 51 ST #9
FORT LAUDERDALE, FL 33308

LAMOLY,THOMAS & LAMOLY REAL
ESTATE TR
789 PLAINS RD
MONROE, NH 03771

LESKO,JONATHAN G
1612 NE 6 ST
FORT LAUDERDALE, FL 33304

MA PROSPER INVESTMENTS LLC
8655 NW 24 CT
CORAL SPRINGS, FL 33065

MACLENNAN,DAVID L
2811 NE 51 ST #13
FORT LAUDERDALE, FL 33308

MENEGAZZI,GIAMPIETRO
720 NE 3 ST
POMPANO BEACH, FL 33060

NELSON BAYVIEW LLC
2850 E COMMERCIAL BLVD
FORT LAUDERDALE, FL 33308

NELSON BAYVIEW LLC
1573 PLEASANT PLAIN RD
FAIRFIELD, IA 52556

OBRIEN,JAMES JOSEPH
2901 NE 51 ST #11
FORT LAUDERDALE, FL 33308

PALMETTO CIRCLE 106 LLC
70 GIBSON DR #13
*MARKHAM ON, CA L3R 4

PALMETTO CIRCLE 106 LLC
13-70 GIBSON DR
*MARKHAM ON, CA L3R 4

PARVIZ T JAHEDI REV TR &
JAHEDI,PARVIZ T TRSTEE
5050 BAYVIEW DR #16
FORT LAUDERDALE, FL 33308

PERSICHETTI,BARBARA
3030 NE 45 ST
FORT LAUDERDALE, FL 33308

PROPERTY BELLA INVESTMENTS LLC
2101 S OCEAN DR #507
HOLLYWOOD, FL 33019

PUBLIC LAND % CITY OF FORT
LAUDERDALE
100 N ANDREWS AVE
FORT LAUDERDALE, FL 33301

R LUTHER FURR REV TR & FURR,ROBERT
TRSTEE
5050 BAYVIEW DR #21
FORT LAUDERDALE, FL 33308

RADONCIC,BOBBY & SEKA
251 E 51 ST APT 2F
NEW YORK, NY 10022

RAPPA,HUGH & ANDREA
PO BOX 3102
PONTE VEDRA, FL 32004

RASER,ROBERT
2901 NE 51 ST #5
FORT LAUDERDALE, FL 33308

RIDGEWOOD GROUP INC
360 DEMOTT AVE
ROCKVILLE CENTRE, NY 11570

ROSLUND,TRACY LEA
2811 NE 51ST ST APT 2B
FORT LAUDERDALE, FL 33308

SOBOTNIK,SIMON
56 ANNIE CRAIG DR #4503
*TORONTO ON, CA M8V 0

SOSANICS INVESTMENTS LLC
437 SW 4 AVE #516
FORT LAUDERDALE, FL 33315

ST CHAN BUSINESS ENTERPRISES LTD
3325 INWOOD DR
HOUSTON, TX 77019

STARR,LEANNE %DRAKE AND COMPANY
1505 WISCONSIN AVE APT 217
GRAFTON, WI 53024

STEVENS,LISA
2811 NE 51 ST UNIT 3
FORT LAUDERDALE, FL 33308

SUNNYVALE CORP N V
PO BOX 212378
ROYAL PALM BEACH, FL 33421

SWANTON STREET 223 LLC
8412 STAGECOACH LN
BOCA RATON, FL 33496

THORNBERG,BRYAN D
109 TUSCANY RIDGE DR
OAKDALE, PA 15071

TRENTALANGE,MARIANNE
5899 NW 23 AVE
BOCA RATON, FL 33496

VAN ALLEN,JEFFREY
2811 NE 51 ST #11
FORT LAUDERDALE, FL 33308

VILLALTA,HUGO
2905 E COMMERCIAL BLVD
FORT LAUDERDALE, FL 33308

WELLS DECLARATION OF TR &
WELLS,DENNIS C & LINDA L TRSTEEES
7311 ALOUISE CT
WHITE LAKE, MI 48383

WILLIAM F ADER JR TR & ADER,ROBERT
TRSTEE
3401 N MIAMI AVE STE 218
MIAMI, FL 33127

YUNIS,PAMELA
2811 NE 51 ST #12
FORT LAUDERDALE, FL 33308

ZEWINSKI,JOHN
2901 NE 51 ST #1
FORT LAUDERDALE, FL 33308



7/9/2024
Looking NE



7/9/24
Looking North



7/9/24
Looking NW



7/9/24
Looking West



7/9/24

Applicant: Andrew J. Schein / Lochrie & Chakas, P.A.
Owner: William F. Ader Jr. Trust
Address: 2925 East Commercial Boulevard (“Property”)
Request: Variance from ULDR Sections 47-18.21.H.3, 47-18.21.I.2 and 47-18.21.I.5

Narrative

1. General Information and Request

Robert Ader, as trustee of the William F. Ader Jr. Trust (“Owner”) is the owner of the property located at 2925 East Commercial Boulevard (the “Property”). The Ader family are long-time residents of Fort Lauderdale, and the Property has been in the Ader family since 1982. The Property was the previous site of Murphy’s Tavern, also known as Mrs. Murphy’s Pub and Grubb.

The building on the Property was constructed in 1970. Due to the ~50 years that the Property served as a bar, the interior of the building was in desperate need of a renovation. Rather than gutting the entire building, the Ader family decided to develop a new building on the Property to bring the Property into modern times.

The Property is in a unique area of Fort Lauderdale from a development standpoint. The north side of Commercial Boulevard between US-1 and the Intracoastal is dotted with commercial strip malls, with shared surface parking lots facing Commercial Boulevard, commercial buildings abutting the parking lot, and residential uses further to the north. The Property is located in one of four of the four strip malls where the commercial uses do not have any dedicated parking of their own; parking for these uses is provided in the shared parking lots, which are owned and metered by the City.

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Owner is applying for these variances due to the stringent requirements in ULDR Section 47-18.21, the mixed-use development provisions. The Project is a “2 over 1” development, which is a development with two residential floors above one commercial floor. This type of development (also 3 over 1s and 4 over 1s) are frequently seen throughout many major cities in the world and is a hallmark of successful urban planning. This type of development provides additional housing opportunities without the need to remove commercial uses from the area. Although welcomed in the urban planning world, this type of development is not yet contemplated in the City’s code.

Owner is specifically seeking a variance from the ULDR provisions that require (1) a 1,400 square foot public plaza, (2) a minimum lot size of 10,000 SF, and (3) a minimum lot width of 100 feet.

2. Code Provisions

ULDR Section 47-18.21.H.3 A mixed use development shall contain a public plaza open to the sky which includes pedestrian amenities such as landscaping, benches and fountains. The public plaza shall be a minimum size of one thousand four hundred (1,400) gross square feet and shall be located to provide the principal pedestrian access to the mixed use development. A covered arcade with a minimum width of ten (10) feet may substitute for up to fifty percent (50) of the above public plaza requirements.:

ULDR Section 47-18.21.I.2: Minimum lot size. Ten thousand (10,000) gross square feet.

ULDR Section 47-18.21.I.5: Minimum lot width. One hundred (100) feet.

3. Variance Criteria

- a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property;

RESPONSE: The Property is in a unique position, both from a development standpoint and an urban planning standpoint. As mentioned above, the Property is in a strip mall where all parking is provided in a shared parking lot that is owned and metered by the City. In order to do any new development on the Property, the development would require a parking reduction. Parking can almost always be provided on-site (perhaps at the expense of building square footage), but in this case it is not possible, in any way, to provide the full amount of required parking on the Property.

This variance is not for parking, but the parking situation shows how the Property and the other properties in the shopping center function as a single development. The Property is zoned CB, and mixed-use developments are permitted in the CB zoning district. However, the ULDR does not contemplate mixed-use developments on single parcels that are part of a larger development. While the Property itself is only 3,500 square feet, it's part of a single shopping center with an overall square footage of +/- 54,000 square feet. Similarly, the Property has a lot width of 35', but the shopping center overall has a width of +/- 535'. So while the shopping center functions as a single development, with completely shared parking and no separation between the buildings, the technical limitations of the ULDR still require the lot width and lot size variance due to the Property and shopping center having separate owners.

This limitation is also exemplified in the public plaza requirement. The overall development, along with the City's parking lot, can easily accommodate a 1,400 square foot plaza. With the Property itself being only 3,500 square feet, a 1,400 square foot plaza cannot be accommodated within the Property.

- b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district;

RESPONSE: These properties are part of the Coral Ridge Commercial Boulevard Plat, which was completed in the late 1950s long before the ULDR was enacted. The plat itself suggests that these

properties were to function as a single unit; the plat restricts the parking lots to public parking in perpetuity, clearly for the use of the other platted lots.

This is unique to Commercial Boulevard between US-1 and the Intracoastal. Applicant is not aware of any other area in Fort Lauderdale where a shopping center was clearly planned to function as a single unit but each lot is separately owned. The Property therefore has the negatives of a shopping center (no dedicated parking for your customers, limited signage and visibility from the street) without the benefits of being considered a single shopping center (lot size, lot width, and areas for public plazas).

- c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district;

RESPONSE: As detailed above, the Property and the shopping center are unique. Other properties in the CB zoning district were not platted the way that this Property was platted – most properties in the City allow for parking and dimensional requirements to be met, again perhaps at the cost of less buildable area, but this Property does not have such a benefit. The Property has no other choice but to rely on other properties, including the City parking lot, to meet the code requirements.

If approved by the Planning and Zoning Board, the parking reduction will formalize the Property's reliance on the parking lot. Similarly, this variance application would formalize the Property's reliance on the neighboring properties for lot size and lot width requirements.

The ability to develop your property is a substantial property right, and the ULDR makes it tough to develop the Property. The Property is treated as a cohesive shopping center for some purposes in the ULDR, but not other purposes in the ULDR. This does not appear to be done intentionally by the crafters of the ULDR, it's just a function of applying a general code to a specific parcel.

- d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result or mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

RESPONSE: The Property was platted and the shopping center was constructed prior to the Ader family purchasing the Property in 1982. Owner did not have a say in how the shopping center functions. Parking reductions are not typical in development, but Owner has no choice but to go to the Planning and Zoning Board for a parking reduction due to how the Property functions as a single shopping center. Similarly, Owner has to go to the Board of Adjustment for these variances due to how the Property functions as a single shopping center.

This was not created by the applicant or their predecessors, it's just a function of how this 60+ year old shopping center operates.

- e. The variance is the minimum variance that will make possible a reasonable use of the property, and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

RESPONSE: This variance request is in harmony with the general purposes and intent of the ULDR and will not be incompatible with adjoining properties.

The residential uses will face the rear of the Property away from the commercial uses and towards the existing residential developments to the north. The Property is located in the Community Business zoning district, which is a zoning district that is intended to be a residentially-focused business district. As a mixed-use project, the proposed development on the Property is squarely in line with the intent of the district.

If approved, this variance would “formalize” the relationship between the building itself and the shopping center as a whole by recognizing that the lot size of 3,500 square feet and the lot width of 35’ aren’t the “true” lot widths of the development, even if they are the dimensions of the specific property within the development. This is a reasonable determination and would make possible this reasonable use of the Property. Additionally, requiring a 1,400 square foot public plaza on a 3,500 square foot parcel is not reasonable.



SOUTH ELEVATION



VIEW FACING NORTH



VIEW FACING SOUTH - COMMERCIAL BOULEVARD

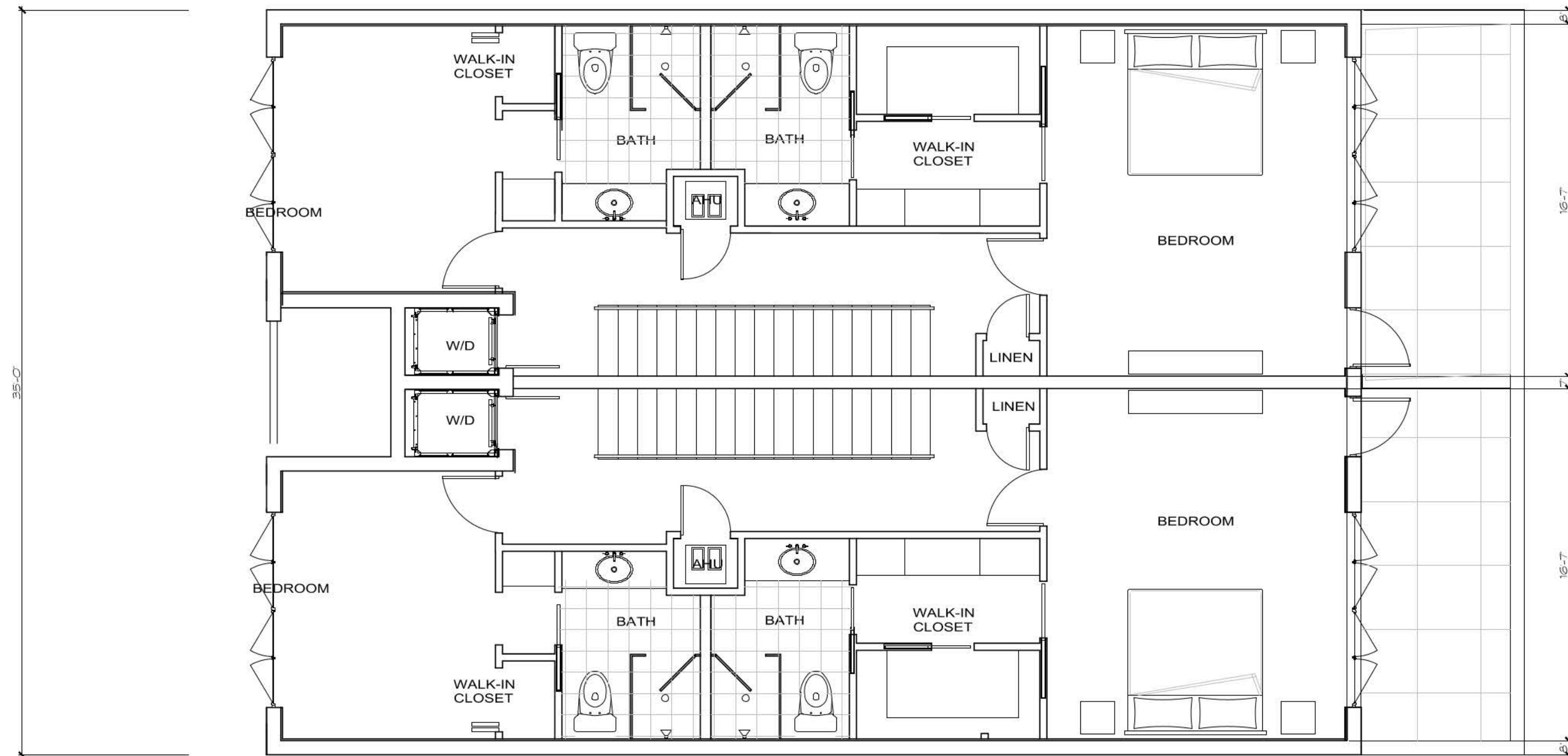
LEGAL DESCRIPTION	
LOT 9 BLOCK 3 CORAL RIDGE COMMERCIAL BOULEVARD ADDITION PLAT BOOK 43 PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA	
PROJECT DATA	
FDUG NO.	494213070410
PARCEL ID	02713070410
ZONING DESIGNATION	CB
TYPE OF CONSTRUCTION	VB
OCCUPANCY	B AND RS
FLOOD ZONE	X
BASE FLOOD ELEVATION	N/A



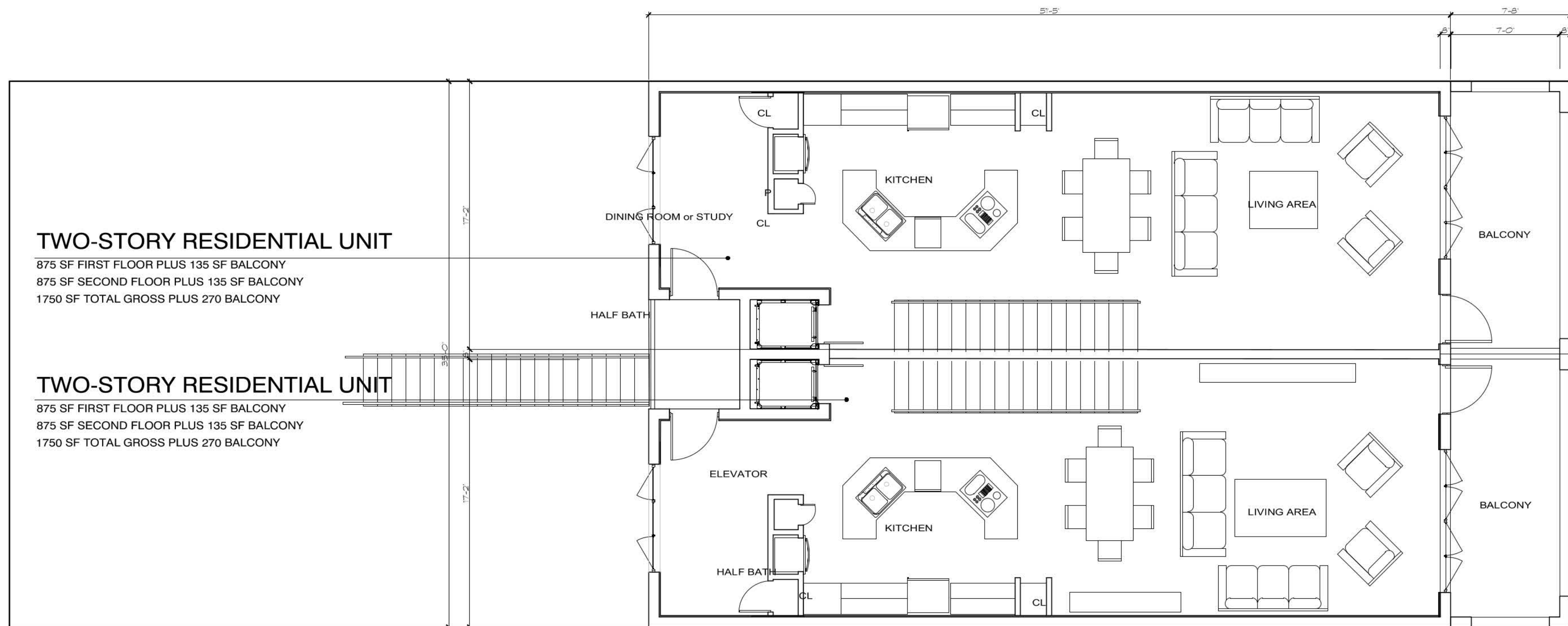
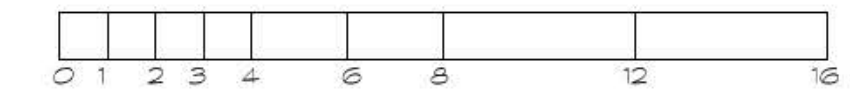
**LEO HANSEN, A.I.A.,
ARCHITECT**
330 HIMARSHEE STREET #104
FORT LAUDERDALE, FL 33301
lchaia9093@gmail.com

New Three-Story Retail/Office/Residential
ADER BUILDING
2925 E. Commercial Blvd. Fort Lauderdale, FL

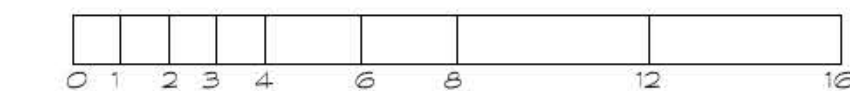
INDEX OF DRAWINGS	COVER SHEET AND INDEX	OWNER
BLD-PLANS-A-A0-1	COVER SHEET AND INDEX	WILLIAM F ADER JR TR ADER ROBERT TRUST 100 SE 2nd St #3550 Miami, FL 33131
BLD-PLANS-A-SP1-1	SITE PLAN	DATE
BLD-PLANS-A-A1-1	GROUND FLOOR PLAN	03-29-24
BLD-PLANS-A-A1-2	FIRST AND SECOND FLOOR PLANS	FILE NO.
BLD-PLANS-A-A2-1	ELEVATIONS	22-120-A0-1
BLD-PLANS-A-A2-2	ELEVATIONS	DRAWING NO.
BLD-PLANS-C-C1-1	SITE ENGINEERING PLAN	BLD-PLANS- A-A0-1
BLD-PLANS-C-C5-1	SITE DETAILS	
BLD-PLANS-L-L1-1	LANDSCAPING PLAN	



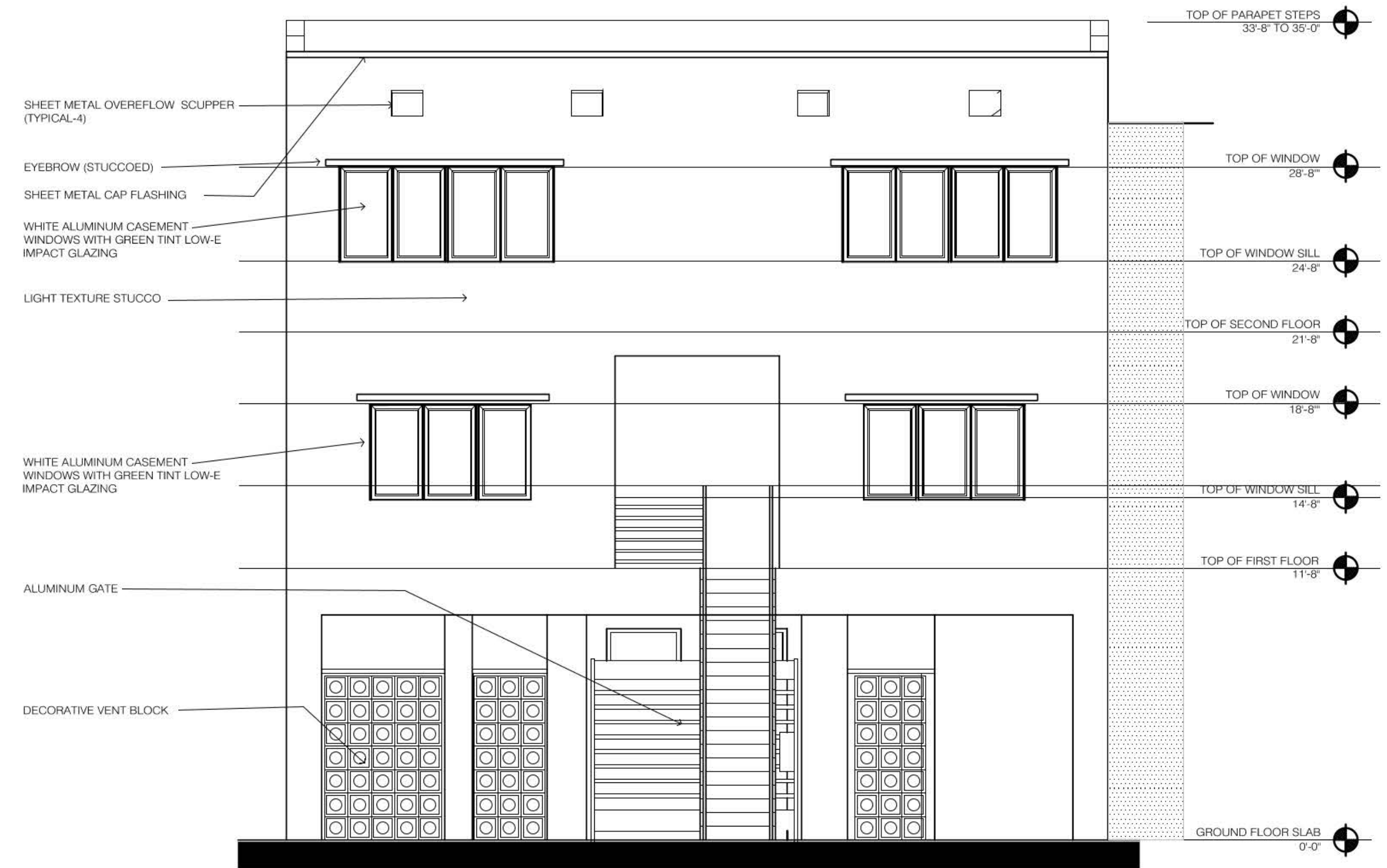
SECOND FLOOR PLAN



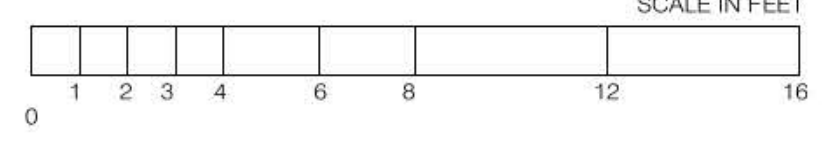
FIRST FLOOR PLAN



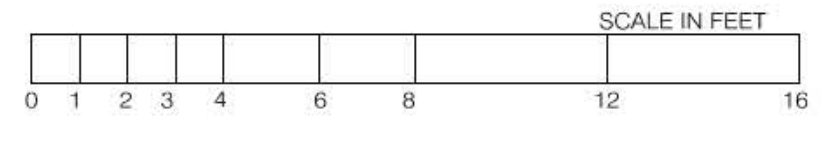
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LEO CRAMER HANSEN REGISTERED ARCHITECT FL #9093	
DATE	
PRINT OR PDF FILE DATE	
PRINTED FOR	DATE
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<input type="checkbox"/> BIDDING DOCUMENTS	
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<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> REVISION	
NO.	REVISION
DATE	
<input checked="" type="checkbox"/> DRC REVISION	7-16-2024
BUILDING CODE	
Comply with the requirements, standards, and specifications of the 7th (2020) Edition of the Florida Building Code, Florida Building Code Existing Buildings, Florida Building Code Plumbing, Florida Building Code Energy Conservation, Florida Building Code Mechanical, Florida Building Code Fuel Gas, Florida Building Code Test Protocol, Florida Building Code Accessibility, the National Electric Code.	
GENERAL NOTES	
Verify all dimensions and existing conditions at the site prior to the fabrication of any portion of the work. It is the intention of these drawings to include all items necessary for the completion of the work.	
LEGAL DESCRIPTION	
LOT 9 BLOCK 3 CORAL RIDGE COMMERCIAL BOULEVARD ADDITION PLAT BOOK 43 PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA	
PROJECT DATA	
FOLIO NO.	494213070410
PARCEL ID	9213070410
ZONING DESIGNATION	CB
TYPE OF CONSTRUCTION	VB
OCCUPANCY	B AND R3
FLOOD ZONE	X
BASE FLOOD ELEVATION	N/A
OWNER	
WILLIAM F ADER JR TR ADER ROBERT, TRSTEE 100 SE 2nd St #3550, Miami, FL 33131	
PROJECT	
New Three-Story Retail/Office/Residential Building ADER BUILDING 2925 E. Commercial Blvd. Fort Lauderdale, FL	
LEO HANSEN AIA ARCHITECT	
370 GOVT HWY 12 2ND STREET 104 FORT LAUDERDALE, FLORIDA 954-462-8925	
PROJECT NO.	
22-120	
DRAWING NO.	
BLD-DWG-	
A-A1-2	



NORTH ELEVATION



SOUTH ELEVATION



SEAL

LEO CRAMER HANSEN
REGISTERED ARCHITECT FL #9093

DATE

PRINT OR PDF FILE DATE

PRINTED FOR	DATE
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<input checked="" type="checkbox"/> DRC SUBMISSION	3-29-2024
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<input type="checkbox"/> REVISION	

NO.	REVISION	DATE
1	DRC REVISION	7-16-2024

BUILDING CODE

Comply with the requirements, standards, and specifications of the 7th (2020) Edition of the Florida Building Code, Florida Building Code Existing Buildings, Florida Building Code Plumbing, Florida Building Code Energy Conservation, Florida Building Code Mechanical, Florida Building Code Fuel Gas, Florida Building Code Test Protocol, Florida Building Code Accessibility, the National Electric Code.

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LOT 9 BLOCK 3
CORAL RIDGE COMMERCIAL
BOULEVARD ADDITION
PLAT BOOK 43 PAGE 13 OF THE PUBLIC
RECORDS OF BROWARD COUNTY
FLORIDA

PROJECT DATA

FOLIO NO.	494213070410
PARCEL ID	9213070410
ZONING DESIGNATION	CB
TYPE OF CONSTRUCTION	VB
OCCUPANCY	B AND R3
FLOOD ZONE	X
BASE FLOOD ELEVATION	N/A

OWNER

WILLIAM F ADER JR TR
ADER ROBERT, TRSTEE
100 SE 2nd St #3550, Miami, FL 33131

PROJECT

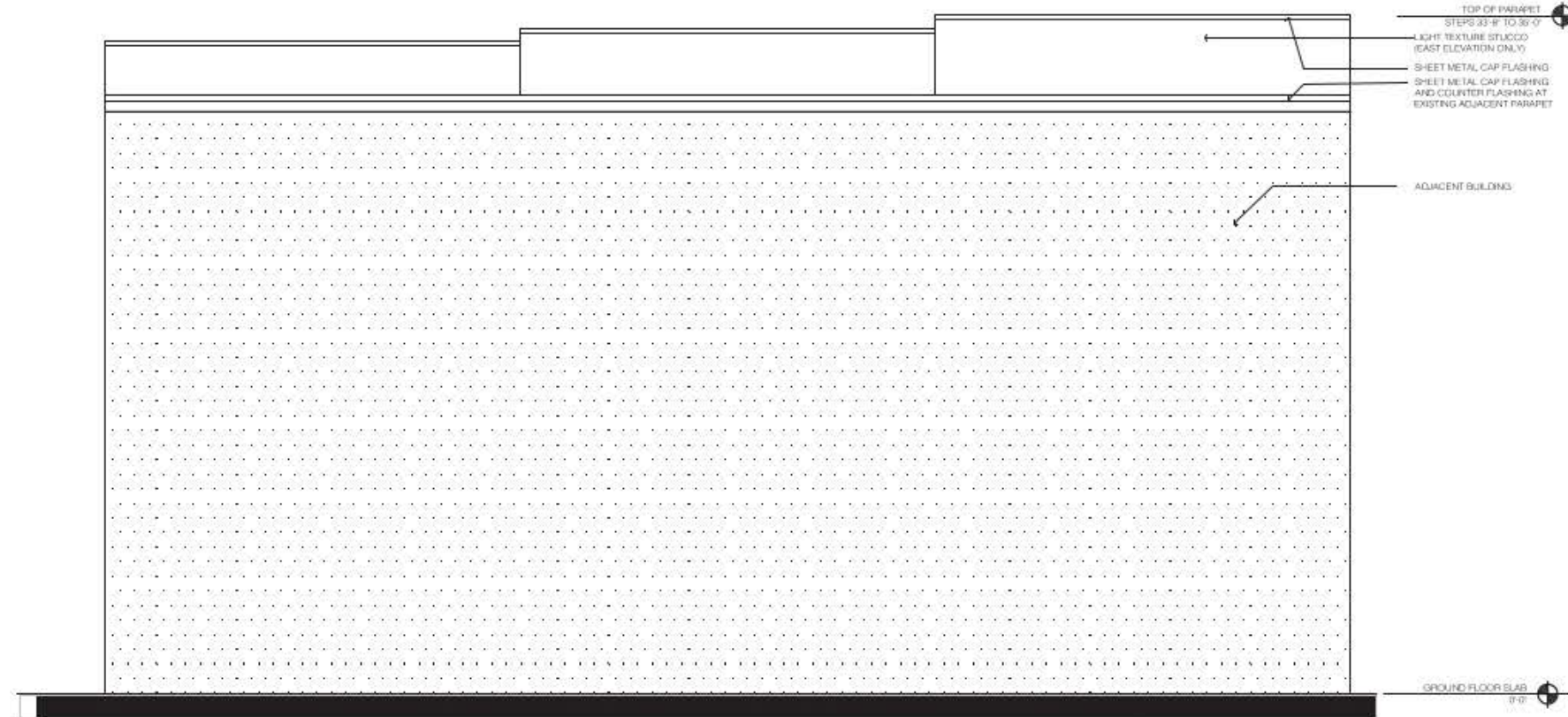
New Three-Story
Retail/Office/Residential
Building
ADER BUILDING
2925 E Commercial Blvd.
Fort Lauderdale, FL

LEO CRAMER HANSEN, AIA, ARCHITECT

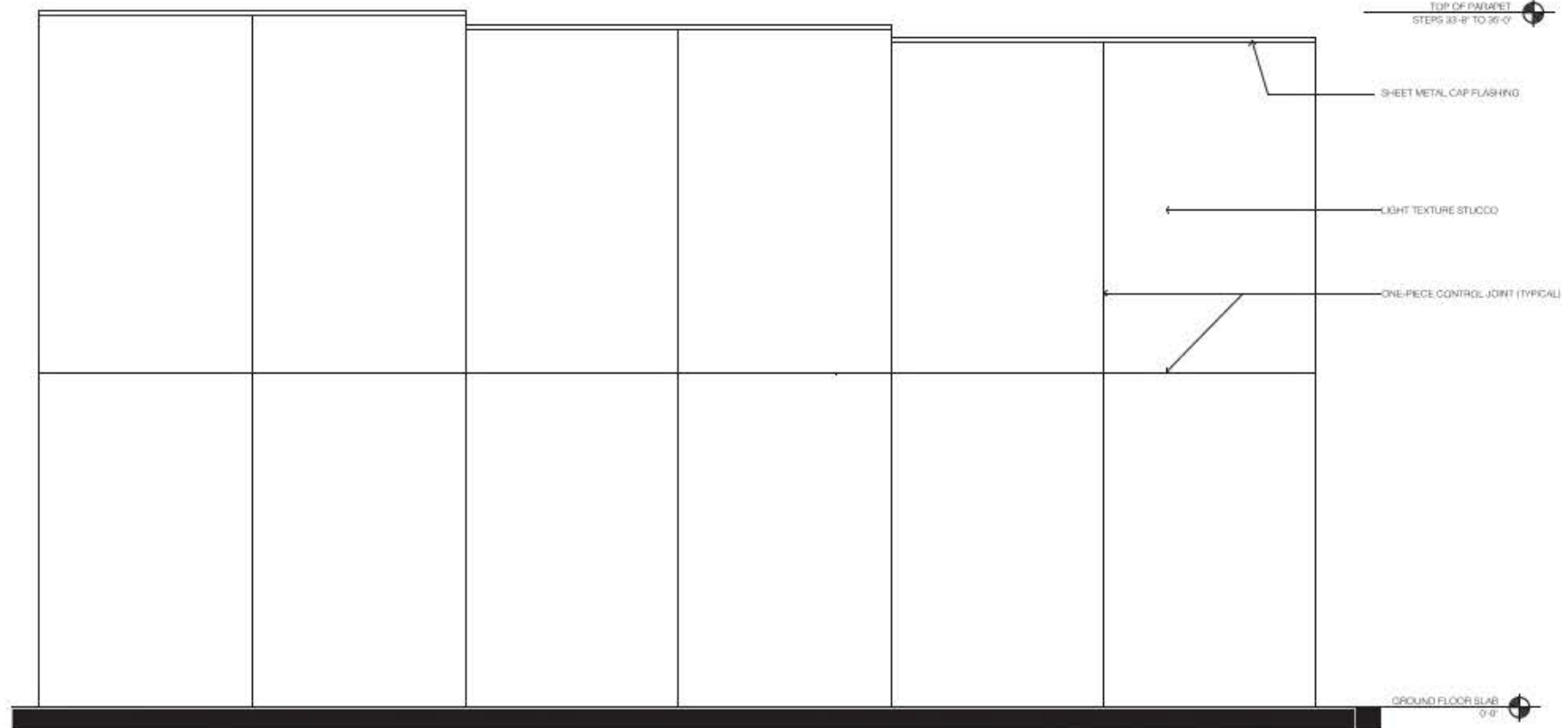
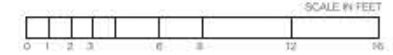
330 1/2 VFW HWY / 2ND STREET
FORT LAUDERDALE, FLORIDA
954-462-0925

PROJECT NO.
22-120

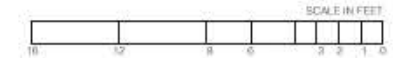
DRAWING NO.
BLD-DWG-
A-A2-1



WEST ELEVATION



EAST ELEVATION



SEAL

LEO DRAMER HANSEN
REGISTERED ARCHITECT FL #9593

DATE

PRINT OR PDF FILE DATE

PRINTED FOR	DATE
<input type="checkbox"/> PRELIMINARY	
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NO.	REVISION	DATE
△		

BUILDING CODE

Comply with the requirements, standards, and specifications of the 7th (2020) Edition of the Florida Building Code, Florida Building Code Existing Buildings, Florida Building Code Plumbing, Florida Building Code Energy Conservation, Florida Building Code Mechanical, Florida Building Code Fuel Gas, Florida Building Code Taps/Probes, Florida Building Code Accessibility, the National Electric Code.

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LEGAL DESCRIPTION

LOT 9 BLOCK 3
CORAL RIDGE COMMERCIAL
BOULEVARD ADDITION
PLAT BOOK 43 PAGE 13 OF THE PUBLIC
RECORDS OF BROWARD COUNTY
FLORIDA

PROJECT DATA

FOLIO NO. 494213070410

PARCEL ID 9213070410

ZONING DESIGNATION DB

TYPE OF CONSTRUCTION VB

OCCUPANCY B AND R3

FLOOD ZONE X

BASE FLOOD ELEVATION N/A

OWNER

WILLIAM F ADER JR TR
ADER ROBERT, TRUSTEE
100 SE 2nd St #3355, Miami, FL 33131

PROJECT

New Three-Story
Retail/Office/Residential
Building
ADER BUILDING
2925 E Commercial Blvd
Fort Lauderdale, FL

LEO DRAMER HANSEN
REGISTERED ARCHITECT
FLORIDA

370 WEST 2ND STREET
FORT LAUDERDALE, FLORIDA
954-42-0625

PROJECT NO. 22-120

DRAWING NO. BLD-DWG-

A-A2-2

REQUIRED PARKING CALCULATION

USE	REQUIREMENT	NO.	EXISTING REQUIRED	PROPOSED	PROPOSED REQUIRED	PROVIDED	NET +/-
RESIDENTIAL	2/UNIT	0	0	2	4	4	+ 4
BAR	1/65 GROSS SF	2695	40	0	0	0	- 40
RETAIL	4/1000	0	0	1810	7.2	SHARED	+ 7
TOTAL							- 33

1957 WARRANTY DEED EXCERPT

13A. PAVING AND BEAUTIFICATION. The Grantee does hereby acknowledge and agree that the Owner, his Association, Inc. or the Grantee may not in his behalf and he hereby authorized to construct for paving, landscaping and beautification the parking area shown on and in front of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 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OPEN SPACE REQUIREMENTS

	REQUIRED	PROVIDED
OPEN SPACE REQUIRED (250 SF/UNIT)	500 SF	
MINIMUM GRADE LEVEL OPEN SPACE (40%)	200 SF	
COVERED ENTRANCE AREA (NOT INCL STAIR)		260 SF
TOTAL GROUND LEVEL OPEN AREA	200 SF	260 SF
MINIMUM LIVING MATERIAL LANDSCAPING	250 SF	460 SF
SECOND AND THIRD FLOOR BALCONIES	460 SF	
TOTAL OPEN SPACE (REQUIRED PER UNIT)	500 SF	720 SF
MINIMUM 20% LANDSCAPING/OPEN SPACE	700 SF	720 SF

PROJECT DIMENSIONAL STANDARDS

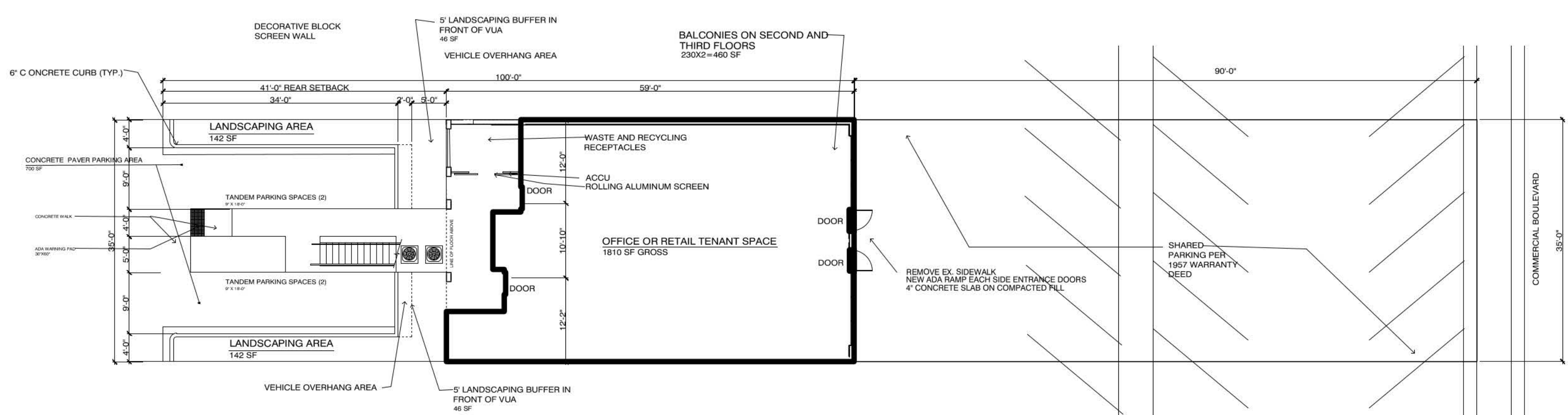
	REQUIRED PER ULDR	PROPOSED
LOT SIZE	-	3500 SFD/ .08 ACRES
LOT DENSITY	-	25 DU/ACRE
LOT WIDTH	-	35 FT.
BUILDING HEIGHT	-	35'-0"
STRUCTURE LENGTH	-	64'-0"
LOT COVERAGE	-	2,240 SF
FLOOR AREA RATIO	-	1.67
LANDSCAPE AREA	0 DU/ACRE	520 SF
PARKING SPACES	4	4
SETBACK: FRONT	0	0
SETBACK: SIDE	0	0
SETBACK: REAR	5'-0"	36'-0"

SITE USAGE

BUILDING AREA (FIRST FLOOR COVERAGE)	1810 SF	
OVERHANG AREA (INCLUDING EXTERIOR STAIR)	300 SF	
TOTAL BUILDING AREA (INCLUDING OVERHANGS)		2110 SF
WALKWAYS	230 SF	
LANDSCAPING AREA	460 SF	
TOTAL OPEN SPACE:		690 SF
VEHICULAR USE AREA:		700 SF
TOTAL SITE AREA		3500 SF

SITE INFORMATION

FOLIO NO.	494213070410	
WATER/WASTE WATER SERVICE PROVIDER:	9213070410	
OWNER	WILLIAM F. ADER, JR., TRUSTEE ROBERT ADER, TRUSTEE	
PROPERTY DESCRIPTION	CORAL RIDGE COMMERCIAL BOULEVARD ADDITION 43-13B LOT 9 BLOCK 3	
PROJECT DESCRIPTION	(2) RETAIL SPACES WITH (2) TWO-STORY TOWNHOUSES ABOVE	
	EXISTING	PROPOSED
LAND USE:	COMMERCIAL	COMMERCIAL
ZONING DESIGNATION:	CB	CB
WATER/WASTE WATER SERVICE PROVIDER:	WASTE MANAGEMENT	WASTE MANAGEMENT
SITE AREA (SQ. FT. AND ACRES):	3500 SF .08 ACRES	3500 .08 ACRES
BUILDING FOOT PRINT COVERAGE:	2,395 SQ. FT.	1810 SQ. FT.
NUMBER OF DWELLING UNITS:	0	2
FLOOR AREA RESIDENTIAL	0 SF	3,760 SQ. FT.
FLOOR AREA RETAIL	2,695 SQ. FT.	1,810 SQ. FT.
TOTAL FLOOR AREA	2,695 SQ. FT.	5,570 SQ. FT.
FLOOR AREA RATIO (FAR):	.77	1.67
BUILDING HEIGHT ABOVE GRADE:	12'-0"	34'-0"
STRUCTURE LENGTH:	74.2'	64.0'
NUMBER OF STORIES:	1	3



SITE PLAN
SCALE IN FEET
0 1 2 3 4 6 8 10 20
24X36 PLOT SCALE: 1" = 10'-0"

SEAL

LEO CRAMER HANSEN
REGISTERED ARCHITECT FL #9093

DATE

PRINT OR PDF FILE DATE

PRINTED FOR DATE

PRELIMINARY

DRC SUBMISSION 3-29-2024

BIDDING DOCUMENTS

BUILDING PERMIT

PERMIT REVISION

CONSTRUCTION

REVISION

NO.	REVISION	DATE
1	DRC REVISION	7-16-2024

BUILDING CODE

Comply with the requirements, standards, and specifications of the 7th (2020) Edition of the Florida Building Code, Florida Building Code Existing Buildings, Florida Building Code Plumbing, Florida Building Code Energy Conservation, Florida Building Code Mechanical, Florida Building Code Fuel Gas, Florida Building Code Test Protocol, Florida Building Code Accessibility, the National Electric Code.

GENERAL NOTES

Verify all dimensions and existing conditions at the site prior to the fabrication of any portion of the work. It is the intention of these drawings to include all items necessary for the completion of the work.

LEGAL DESCRIPTION

LOT 9 BLOCK 3
CORAL RIDGE COMMERCIAL BOULEVARD ADDITION
PLAT BOOK 43 PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA

PROJECT DATA

FOLIO NO. 494213070410

PARCEL ID 9213070410

ZONING DESIGNATION CB

TYPE OF CONSTRUCTION VB

OCCUPANCY B AND R3

FLOOD ZONE X

BASE FLOOD ELEVATION N/A

OWNER

WILLIAM F ADER JR TR
ADER ROBERT, TRUSTEE
100 SE 2nd St #3550, Miami, FL 33131

PROJECT

New Three-Story Retail/Office/Residential Building
ADER BUILDING
2925 E. Commercial Blvd.
Fort Lauderdale, FL

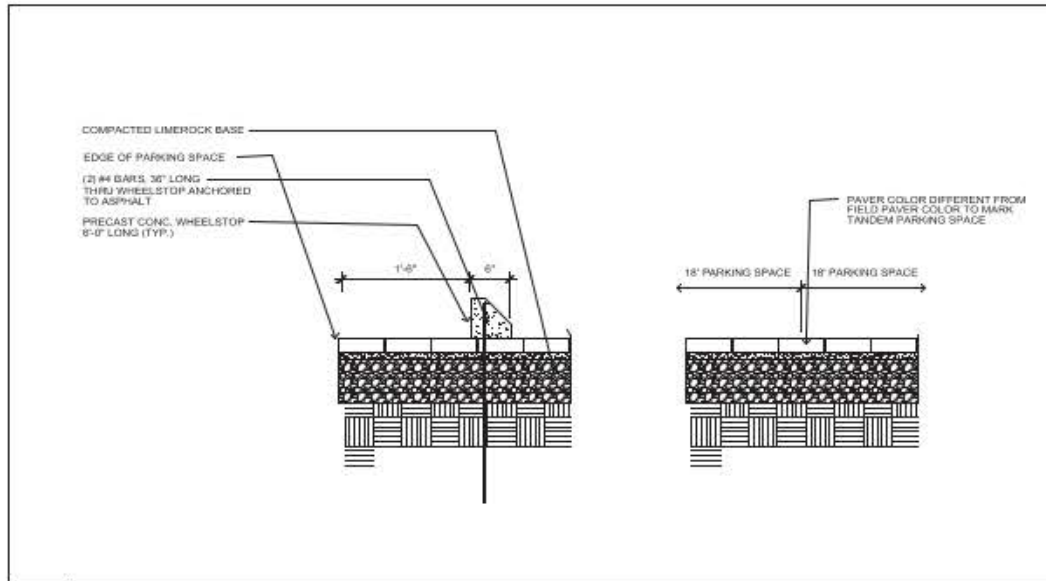
LEO HANSEN, AIA, ARCHITECT

330 NORTHWEST 12ND STREET
FORT LAUDERDALE, FLORIDA
954-462-6925

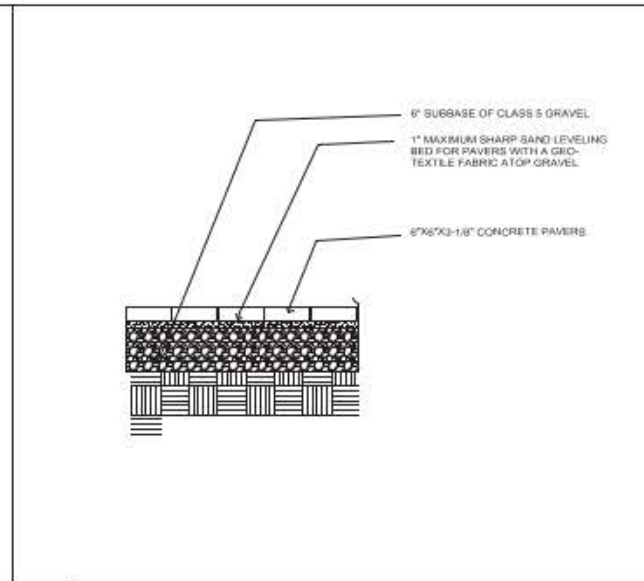
PROJECT NO. 22-120

DRAWING NO. BLD-DWG-

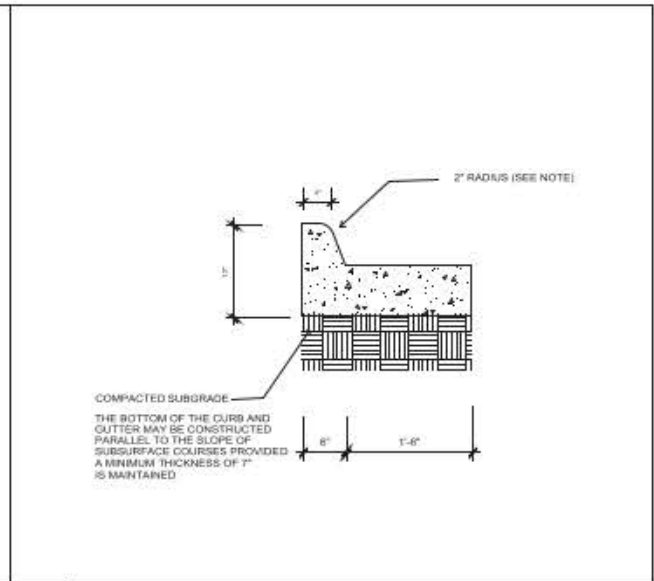
A-SP1-1



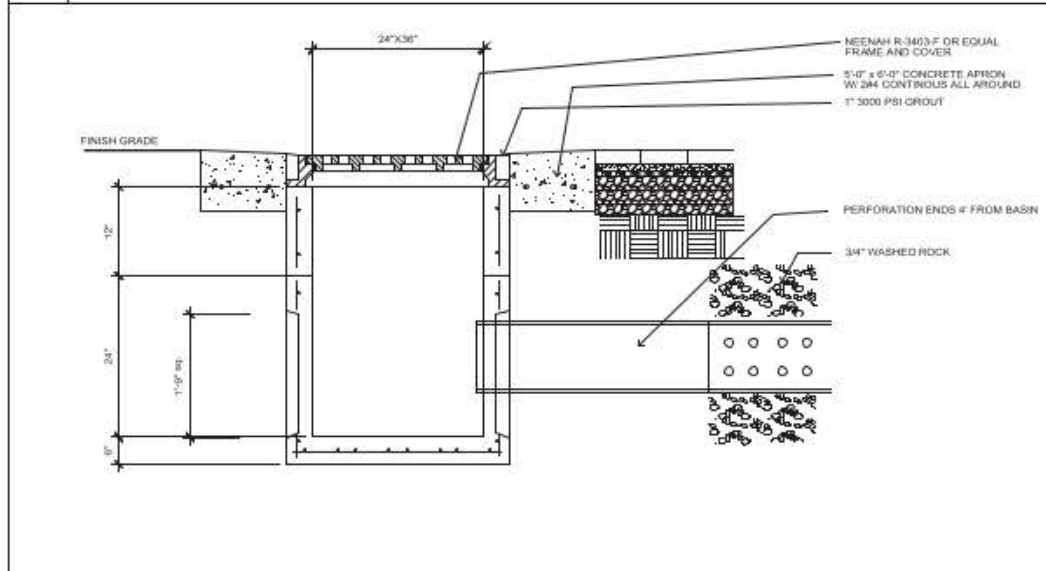
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SPS-1
PARKING SPACE DETAIL
SCALE: 1-1/2" = 1'-0"



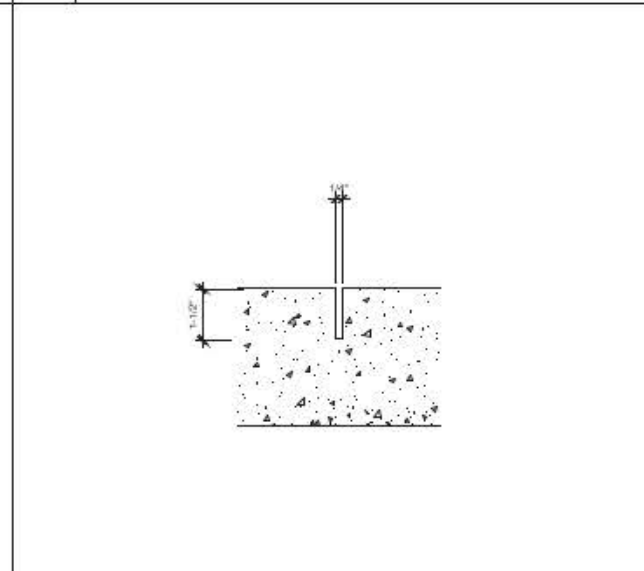
06
SPS-1
CONCRETE PAVER DETAIL



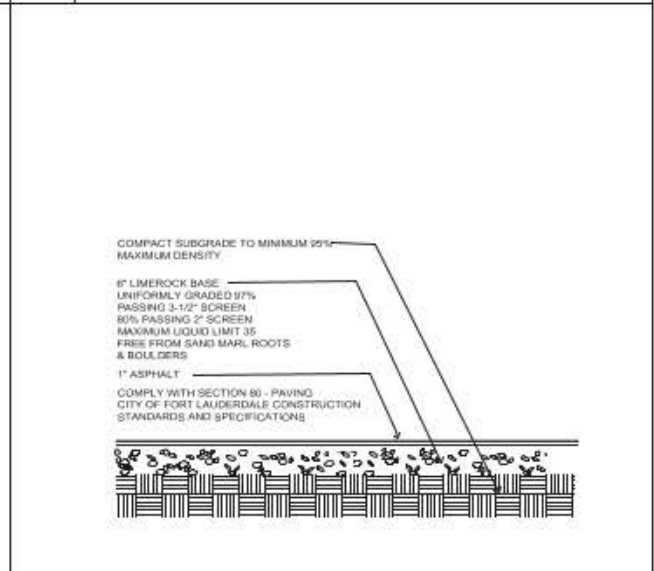
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SPS-1
CONCRETE CURB DETAIL



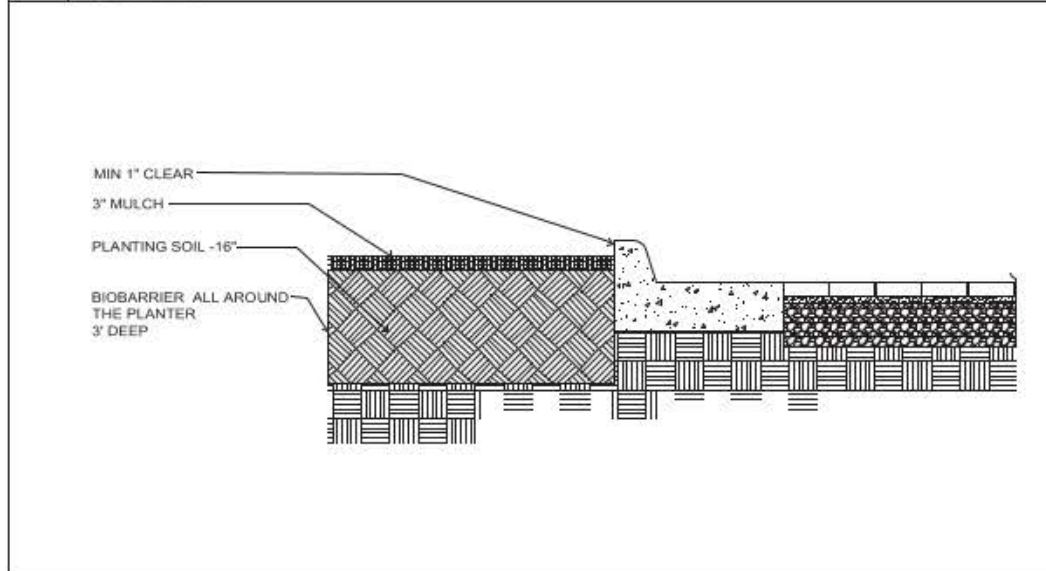
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SPS-1
INLET BASIN DETAIL
SCALE: 1-1/2" = 1'-0"



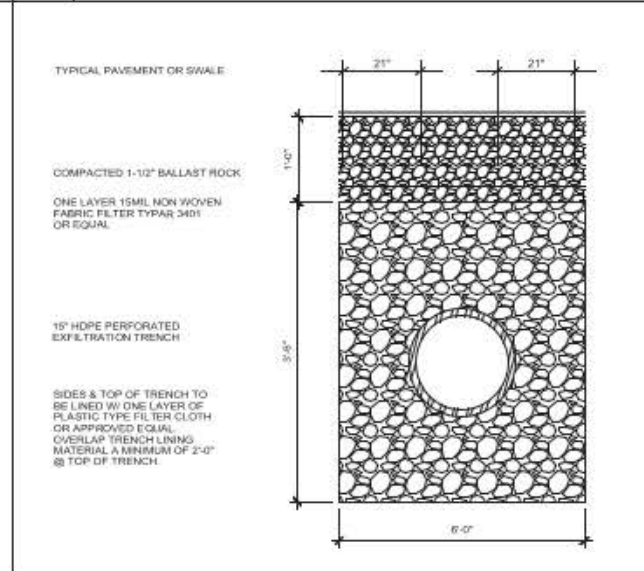
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SPS-1
CONTROL JOINT DETAIL
SCALE: 1-1/2" = 1'-0"



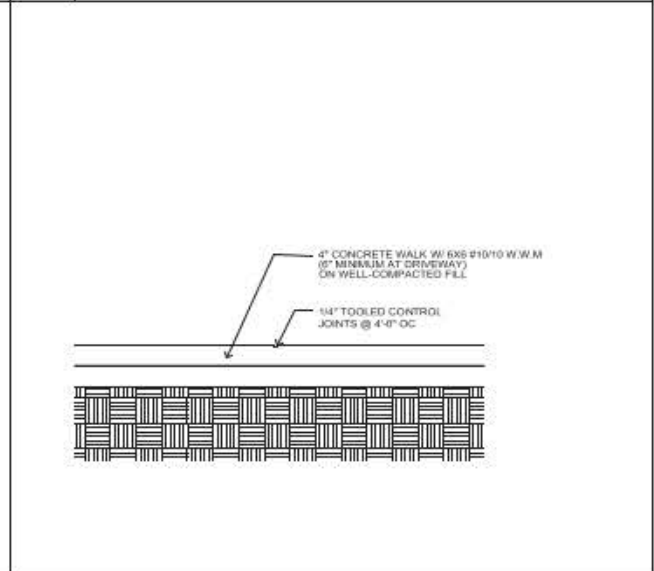
02
SPS-1
ASPHALT PAVEMENT REPAIR DETAIL
SCALE: 1-1/2" = 1'-0"



07
SPS-1
DRIVEWAY AND PLANTER DETAIL
SCALE: 1-1/2" = 1'-0"



04
SPS-1
EXFILTRATION TRENCH DETAIL
SCALE: 1-1/2" = 1'-0"

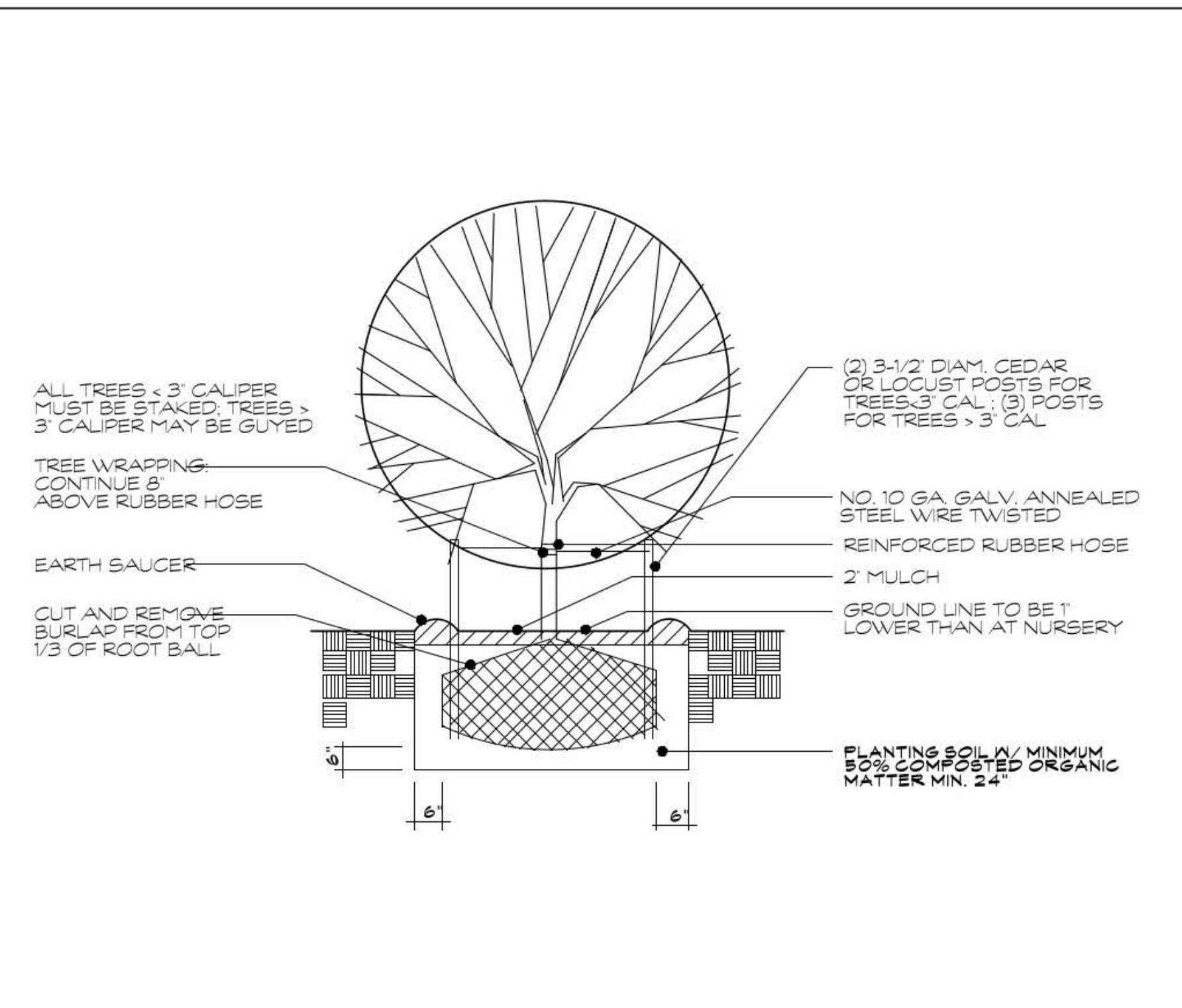


01
SPS-1
SIDEWALK DETAIL
SCALE: 1-1/2" = 1'-0"

REGISTER	
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Retail
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 330 JOY
 PORT LA
 PROJECT
 22-1
 DRAWING
 BLD-1
 C-C

TREE PLANTING DETAIL



LANDSCAPING CALCULATIONS

AREA CALCULATIONS		AMOUNT
GROSS SITE AREA		3,500 SF
BUILDING AREA (FIRST FLOOR COVERAGE)	1810 SF	
OVERHANG AREA (INCLUDING EXTERIOR STAIR)	300 SF	
TOTAL BUILDING AREA (INCLUDING OVERHANGS)		2110 SF
WALKWAYS	230 SF	
LANDSCAPING AREA	414 SF	
TOTAL OPEN SPACE:		690 SF
VEHICULAR USE AREA:		700 SF
TOTAL IMPERVIOUS AREA		3,086 SF
LANDSCAPING (PERVIOUS)		414 SF

GENERAL LANDSCAPING REQUIREMENTS	AREA	REQUIREMENT	REQUIRED	PROVIDED
NET SITE AREA	3,500 SF - 660 - 2220 - 160 - 460	0	11000 SF	0

VEHICLE USE AREA REQUIREMENTS	AREA	TREE REQUIREMENT	TREES REQUIRED	TREES PROVIDED	SHRUB REQUIREMENT	SHRUBS REQUIRED	SHRUBS PROVIDED
VEHICLE USE AREA COVERAGE	414 SF	1/1000	1	5	6/1000	12	26
SHADE TREES W/ 3-1/2" TRUNK		25 %	.5	0			
SHADE TREES W/ 2-1/2" TRUNK		25 %	.5	4			
PALM TREES		20 %	.4	0			
FLOWERING TREES		20 %	.4	5			

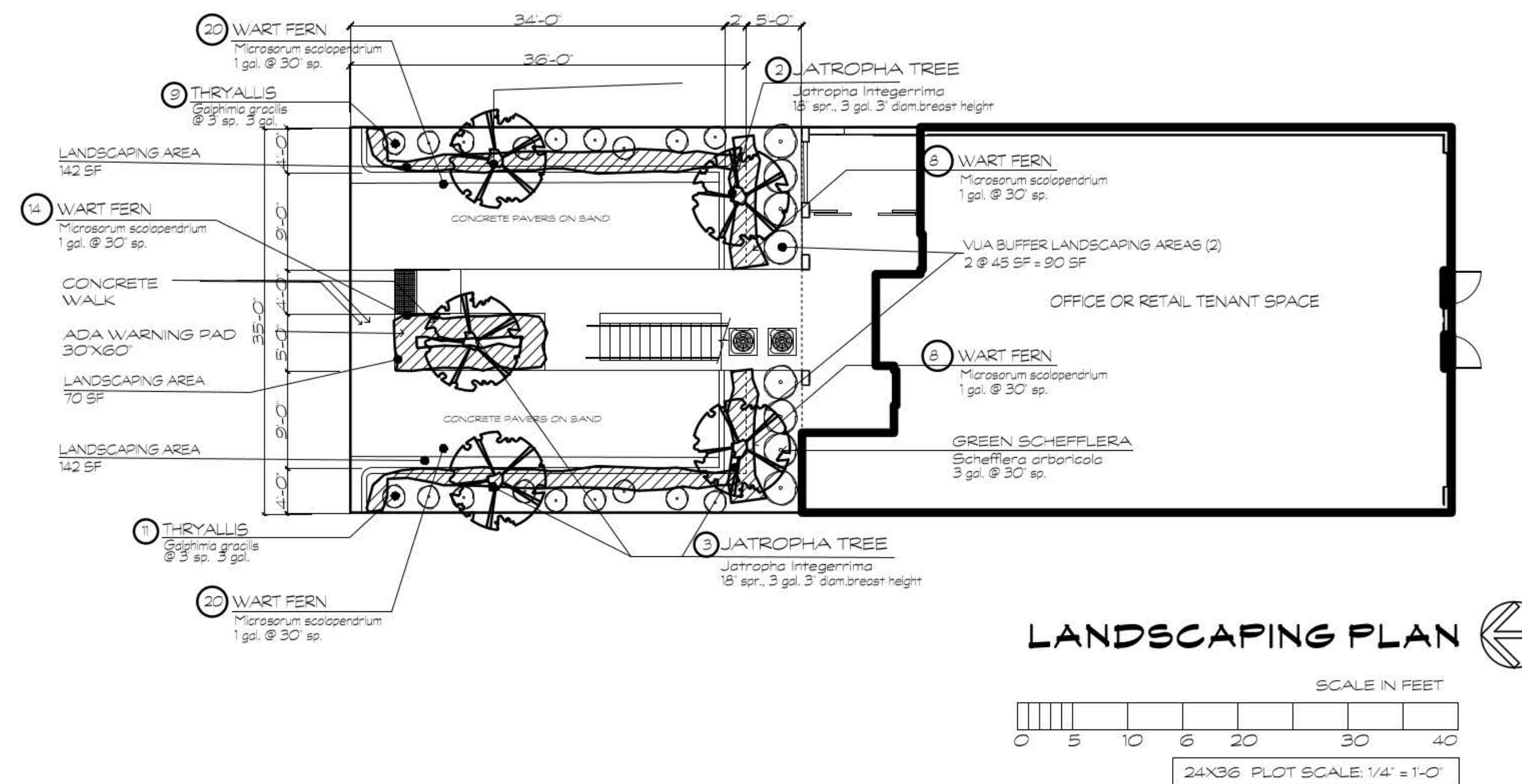
DUE TO THE SMALL LOT SIZE, (4) TREES HAVE OF THE SAME FLOWERING SPECIES HAVE BEEN PROVIDED

OPEN SPACE REQUIREMENTS

	REQUIRED	PROVIDED
OPEN SPACE REQUIRED (250 SF/UNIT)	500 SF	
MINIMUM GRADE LEVEL OPEN SPACE (40%)	200 SF	
OUTDOOR SEATING AREA GROUND FLOOR		110 SF
COVERED ENTRANCE AREA (NOT INCL STAIR)		130 SF
TOTAL GROUND LEVEL OPEN AREA	200 SF	240 SF
MINIMUM LIVING MATERIAL LANDSCAPING	250 SF	460 SF
SECOND AND THIRD FLOOR BALCONIES	460 SF	
TOTAL OPEN SPACE (REQUIRED PER UNIT)	500 SF	700 SF
MINIMUM 20% LANDSCAPING/OPEN SPACE	700 SF	700 SF

LANDSCAPING NOTES

1. INSTALL RUST FREE IRRIGATION SYSTEM 100 % COVERAGE.
2. COMPLY WITH THE STANDARDS AND REQUIREMENTS OF CITY OF FORT LAUDERDALE ULDR SECTION 47-21 LANDSCAPE AND TREE PRESERVATION.
3. INSTALL A LAYER OF ORGANIC MULCH 3" DEEP THROUGHOUT LANDSCAPING AREAS EXCEPT MULCH SHOULD BE AT LEAST SIX (6) INCHES AWAY FROM ANY PORTION OF A BUILDING OR STRUCTURE, OR THE TRUNKS OF TREES, AND AT LEAST THREE (3) INCHES AWAY FROM THE BASE OF SHRUBS.



SEAL

LEO CRAMER HANSEN
REGISTERED ARCHITECT FL #9093

DATE

PRINT OR PDF FILE DATE

PRINTED FOR	DATE
<input type="checkbox"/> PRELIMINARY	
<input checked="" type="checkbox"/> DRC SUBMISSION	3-29-2024
<input type="checkbox"/> BIDDING DOCUMENTS	
<input type="checkbox"/> BUILDING PERMIT	
<input type="checkbox"/> PERMIT REVISION	
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> REVISION	

NO.	REVISION	DATE
▲	DRC REVISION	7-16-2024

BUILDING CODE

Comply with the requirements, standards, and specifications of the 7th (2020) Edition of the Florida Building Code, Florida Building Code Existing Buildings, Florida Building Code Plumbing, Florida Building Code Energy Conservation, Florida Building Code Mechanical, Florida Building Code Fuel Gas, Florida Building Code Test Protocol, Florida Building Code Accessibility, the National Electric Code.

GENERAL NOTES

Verify all dimensions and existing conditions at the site prior to the fabrication of any portion of the work. It is the intention of these drawings to include all items necessary for the completion of the work.

LEGAL DESCRIPTION

LOT 9 BLOCK 3
CORAL RIDGE COMMERCIAL
BOULEVARD ADDITION
PLAT BOOK 43 PAGE 13 OF THE PUBLIC
RECORDS OF BROWARD COUNTY
FLORIDA

PROJECT DATA

FOLIO NO. 494213070410

PARCEL ID 9213070410

ZONING DESIGNATION CB

TYPE OF CONSTRUCTION VB

OCCUPANCY B AND R3

FLOOD ZONE X

BASE FLOOD ELEVATION N/A

OWNER

WILLIAM F ADER JR TR
ADER ROBERT, TRSTEE
100 SE 2nd St #3550, Miami, FL 33131

PROJECT

New Three-Story
Retail/Office/Residential
Building
ADER BUILDING
2925 E. Commercial Blvd.
Fort Lauderdale, FL

LEO HANSEN, AIA,
ARCHITECT

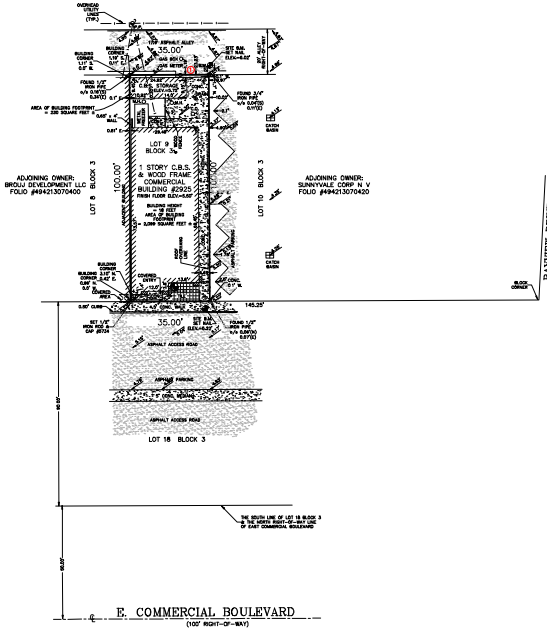
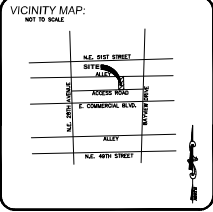
330 JOYHWE / 12ND STREET / 104
FORT LAUDERDALE, FLORIDA
954-462-8925

PROJECT NO.
22-120

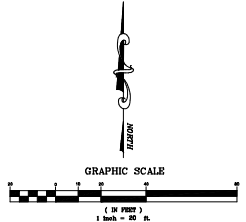
DRAWING NO.
BLD-DWG-

L-L1-1

ALTA/NSPS LAND TITLE SURVEY



- LEGEND**
- B.M. = BENCHMARK
 - B.C.R. = BROWARD COUNTY RECORDS
 - C.M. = CALCULATED MEASUREMENT
 - C. = CENTERLINE
 - C.B. = CATCH BASIN
 - C.B.S. = CONCRETE BLOCK STRUCTURE
 - C.L.F. = CHAIN LINK FENCE
 - C.D. = CLEAN DIRT
 - CONC. = CONCRETE
 - C.L.P. = CONCRETE LIGHT POLE
 - C.F.P. = CONCRETE FENCE
 - C.A. = CABLE RESSER
 - D. = DEED MEASUREMENT
 - ELEV. = ELEVATION
 - E.S. = ELECTRIC SERVICE
 - F.P.L. = FLORIDA POWER & LIGHT
 - G.A. = GUY ANCHOR
 - G.V. = GATE VALVE
 - L.P. = LIGHT POLE
 - M. = MEASURED
 - M.C. = METAL COVER
 - M.-C.R. = MIAMI-DADE COUNTY RECORDS
 - M.H. = MANHOLE
 - M.W. = MONITORING WELL
 - N.V.D. = NORTH AMERICAN VERTICAL DATUM
 - N.S.D. = NATIONAL GEODETIC VERTICAL DATUM
 - O.R.A. = OFFICIAL RECORDS BOOK
 - P. = PLAT MEASUREMENT
 - P.B. = PLAT BOOK
 - P.E. = POOL EQUIPMENT
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - P.P. = POWER POLE
 - T.P. = TYPICAL
 - W.M. = WATER METER
 - O.S. = OFFSET
 - A/C. = AIR CONDITIONING UNIT
 - F.C.P. = FENCE-CAPPED PARKING
 - F.I. = FINE IRONNET
 - U. = UTILITY POLE
 - W. = LOCATION OF IMPROVEMENTS
 - W.M. = LOCATION OF BOUNDARY HEIGHT MEASUREMENT
 - ENC. = ENCROACHMENT REFERENCE
 - S.E. = SPOT ELEVATION



PINNELL SURVEY, INC.
PROFESSIONAL SURVEYORS AND MAPPERS
150 WEST PALM BEACH BOULEVARD, SUITE 2104
COCONUT CREEK, FLORIDA 33073
PHONE: (561) 963-1000 FAX: (561) 963-1001
LICENSED BUSINESS #8867

PROJECT ADDRESS: 2825 E. COMMERCIAL BOULEVARD
FORT LAUDERDALE, FLORIDA 33308

LEGAL DESCRIPTION:
LOT 8, BLOCK 3 OF "COMM. BLDG. COMMERCIAL BLDG. ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK AL, AT PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ENCROACHMENT NOTES:
① - APPROVAL CHECKED OVER THE PROPERTY LINE.

SCHEDULE "B" TITLE NOTES:
THE COMMENT WAS NOT PROVIDED FOR THE PROPERTY SHOWN HEREON.

GENERAL NOTES:
1) TYPE OF SURVEY: BENCHMAY.
2) IF THIS SURVEY HAS BEEN RECORDED AS INDICATED IN THE REVISION BOX SHOWN HEREON, THEN ANY AND ALL PREVIOUS EDITIONS OF THIS SURVEY PREPARED BY PINNELL SURVEY, INC. ARE NULL AND VOID.
3) THE BROWARD COUNTY TAX ID NUMBER FOR THE PROPERTY SHOWN HEREON IS 0444-10-00-040 AND IS CORRECTLY CHECKED BY ALTA/NSPS.
4) THE AREA OF THE PROPERTY SHOWN HEREON IS 35,000 SQ. FT. (3,083 SQ. YD.) MORE OR LESS.
5) THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SURVEY AND REAL ID CARD.
6) ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM OF 1988.
7) BY GRANTING EASEMENTS ONLY, THE PROPERTY BOUNDARIES ARE LOCATED WITH A "FLOOD ZONE" LABEL WITH NO BASE FLOOD ELEVATION DETERMINED, AS SHOWN ON F.L.A.M. MAP 122100-0370-H, BEARING A MAP REVISION DATE OF 06/14/15. THE PROPERTY BOUNDARIES ARE NOT LOCATED.
8) UNLESS OTHERWISE NOTED, ALL FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS TO REFERENCE EMBROIDERY CITY OF FORT LAUDERDALE "M" AND ELEVATION/ANGLE WITH THIS.
9) FENCE AND WALL CORNER OF NOT DESCRIBED.
10) THIS SURVEY IS A PRODUCT OF PINNELL SURVEY, INC. AND SHALL NOT BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION AND AUTHORIZATION FROM PINNELL SURVEY, INC.
11) DATE FIELDWORK PERFORMED: 09/18/23
12) DRAWN BY: C.A. CHECKED BY: J.P.

CERTIFICATION:
I, THE LAW OFFICER OF BROWARD COUNTY, DO HEREBY CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2019 BROWARD COUNTY ACTS AND REGULATIONS FOR ALTA/NSPS LAND TITLE SURVEYS, AND THAT THE SURVEY HAS BEEN RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. THE LOCATION OF BOUNDARY FEATURES FOR VERTICAL, ABOVE-GROUND, ON-SPICE OBSERVATION OR LANDSCAPED AREAS ARE LOCATED IN 13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 18, 2023 AND LOCATED ON JUNE 17, 2024.

Jason H. Pinnell, P.S.M.
Date: 2024.07.09
11010652-04100

Jason H. Pinnell, P.S.M.
PROFESSIONAL SURVEYOR & MAPPER
150 WEST PALM BEACH BOULEVARD, SUITE 2104
COCONUT CREEK, FLORIDA 33073
PHONE: (561) 963-1000 FAX: (561) 963-1001
LICENSE NO. 8734 - STATE OF FLORIDA

REVISIONS:

REVISION	DATE	CHECKED BY
UPDATE SURVEY (24-0120)	03/20/24	J.P.
ADD EASEMENTS (24-0120)	03/20/24	J.P.
UPDATE TO ALTA SURVEY (24-1000)	06/11/24	J.P.

PROJECT NAME: ADER JOB NO.: 03-3473A