

CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE



CASE COMMENT REPORT

CASE NO. UDP-S24038



CITY OF FORT LAUDERDALE



CASE INFORMATION

CASE:	UDP-S24038
MEETING DATE:	August 13, 2024
REQUEST:	Site Plan Level III Review: Parking Reduction for Change of Use from Take-out to Dine-in Restaurant
APPLICANT:	Cordova Road LLC.
AGENT:	Eric T. Slazyk / Arcwerks Inc.
PROJECT NAME:	Greek Guys Souvlaki Restaurant
PROPERTY ADDRESS:	1978 E Sunrise Blvd.
ZONING DISTRICT:	Boulevard Business District (B-1)
LAND USE:	Commercial
COMMISSION DISTRICT:	2 – Steven Glassman
NEIGHBORHOOD ASSOCIATION:	Victoria Park Civic Association
CASE PLANNER:	Nancy Garcia

RESUBMITTAL INFORMATION

- Applicant must provide written responses to all DRC comments contained herein.
- Written responses must specify revisions made to the plans and indicate the sheet.
- Resubmitted plan sets must be accompanied by responses to be accepted.
- Any additional documentation must be provided at time of resubmittal.
- Resubmittals must be conducted through the City's online citizen's portal LauderBuild.
- Questions can be directed to the Case Planner assigned to the case.



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CASE COMMENTS:

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2023 FBC.
2. Provide building construction type designation per Chapter 6 of the 2023 FBC.
3. Specify fire-resistance rating requirements based on building separation and construction type per Table 601 and 602 of the 2023 FBC.
4. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2023 FBC.
5. Indicate code compliant sprinkler system per Section 903 of the 2023 FBC.
6. Designate Fair Housing Provisions per the 2023 FBC Accessibility volume.
7. Provide accessible parking spaces in accordance with the Fair Housing ACT and the 2023 FBC Accessibility Volume.
8. Provide accessible route connecting handicap parking spaces to accessible building entrances per FBC Accessibility volume.
9. Reference the 2023 Florida Building Code 8th edition on plan for the proposed development.

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

- a. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2023 the 8th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



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CASE COMMENTS:

No comments required.

For Engineering General Advisory DRC Information, please visit our website at
<https://www.fortlauderdale.gov/home/showdocument?id=30249>



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No comments required.



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No comments required.



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No comments required.



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CASE COMMENTS:

1. The parking reduction analysis submitted is acceptable to the city.
2. A parking reduction order shall be recorded prior to final DRC.
3. Additional comments may be provided upon further review.

GENERAL COMMENTS

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.



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CASE COMMENTS:

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 180 days of completeness determination, on or before January 14, 2025, unless a mutually agreed upon time extension is established between the City and the applicant. Provide a statement requesting and agreeing to a waiver of these timeframes or request a specified amount of additional time to address the comments and provide sufficient time for review and approval. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed. The City acknowledges that a waiver to these timeframes has been submitted by the applicant.
2. The proposed project requires review and approval by the Planning and Zoning Board (PZB). A separate fee is required for PZB submittal, and the applicant is responsible for all public notice requirements pursuant to Section 47-27.
3. Pursuant to Public Participation requirements of Unified Land Development Regulations (ULDR), Sections 47-24.1.F.14 and 47-27.4.A.2.c, the applicant must complete the following:
 - a. Prior to submittal of an application to the Planning and Zoning Board (PZB), the applicant shall:
 - i. Provide notice via e-mail and regular mail to the official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting (a listing of officially-recognized neighborhood associations is provided on the City of Fort Lauderdale website: <https://www.fortlauderdale.gov/government/departments-a-h/city-manager-s-office/office-of-neighbor-support/neighborhood-associations>); and,
 - ii. Provide notice via mailed letter to property owners whose real property is located within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.
 - b. The applicant shall conduct the public participation meeting(s) a minimum of 30 days prior to the PZB. This date and location of the meeting are at the discretion of the applicant. Once the meeting(s) is conducted, the applicant shall provide a written report letter to the Department of Sustainable Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after a public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the administrative case file record. A minimum of ten (10) days prior to the PZB meeting, the applicant shall execute and submit an affidavit of proof of public notice to the Department.
4. The site is designated Commercial on the City's Future Land Use Map. The proposed change use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
5. The DRC application, project narratives, HOA letter from Gateway Shopping Center and site plan shall all be revised to reflect that the outdoor seating is no longer being proposed. Outdoor dining is allowed as an accessory use on the same parcel as the restaurant. However, in this instance, the area where the outdoor seating is proposed is not on the same parcel as the restaurant. Outdoor dining is not permitted on the parking lot parcel.

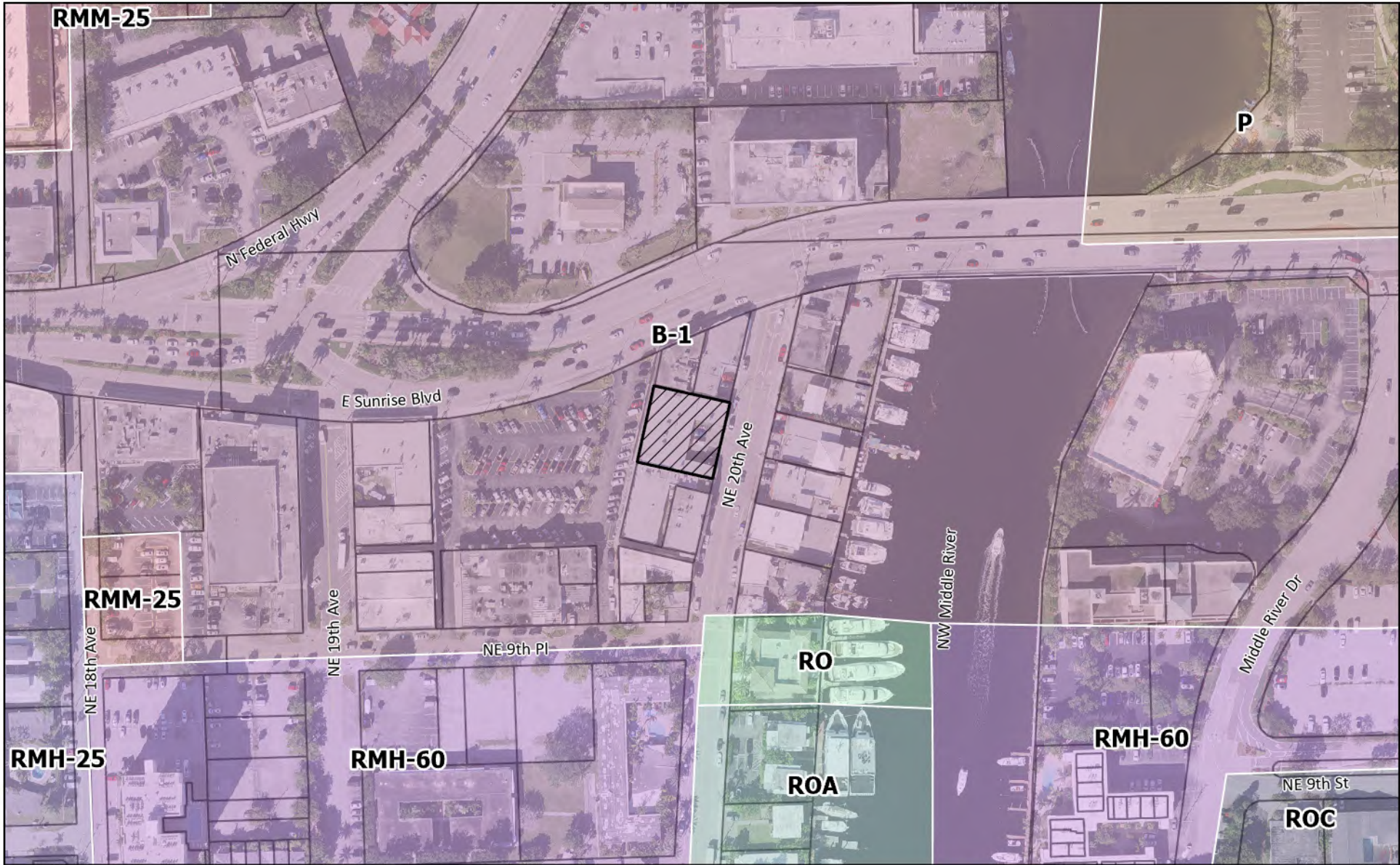


6. The project data table on Sheet SP-1.1 shall be revised to exclude the parking ratio and calculations for outdoor dining use.
7. The project data table shall be revised to include the existing uses and respective required parking ratio for each use.
8. Any proposed signage will require a separate sign permit application.

General Comments

The following comments are for informational purposes.

1. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments.
2. Additional comments may be forthcoming at the DRC meeting.



UDP-S24038 - 1978 E SUNRISE BLVD.

